



## DESIGN REVIEW BOARD Staff Report

Planning and Environmental Services  
130 Cremona Drive, Suite B, Goleta, CA 93117  
Phone: (805) 961-7500 Fax: (805) 961-7551  
[www.cityofgoleta.org](http://www.cityofgoleta.org)

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### AGENDA ITEM L-2

DATE: April 13, 2010  
TO: Goleta Design Review Board  
FROM: Shine Ling, Assistant Planner  
SUBJECT: 10-027-DRB; The Bluffs Residences; 7716, 7717, 7726, & 7727 Kestrel Lane; APN: 079-780-023; -024; -034; -035

**APPLICANT:** Tiffany Sukay  
Comstock Homes  
321 12th St.  
Manhattan Beach, CA 90266

#### PROJECT DESCRIPTION:

This is a request for *Conceptual/Preliminary* review. The properties include 4 vacant lots in the Bluffs Along the Santa Barbara Coast Subdivision, a partially constructed 62-home subdivision in the 7-R-1 zone district (Coastal Zone). The applicant proposes to construct the following Bluffs single-family model dwelling types: on Lot 42, Plan 2C Farmhouse (3,230 square feet); on Lot 43, Plan 1BR Rustic (2,788 square feet); on Lot 56, Plan 3A Villa (3,395 square feet); and on Lot 57, Plan 3BR Rustic (3,395 square feet). Materials would be light- to medium-earth tones, and would follow DRB-approved color schemes. The project was filed by Tiffany Sukay of Comstock Homes on behalf of Bob Comstock of Goleta Investment Partners, the property owner. Related cases: 67-SB-DRB; 10-027-LUP; 10-028-LUP; 10-029-LUP; 10-030-LUP.

#### BACKGROUND:

The project was submitted on March 3, 2010. The DRB gave Final approval to Phases 2, 3, and 4 of the Comstock Subdivision on June 6, 2006, which included the subject lots (case nos. 67-SB-DRB and 04-191-DRB). Subsequent Land Use Permits were issued in 2007. Both the DRB and LUP approvals have since expired.

The table below summarizes the model types to be built on each of the four subject lots:

<i>Lot No.</i>	<i>Address</i>	<i>Floor Area (sq. ft)</i>	<i>Plan Type</i>	<i>DRB Color Scheme</i>
42	7720 Kestrel Lane	3,230	2C Farmhouse	4
43	7726 Kestrel Lane	2,788	1B Rustic (rev.)	12
56	7727 Kestrel Lane	3,395	3A Villa	TBD
57	7717 Kestrel Lane	3,395	3B Rustic (rev.)	11

Of the 4 lots, 3 of them are proposed to have the same model type that was previously approved. On Lot 56, the applicant proposes a smaller two-story model (Plan 3A Villa) instead of the previously approved two-story model (Plan 5C Farmhouse).

**ANALYSIS:**

**Zoning Consistency for 7717 Kestrel Lane (Lot 57):**

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way line 50 feet from centerline	20 feet from right-of-way line 41 feet from centerline	Legal non-conforming
Side Yard Setback	9.3 feet	9.3 feet	Yes
Rear Yard Setback	25 feet	25 feet	Yes
Building Height	25 feet maximum	22.5 feet	Yes
FAR	Maximum 3,036 square feet plus 650 square feet for 2-car garage	3,395 square feet plus 623-square foot garage	TBD
Parking	3-car garage	3-car garage	Yes

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

**Zoning Consistency for 7720 Kestrel Lane (Lot 42):**

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way line 50 feet from centerline	22.8 feet from right-of-way line 43.8 feet from centerline	Legal non-conforming
Side Yard Setback	8.0 feet	8.0 feet	Yes
Rear Yard Setback	15 feet	15 feet	Yes
Building Height	25 feet maximum	21 feet	Yes
FAR	Maximum 2,811 square feet plus 440 square feet for 2-car garage	3,230 square feet plus 649-square foot garage	TBD
Parking	2-car garage	3-car garage	Yes

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

**Zoning Consistency for 7726 Kestrel Lane (Lot 43):**

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way line 50 feet from centerline	22 feet from right-of-way line 43 feet from centerline	Legal non-conforming
Side Yard Setback	8.0 feet	8.0 feet	Yes
Rear Yard Setback	15 feet	15 feet	Yes
Building Height	25 feet maximum	23.5 feet	Yes
FAR	Maximum 2,908 square feet plus 440 square feet for 2-car garage	2,788 square feet plus 601-square foot garage	TBD
Parking	2-car garage	3-car garage	Yes

