



DESIGN REVIEW BOARD Staff Report

Planning and Environmental Services
130 Cremona Drive, Suite B, Goleta, CA 93117
Phone: (805) 961-7500 Fax: (805) 961-7551
www.cityofgoleta.org

AGENDA ITEM L-2

DATE: May 25, 2010
TO: Goleta Design Review Board
FROM: Brian Hiefield, Assistant Planner
SUBJECT: 10-053-DRB; Pacific Oaks Apartments Office Addition; 7170 Davenport Road;
APN 073-230-050

APPLICANT: The Towbes Group
Courtney Seepie
21 East Victoria Street, Suite A
Santa Barbara, CA 93101

PROJECT DESCRIPTION:

This is a request for *Conceptual/Preliminary* review. The property includes a 183-unit apartment complex with ten separate apartment buildings, associated carports, a clubhouse adjacent to a pool, and a rental/manager's office on an 8.22-acre lot in the DR-10 zone district. The applicant proposes to construct a 172-square foot addition to the existing 7,871-square foot rental/manager's office, and to provide a handicapped accessible parking space and accessible ramp from the parking area to the rental/manager's office. All materials used for this project are to match the existing rental/manager's office. The project was filed by Courtney Seepie on behalf of The Towbes Group, property owner. Related cases: 69-M-125; 72-M-71; 10-053-LUP.

BACKGROUND:

The project was submitted on April 8, 2010. This is the first time the project has been before the DRB. There are no known violations on the property.

The existing apartment complex was developed in accordance with Development Plan 69-M-125, and Substantial Conformity Determination 72-M-71.

ANALYSIS:

Zoning Consistency:

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way	20 feet from right-of-way	Yes
Side Yard Setback	10 feet from side property line	10 feet from side property line	Yes
Rear Yard Setback	10 feet from side property line	10 feet from side property line	Yes
Building Height	25 feet	14.5 feet	Yes
Parking spaces	247 spaces	247 spaces	Yes
Open Space/ Landscaping	53.2 % Lot Coverage	53.1 % Lot Coverage	TBD

The proposed project is consistent with the above requirements of Article III, Chapter 35, Inland Zoning Ordinance, as Modified by 69-M-125, and 72-M-71, subject to consideration of the landscaping by the DRB

ISSUES:

- ***The proposed project would remove 0.07% of overall open space that includes 0.04% of landscaping. Discuss the possibility of adding replacement landscaping elsewhere on the site.***

ATTACHMENTS:

- Reduced 11" x 17" copies of site plans and elevations.

PROJECT DATA

OWNER: PACIFIC OAKS, L.P.
 PROJECT ADDRESS: 1110 DAVENPORT ROAD GOLETA, CA 93111
 PARCEL NUMBER: 073-236-50
 ZONE: DR-10
 OCCUPANCY: R-2 (APARTMENTS)
 ACCESSORY OCCUPANCY: B (OFFICE)
 (LESS THAN 10% OF BUILDING AREA)
 OFFICE: (12 87/100 OCC. LOAD FACTOR) = 2
 CONSTRUCTION TYPE: V-B
 BUILDING HEIGHT:
 ACTUAL HT. = 16'-4" AT ADDITION (1 STORY)
 ALLOWABLE BUILDING AREA: 1,000 SF.
 FRONTAGE INCREASE:
 FRONTAGE INCREASE: If = (F/P - 0.25) X W/30
 If = (25-4/625 - 0.25) X 50/30
 If = 0.25
 ALLOWABLE BUILDING AREA WITH FRONTAGE INCREASE = 1,000 X 1.25 = 1,250 SF.

BUILDING AREA

ORIGINAL BUILDING AREA: 1,071 SF.
 NEW ADDITION BUILDING AREA: 112 SF.
 NEW TOTAL BUILDING AREA: 1,183 SF.

WORK PERFORMED SHALL COMPLY WITH:

- A. CALIFORNIA BUILDING CODE, 2007 EDITION
- B. CALIFORNIA ELECTRICAL CODE, 2007 EDITION
- C. CALIFORNIA MECHANICAL CODE, 2007 EDITION
- D. CALIFORNIA PLUMBING CODE, 2007 EDITION
- E. ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES AND REGULATIONS GOVERNING THE SITE OF WORK IN EFFECT AS OF DATE OF CONSTRUCTION DOCUMENTS.

OWNER:

Pacific Oaks, L.P.
 21 E. Victoria, Suite 200
 Santa Barbara, CA 93101
 (805) 962-2121

ARCHITECT:

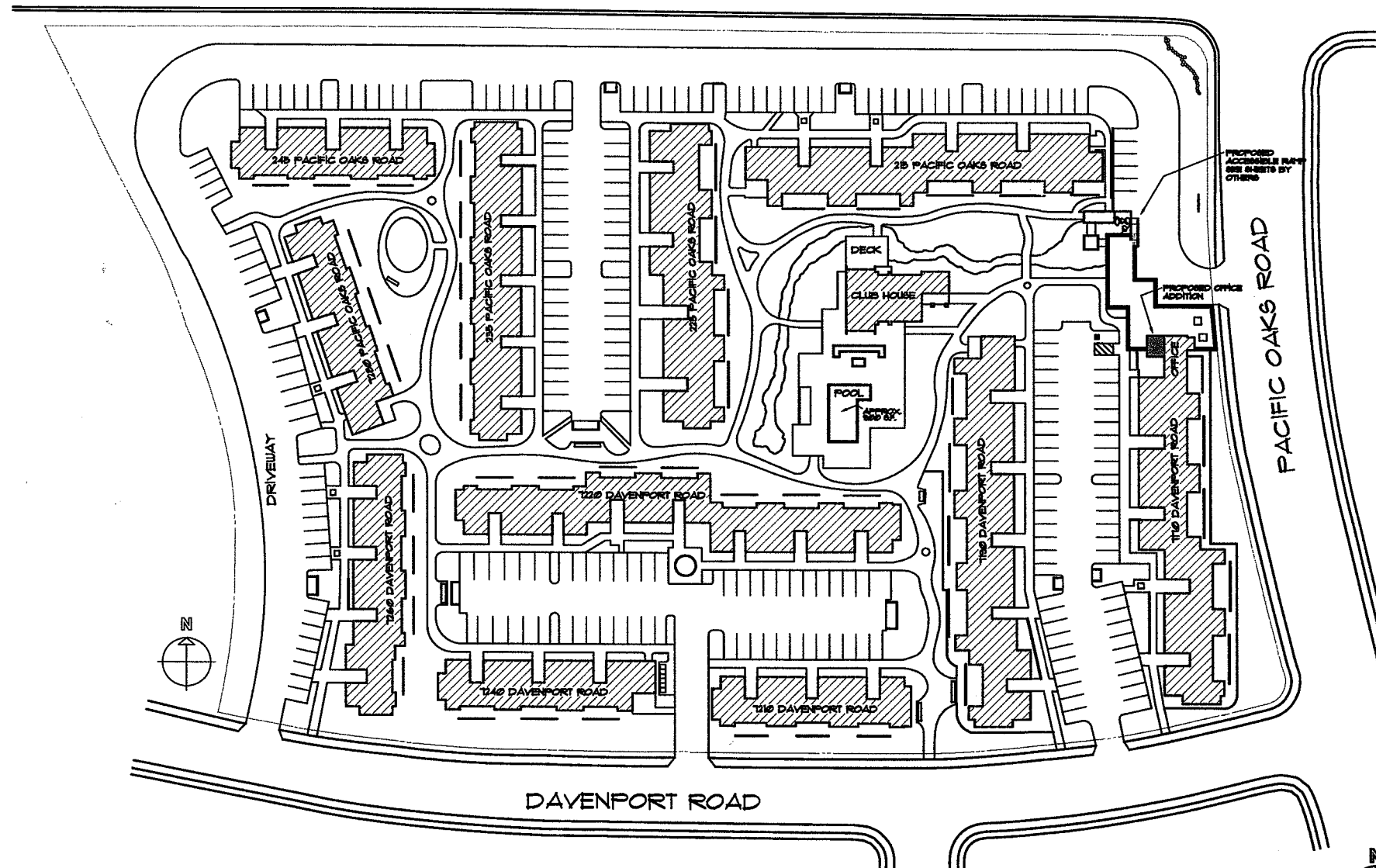
CSA Architects
 330 E. Canon Perdido, Suite A
 Santa Barbara, CA 93101
 (805) 962-4575

CIVIL ENGINEER:

Penfield & Smith
 111 East Victoria Street
 Santa Barbara, CA 93101
 (805) 963-9532

THE TOWBES GROUP, INC. PACIFIC OAKS OFFICE ADDITION

HOLLISTER AVENUE



PROJECT SITE PLAN

THIS PLAN WAS CREATED FROM A SCANNED IMAGE AND IS TO BE USED FOR REFERENCE PURPOSES ONLY.