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

**Zoning Consistency for 7727 Kestrel Lane (Lot 56):**

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way line 50 feet from centerline	20 feet from right-of-way line 41 feet from centerline	Legal non-conforming
Side Yard Setback	7.3 feet	7.3 feet	Yes
Rear Yard Setback	25 feet	25 feet	Yes
Building Height	25 feet maximum	21 feet	Yes
FAR	Maximum 2,836 square feet plus 440 square feet for 2-car garage	3,395 square feet plus 623-square foot garage	TBD
Parking	2-car garage	3-car garage	Yes

The proposed project is tentatively consistent with the above requirements of Article III, Chapter 35, Inland Zoning Ordinance.

**ISSUES:**

The approved streetscape plan will be presented at the DRB meeting by staff.

Condition of Approval #6 of the tract map approval (67-SB-TM) allows for the substitution of floor plans as follows:

“Some substitution of floor plans shall be allowed. The allowable substitution of floor plans shall include the substitution of single-story floor plans on lots authorized for single-story residences, of two-story floor plans on lots authorized for two-story residences, and for the substitution of any one-story floor plan for a two-story floor plan on lots authorized for two-story residences. In no case shall a two-story floor plan be allowed on a lot authorized for a one-story residence as shown on Exhibit 2 [the map].”

**ATTACHMENTS:**

- Reduced 11” x 17” copies of site, floor plans, and elevations.

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67

64

39

66

40

41

42

43

44

66

**LOT STATISTICS**

LOT NUMBER	39	40	41	42	43	44
ZONING	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1
LOT AREA	10,984 SF	10,550 SF	10,859 SF	9,890 SF	11,093 SF	12,315 SF
MINIMUM REAR SETBACK:	26.9'	22.9'	15.4'	15.0'	21.1'	27.0'
FLOOR PLAN:	2A	3C	2B	2L	1R	2A

15' PUBLIC ACCESS EASEMENT (PEDESTRIAN & BICYCLE)

EXIST. 10' EASEMENT TO ISLA VISTA SANITARY DISTRICT PER BK. 2326, PG. 689, O.R.

KESTREL LANE

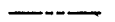


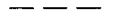
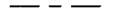



INGRESS & EGRESS EASEMENT TO CITY OF GOLETA

UTILITY EASEMENT

**NOTES**

- SEE TRACT 32,008 IMPROVEMENT PLANS FOR PROJECT CONDITIONS OF APPROVAL AND ADDITIONAL INFORMATION.
- "VARIABLE SIDE YARD SETBACK" CALCULATED PER CITY OF GOLETA COASTAL ZONING ORDINANCE - ARTICLE 2 OF CHAPTER 35, SECTION 35-71.8.1.c

**LEGEND**

-  TRACT BOUNDARY
-  LOT LINE
-  BUILDING SETBACK
-  PUBLIC UTIL. EASEMENT
-  ROAD CENTERLINE
-  PUBLIC ACCESS (PEDESTRIAN) AND BICYCLE EASEMENT
-  UTILITY EASEMENT
-  LANDSCAPE EASEMENT

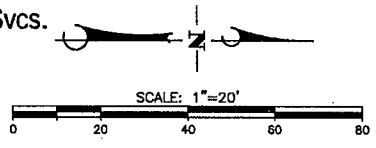
**ABBREVIATIONS**

- A.O. AREA OUTSIDE REAR YARD SETBACK
- A.W. AREA WITHIN REAR YARD SETBACK
- MIN. MINIMUM
- REV. RETURN
- SF SQUARE FEET

**RECEIVED**

MAR 23 2010

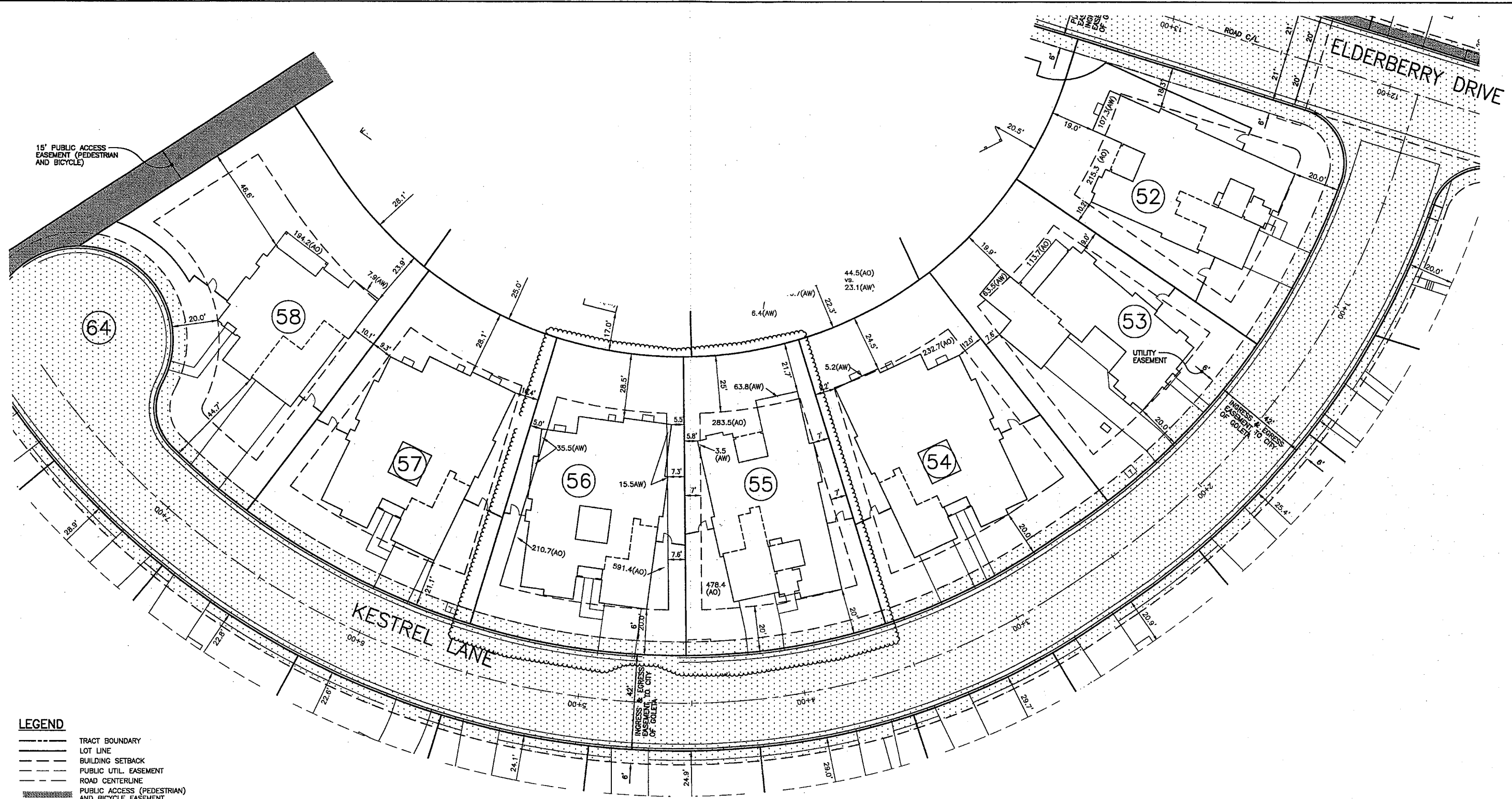
City of Goleta  
Planning & Environmental Svcs.



**ALI D'ORO - TRACT 32,008  
SITE PLAN  
LOTS 39 THRU 44**

<p>PLAN PREPARER: MAC DESIGN ASSOC. 1933 CLIFF DRIVE, SUITE 6 SANTA BARBARA, CA 93109 (805) 957-4748</p>	<p>APPLICANT: COMSTOCK CROSSER &amp; ASSOC. 321 12th STREET, SUITE 200 MANHATTAN BEACH, CA 90266 (310) 546-5781</p>
REV. 11-30-07	PHASE 2: SHEET 2A OF 10

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**LEGEND**

- TRACT BOUNDARY
- LOT LINE
- BUILDING SETBACK
- PUBLIC UTIL. EASEMENT
- ROAD CENTERLINE
- PUBLIC ACCESS (PEDESTRIAN AND BICYCLE) EASEMENT
- UTILITY EASEMENT
- LANDSCAPE EASEMENT