APPROX. SCALE: 1"=50'-0"

TABLE OF CONTENTS

-	COVER SHEET W/ SITE PLAN
AI A2	ARCHITECTURAL FLOOR PLAN AND EXT. ELEVATIONS RAMP ELEVATIONS
1 2	CIVIL ACCESSIBLE RAMP PLANS RAMP DETAILS
AP	PROJECT PHOTOS

RECEIVED

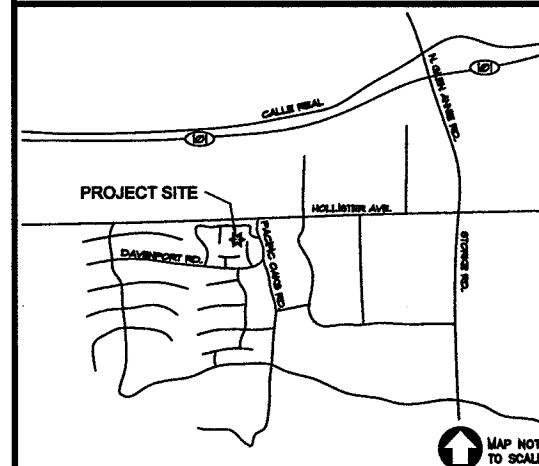
APR 08 2010

City of Goleta
 Planning & Environmental Svcs.

SCOPE OF WORK

AN ADDITION OF 112 SF. IS TO BE ADDED TO THE EXISTING MANAGER'S OFFICE AND A NEW ACCESSIBLE RAMP IS PROPOSED FROM THE PARKING AREA UP TO THE OFFICE.

VICINITY MAP



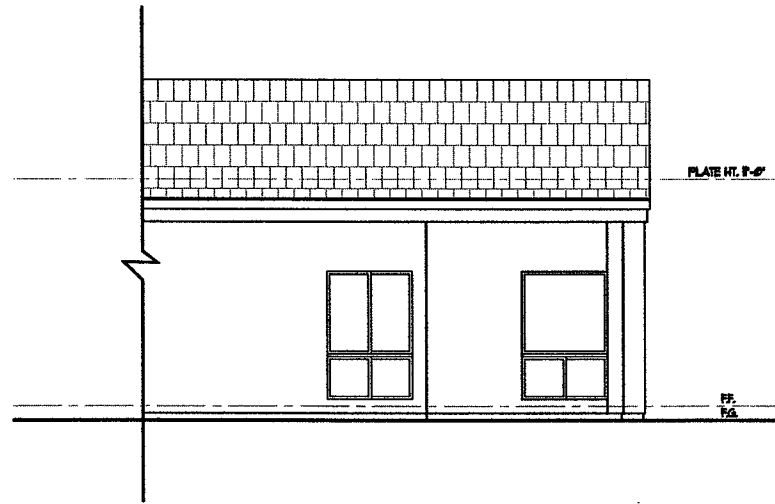
330 EAST CANON PERDIDO, SUITE A
 SANTA BARBARA, CA 93101
 805.962.4575
CSA ARCHITECTS
 CARL SCHEIDER, AIA

TGI THE TOWBES GROUP
 PACIFIC OAKS OFFICE ADDITION

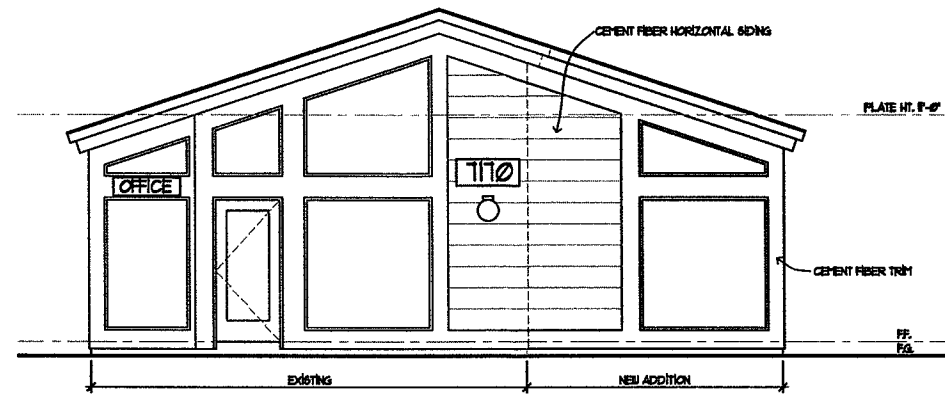
SITE PLAN
 SHEET DATE: 4-8-10
 JOB NO. 014-1900

PRELIMINARY NOT FOR CONSTRUCTION

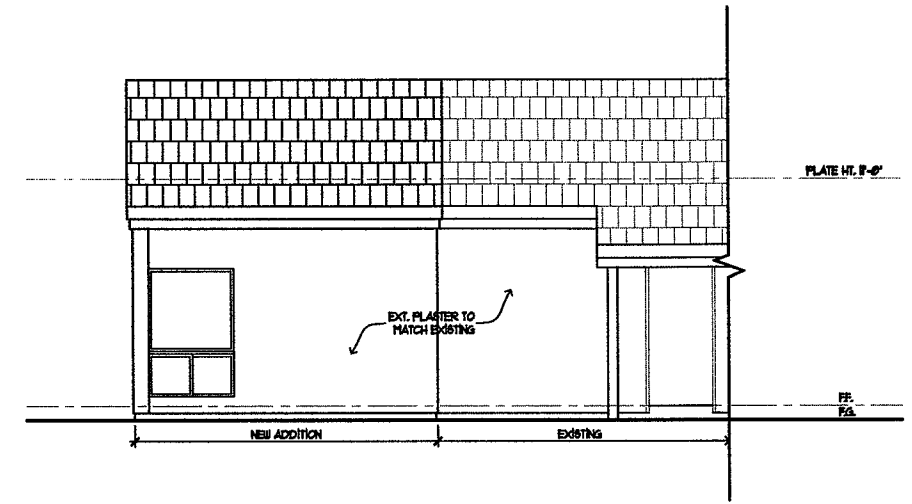
April 08, 2010 11:55:48 AM
 Drawing: COVER SHEET.DWG