**ABBREVIATIONS**

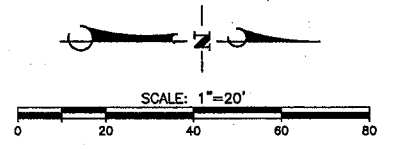
A.O.	AREA OUTSIDE REAR YARD SETBACK
A.W.	AREA WITHIN REAR YARD SETBACK
MIN.	MINIMUM
REV.	RETURN
SF	SQUARE FEET

**NOTES**

- SEE TRACT 32,008 IMPROVEMENT PLANS FOR PROJECT CONDITIONS OF APPROVAL AND ADDITIONAL INFORMATION.
- "VARIABLE REAR YARD SETBACK" CALCULATED PER CITY OF GOLETA COASTAL ZONING ORDINANCE - ARTICLE 2 OF CHAPTER 35, SECTION 35-71.8.1.b

**LOT STATISTICS**

LOT NUMBER	52	53	54	55	56	57	58	59	60
ZONING	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1	7-R-1
LOT AREA	11,066 SF	9,778 SF	11,456 SF	9,288 SF	10,039 SF	11,468 SF	13,047 SF	9,037 SF	11,485 SF
MINIMUM REAR SETBACK:	19.0'	19.9'	24.5'	21.7'	22.8'	28.1'	23.9'	28.1'	17.0'
FLOOR PLAN:	1C	5B	3A	1L	3A	3R	4A	4A	5B



<b>ALI D'ORO - TRACT 32,008 SITE PLAN LOTS 52 THRU 58</b>	
<p>PLAN PREPARER: MAC DESIGN ASSOC. 1933 CLIFF DRIVE, SUITE 6 SANTA BARBARA, CA 93109 (805) 957-4748</p>	<p>APPLICANT: COMSTOCK CROSSER &amp; ASSOC. 321 12th STREET, SUITE 200 MANHATTAN BEACH, CA 90266 (310) 546-5781</p>
REV. 11-29-07	PHASE 2: SHEET 4A OF 10

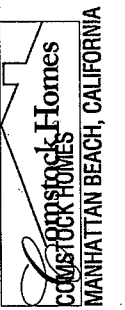






TRACT MAP 32,008  
S.F.D.