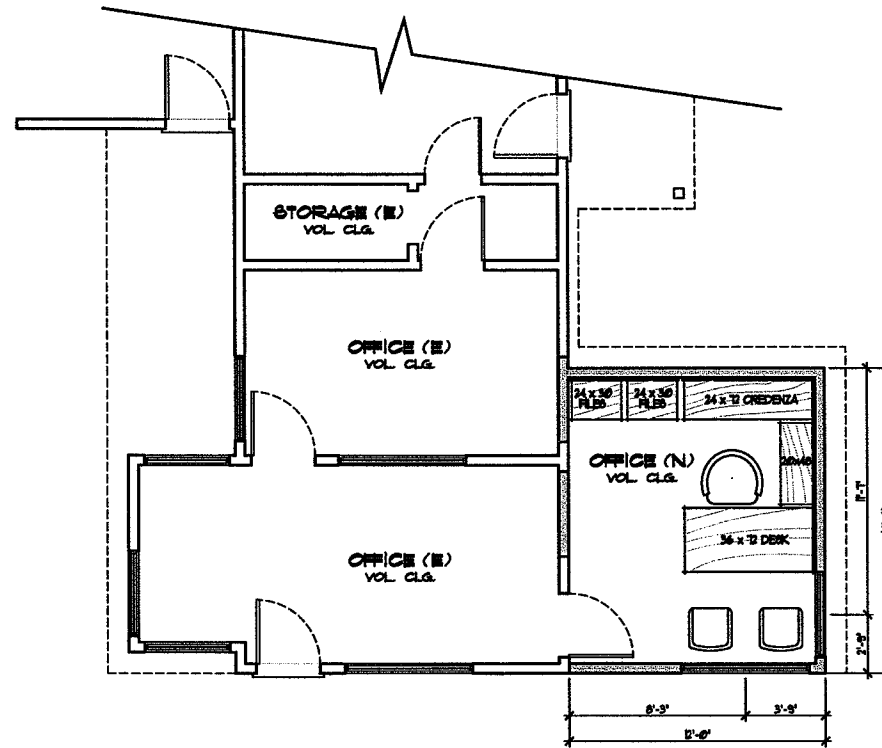
East Elevation



North Elevation



West Elevation



Floor Plan

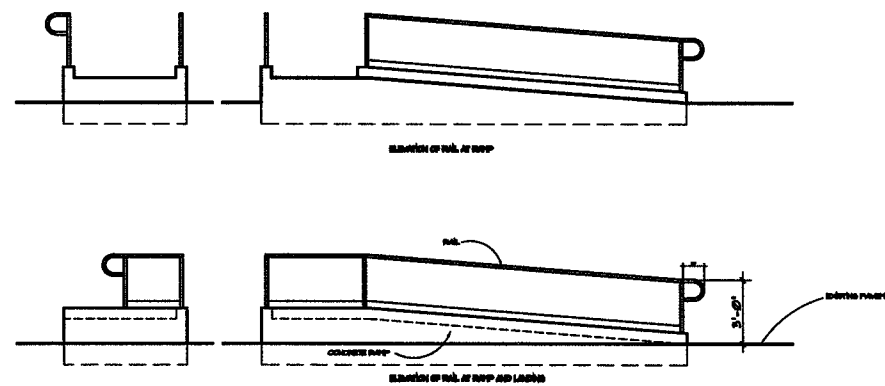
Pacific Oaks Office Expansion

Scale: 1/4" = 1'-0"

Goleta CA.

April 6, 2010





Ramp Handrail Elevations

Pacific Oaks Office Expansion

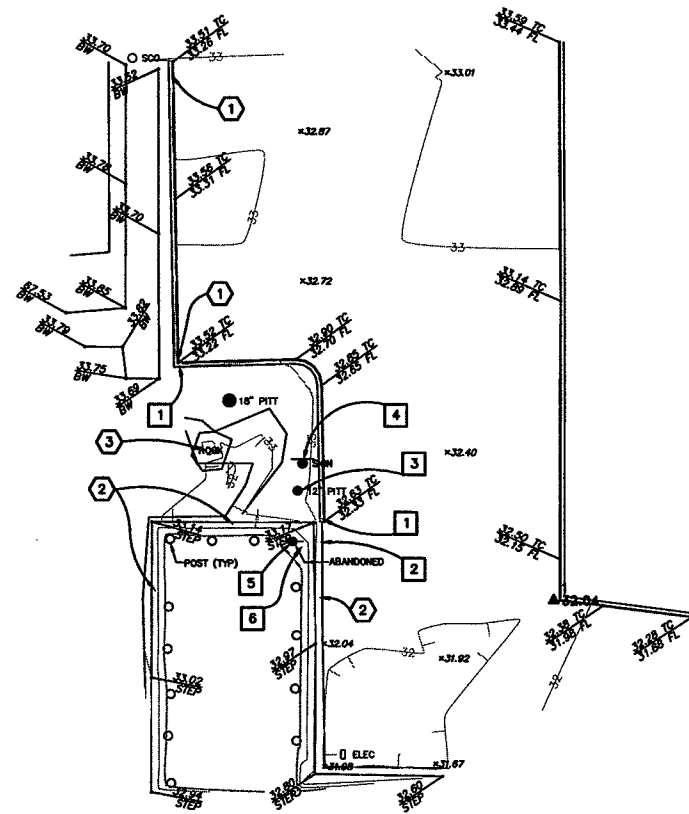
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Goleta CA.