THE BLUFFS AT SANDPIPER  
GOLETA, CALIFORNIA

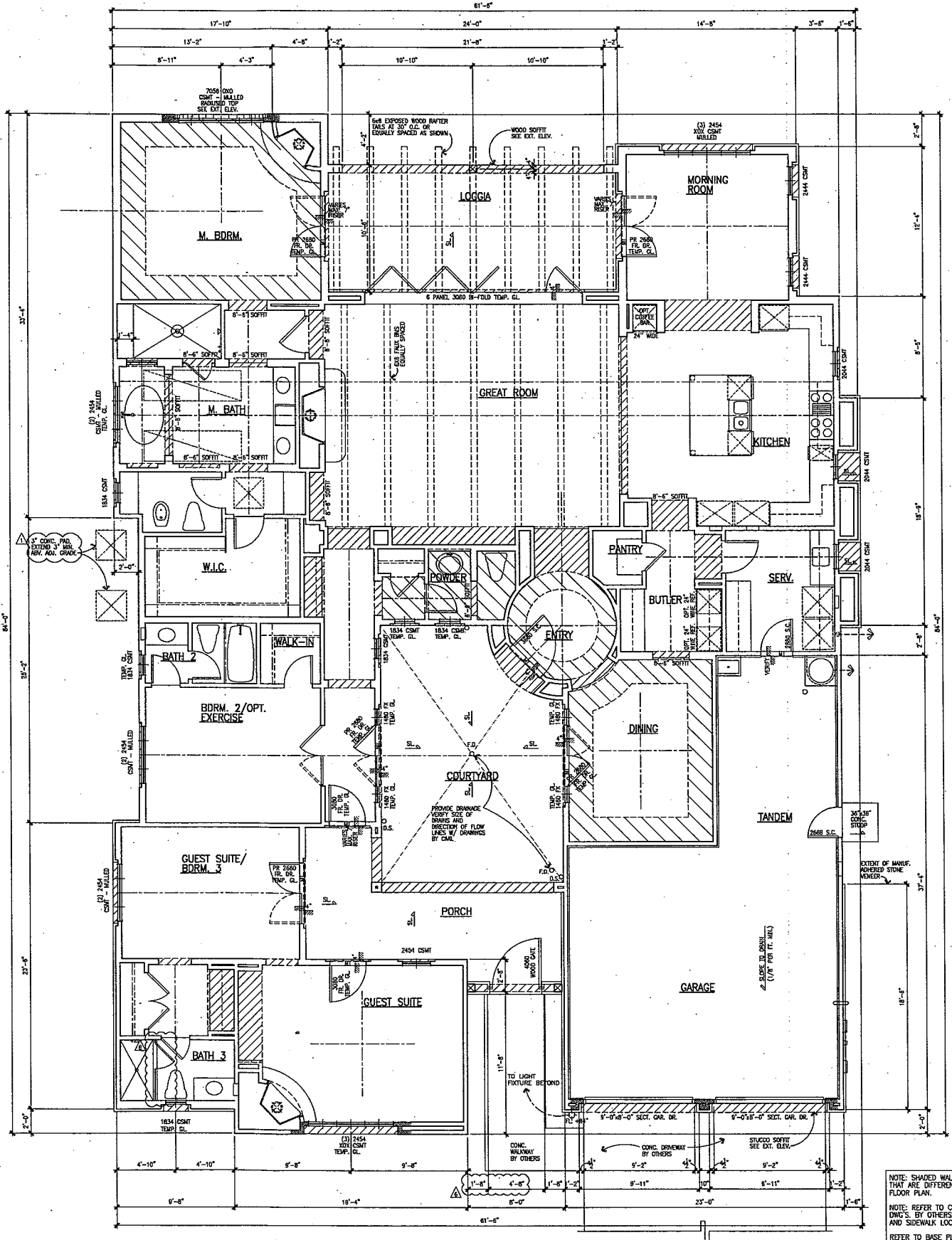
  
 COMSTOCK HOMES  
 MANHATTAN BEACH, CALIFORNIA

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NO.	DATE	DESCRIPTION
1	06/19/06	1st BLDG. DEPT. CORRECTIONS
2	05/15/06	CLIENT REVISIONS
3	07/23/04	CLIENT FIELD REVISIONS

PROJECT MANAGER: JLR  
 DESIGNER: M.C.  
 DRAWN BY: JLR  
 1ST BLDG. DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 2001334  
 CAD FILE NAME: 01234207206

DATE: SHEET: A2.7



**SQUARE FOOTAGE TABLE:**

1. HABITABLE SPACE IS DEFINED AS CONDITIONED FLOOR AREA FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, ENCLOSED WALLS, AND FIREPLACES ON EXTERIOR WALLS.

2. NON-HABITABLE SPACE IS DEFINED AS NON-CONDITIONED GARAGE FLOOR AREA FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, ENCLOSED WALLS, FIREPLACES ON EXTERIOR WALLS, DECKS, PORCHES, BALCONIES, LOGGIA AND COURTYARDS.

HABITABLE SQ. FT.	
LOWER FLOOR PLAN	3230 SQ. FT.
TOTAL HABITABLE SQ. FT.	3230 SQ. FT.

NON-HABITABLE SQ. FT.	
GARAGE	649 SQ. FT.
FRONT PORCH (COVERED)	185 SQ. FT.
LOGGIA (COVERED)	252 SQ. FT.
COURTYARD	288 SQ. FT.
EXT. ARCH. FEATURES/POP-OUTS	45 SQ. FT.
TOTAL NON-HABITABLE SQ. FT.	1439 SQ. FT.
TOTAL HABITABLE AND NON-HABITABLE SQ. FT.	4669 SQ. FT.