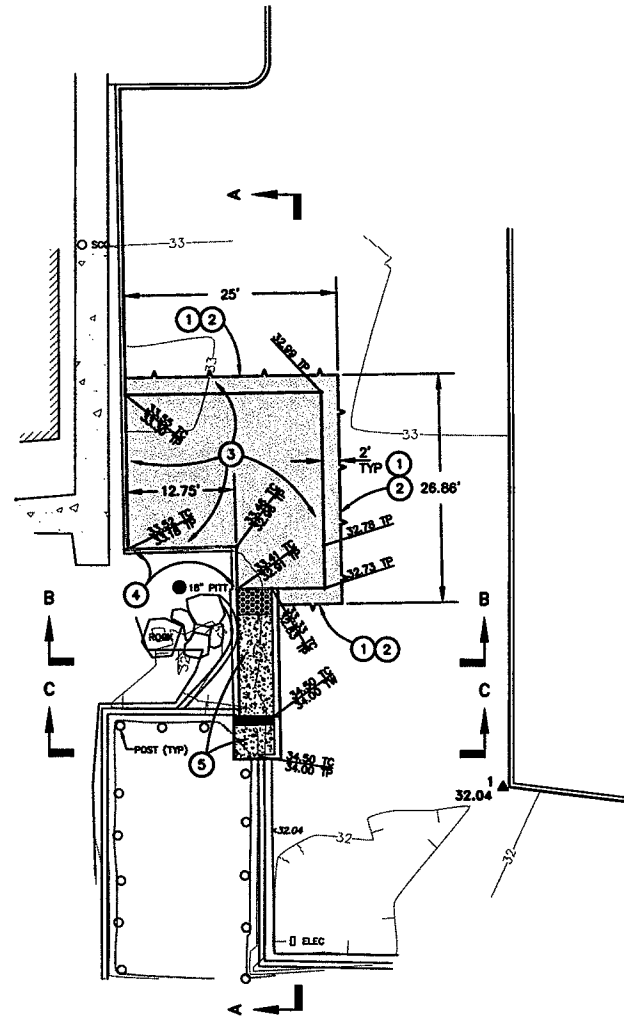
April 6, 2010



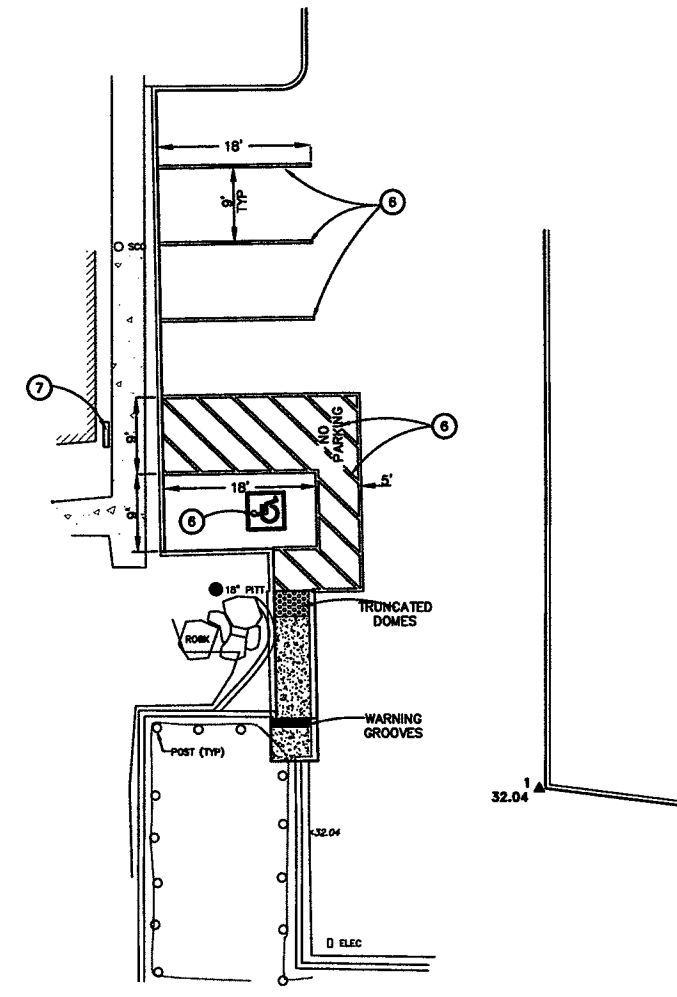
38-ENG SAVE DATE: 4/7/2010 3:31:51 PM PLOT BY: Carl Schneider PLOT DATE: 4/7/2010 9:30:02 AM PLOT SCALE: 1:1



EXISTING TOPOGRAPHY AND DEMOLITION PLAN



CONSTRUCTION PLAN



STRIPING PLAN

SURVEYOR'S NOTES

1. MAPPING

TOPOGRAPHIC MAPPING WAS COMPILED AT A SCALE OF 1"=10', WITH A 1 FOOT CONTOUR INTERVAL, USING CONVENTIONAL METHODS AND PROCEDURES IN DECEMBER, 2009, AT THE REQUEST OF TOMBS GROUP.