BUILDING HEIGHT	± 16'-2 1/4"
OCCUPANCY TYPE	R-3/U-1
TYPE OF CONSTRUCTION	TYPE V - NR
SPRINKLERED	NO
OCCUPANCY LOAD (1ST FLOOR)	10.77

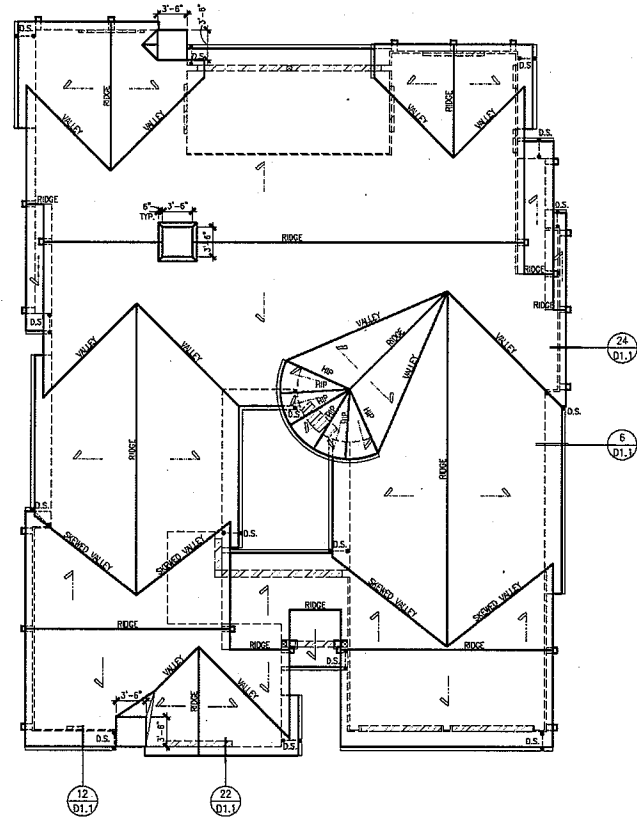
NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.  
 NOTE: REFER TO CIVIL AND LANDSCAPE DWG'S. BY OTHERS, FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.  
 REFER TO BASE PLAN SHEET A2.1 FOR ADDITIONAL NOTES AND DIMENSIONS.  
 REFER TO BASE PLAN SHEET A2.2 FOR ELECTRICAL/UTILITY INFORMATION.

FLOOR PLAN - PLAN 2C - FARMHOUSE

SCALE: 1/4" = 1'-0"

PLAN 2C - FARMHOUSE

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06

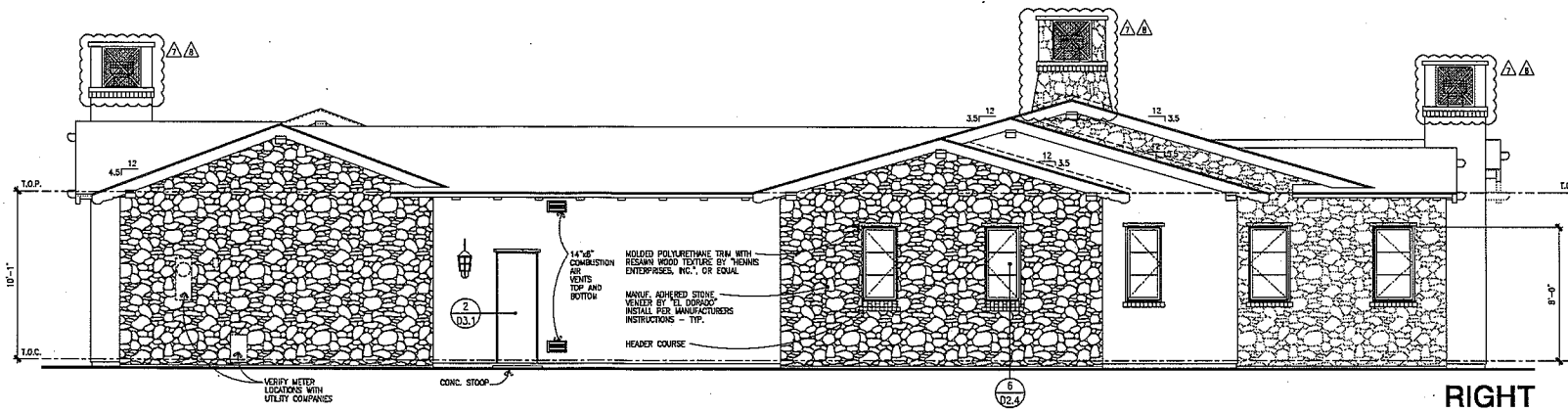


ROOF PLAN SCALE: 1/8" = 1'-0"