2. BASIS OF BEARINGS AND COORDINATES

BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM, NAD 83, ZONE 5 GRID (EPOCH 1991.35), DEFINED LOCALLY BY CONTINUOUSLY OPERATING REFERENCE STATIONS OPERATED BY THE CALIFORNIA SPATIAL REFERENCE CENTER. THIS SURVEY TIED TO STATIONS UCCS, AND RCA2, PER HORIZONTAL COORDINATE VALUES PUBLISHED ON RECORD OF SURVEY FILED IN BOOK 171, PAGES 24-25.

ALL DISTANCES AND COORDINATES SHOWN AS MEASURED OR CALCULATED ARE EXPRESSED IN CCS, NAD 83, ZONE V GRID US SURVEY FOOT UNITS.

3. ELEVATIONS

ELEVATIONS SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), LOCAL BENCHMARK BEING CONTROL POINT #1, PK NAIL AND FLASHER SET FLUSH IN AC AT SOUTH WEST ANGLE POINT OF CURB AT INTERSECTION TO PACIFIC OAKS APARTMENTS SALES OFFICE.

ELEVATION=32.04 FEET.

ITEMS TO BE DEMOLISHED:

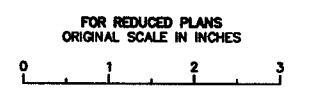
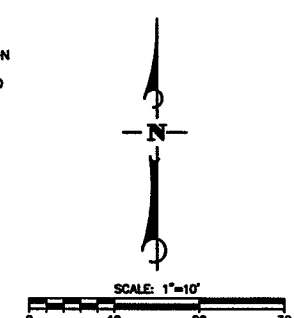
- 1 SAWCUT AND REMOVE A SECTION OF EXISTING CONCRETE CURB.
- 2 SAWCUT AND REMOVE A PORTION OF THE EXISTING CONCRETE STEP WALL.
- 3 REMOVE EXISTING TREE.
- 4 REMOVE EXISTING SIGN.
- 5 REMOVE EXISTING WOOD PILING.
- 6 REMOVE A PORTION OF THE EXISTING CONCRETE DECK PAVERS.

ITEMS TO REMAIN:

- 1 EXISTING CURB TO REMAIN AND BE PROTECTED IN PLACE.
- 2 EXISTING CONCRETE STEP WALL TO REMAIN AND BE PROTECTED IN PLACE.
- 3 EXISTING WATER FEATURE IMPROVEMENTS TO REMAIN AND BE PROTECTED IN PLACE.

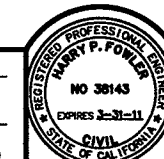
CONSTRUCTION NOTES:

- 1 SAWCUT AND REMOVE EXISTING ASPHALT CONCRETE PAVEMENT AND AGGREGATE BASE.
- 2 MATCH EXISTING PAVEMENT GRADES.
- 3 CONSTRUCT NEW ASPHALT PAVEMENT AND AGGREGATE BASE TO NEW GRADES SHOWN ON PLAN. PAVEMENT STRUCTURAL SECTION SHALL MATCH EXISTING, BUT SHALL NOT BE LESS THAN 3" OF ASPHALT CONCRETE OVER 6" OF CLASS 2 AGGREGATE BASE OVER 9" OF PREPARED SUBGRADE COMPACTED TO 95% RELATIVE COMPACTION.
- 4 CONSTRUCT NEW A1-6 CONCRETE CURB PER COUNTY OF SANTA BARBARA STANDARD DETAIL 3-100.
- 5 CONSTRUCT CONCRETE ACCESSIBILITY CURB RAMP WITH HANDRAILS PER DETAIL ON SHEET 2 OF 2. RAMP SHALL CONFORM TO CALTRANS STANDARD PLAN RSP ABRA CASE F, INCLUDING MAXIMUM SLOPES, WARNING GROOVES, AND TRUNCATED DOMES. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,250 PSI.
- 6 CONSTRUCT PAVEMENT MARKINGS AND STRIPING PER DETAILS ON SHEET 2 OF 2.
- 7 INSTALL HANDICAP PARKING SIGN PER DETAIL ON SHEET 2 OF 2.