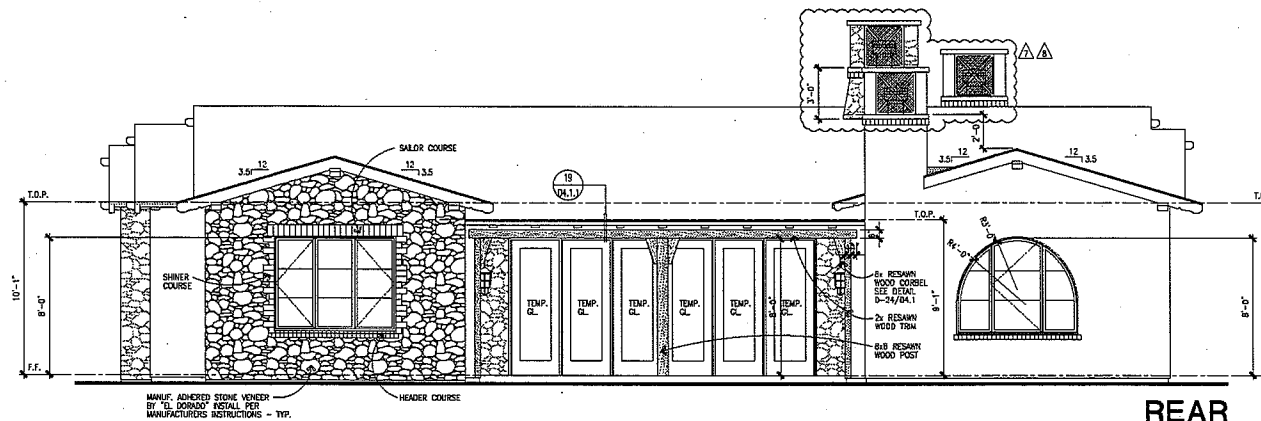
ROOF PLAN LEGEND		ROOF PLAN NOTES	
	INDICATES 3:12 SLOPE/DIRECTION	1.	SEE GENERAL NOTES FOR ROOF NOTES.
	INDICATES 3.5:12 SLOPE/DIRECTION	2.	SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
	INDICATES 4.5:12 SLOPE/DIRECTION	3.	PROVIDE AT LEAST 2 SIGHT VENTILATION AS PER SECTION 0522 OF THE 2001 CALIFORNIA BUILDING CODE.
	INDICATES 6:12 SLOPE/DIRECTION	4.	ROOF VENTILATION PROVIDED USING "PLANNED ROOF VENTS BY DESIGN" - SEE PUBLIC SAFETY TESTING AND EVALUATION SERVICE REPORT NO. 0504 A.
	INDICATES DOWNSPOUT (IF REQUIRED)	5.	SEE SHEET AC-1.1 FOR ROOF VENTILATION CALCULATIONS AND SPECIFICATIONS BY OTHERS.
	INDICATES ROOF GUTTER (IF REQUIRED)		
	INDICATES LINE OF OVERHANG		
	INDICATES LINE OF STRUCTURE		