NO.	DATE	REVISIONS	APPD.

Perfield & Smith
 Engineering - Surveying - Planning
 - Construction Management -
 111 East Victoria Street, Santa Barbara, CA 93101
 Phone: (805) 963-9532 Fax: (805) 968-9801
 DESIGN: HPF CHECKED: _____
 HARRY P. FOWLER DATE: _____
 PROJECT ENGINEER
 R.C.E. 38,143 (EXP. 3-31-11)



CITY OF GOLETA
 REVIEWED BY: _____
 SIGNATURE _____ DATE _____

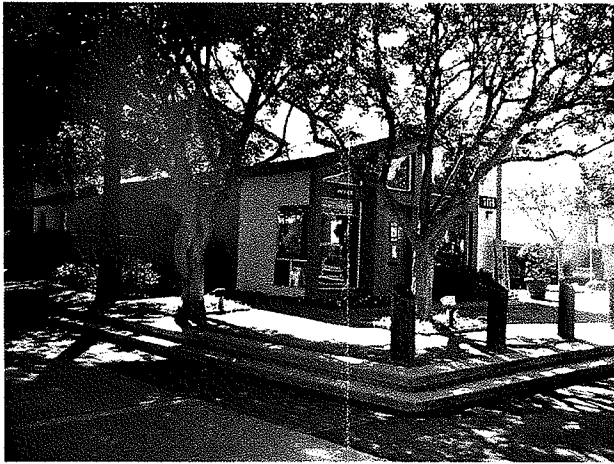
ACCESSIBLE PARKING IMPROVEMENT PLAN
PACIFIC OAKS APARTMENTS
 GOLETA, CALIFORNIA

PAS PROJECT NO.	19528.02
SHEET	1 of 2
PLAN DATE	JANUARY 6, 2010

DRAWING: Yonabe\consultants\civil\perfield & smith\acod-grading plan.dwg



View from street



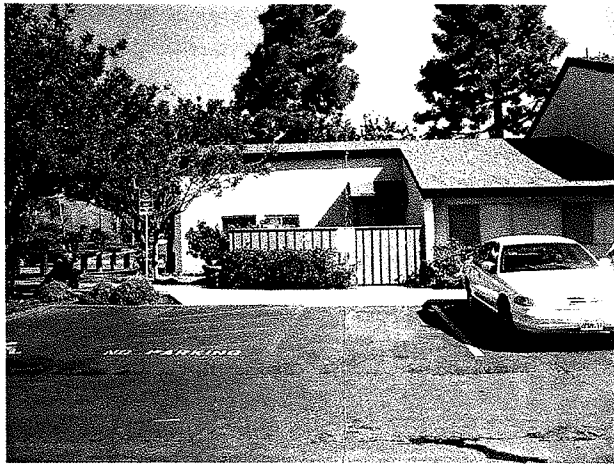
Existing Office



Existing Office entry



Area of office addition



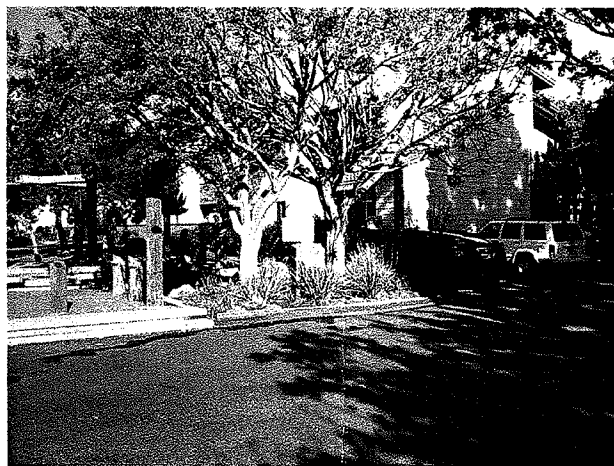
Area of office addition



Grade difference at entry



Looking north toward ramp area



Area of proposed ramp



Proposed HC parking space



Pacific Oaks Office Expansion

Scale: 1/4" = 1'-0"

Goleta CA.

April 2, 2010

A.P