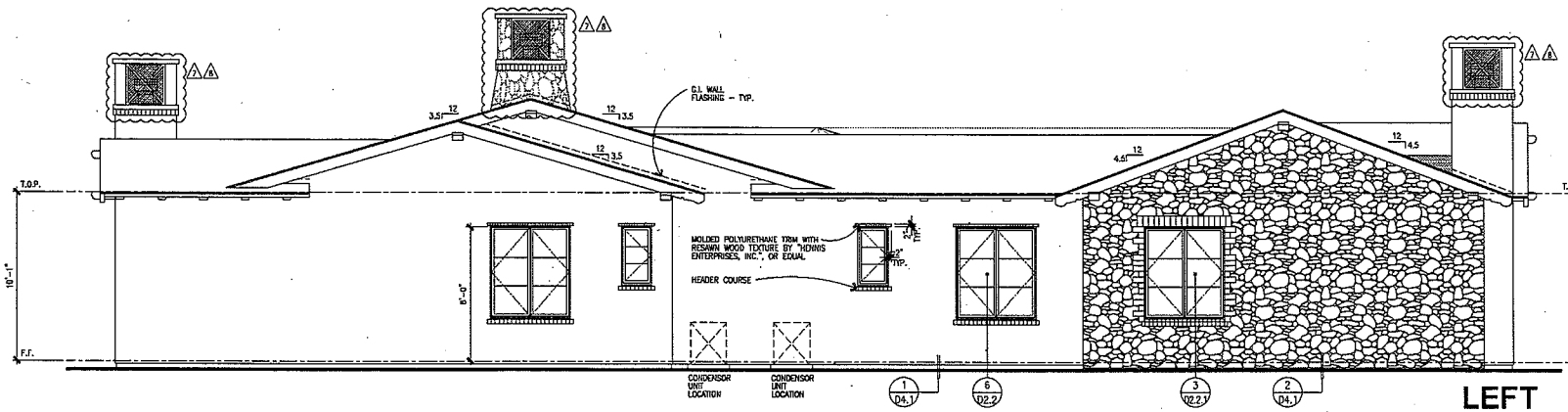
ROOF INFORMATION	
ELEVATION REFERENCE: C	ELEVATION STYLE: FARMHOUSE
ROOF MATERIAL: 2 PG. CLAY MISSION TILE	ROOF PITCH: 12/12
FASCIA: 2X3	BRIDGE: 4X8
EAVE: 2'-0"	OVERHANG: 1'-0"
ROOF: 1'-0"	ROOF: 1'-0"



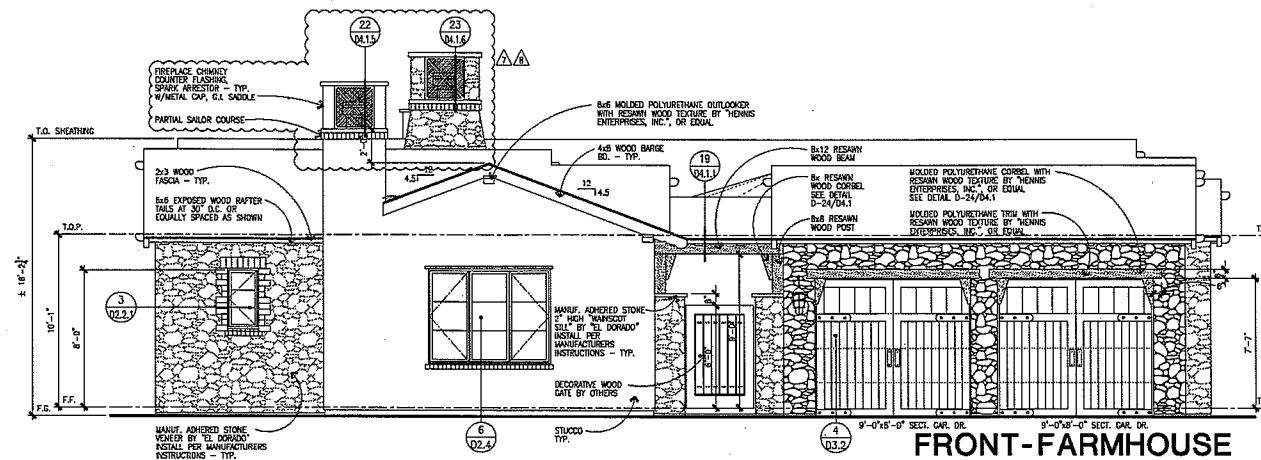
RIGHT



REAR



LEFT



FRONT-FARMHOUSE

W  
**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
 280 HENRI AVENUE SUITE 200 SANTA ANA, CALIFORNIA  
 949 250 1807 www.wheh.com tel 949 250 1829

TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA  
**COMSTOCK HOMES**  
 MANHATTAN BEACH, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	09/16/06	CLIENT REVISIONS
2	10/18/06	CLIENT FIELD REVISIONS
3	12/06/06	FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.C.  
 DRAWN BY: J.R.  
 REVIEWED BY: J.R.  
 1ST BLDG. DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 200133A  
 CAD FILE NAME: 0133A2002.DWG

DATE: SHEET:  
**A2.8**

PLAN 2C - FARMHOUSE

"CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06"

FINISHED GRADE MARKS SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADING AND SITE DRAINAGE





TRACT MAP 32,008  
 S.F.D.

THE BLUFFS AT SANDPIPER  
 GOLETA, CALIFORNIA  
 Custom Home  
 MANHATTAN BEACH, CALIFORNIA

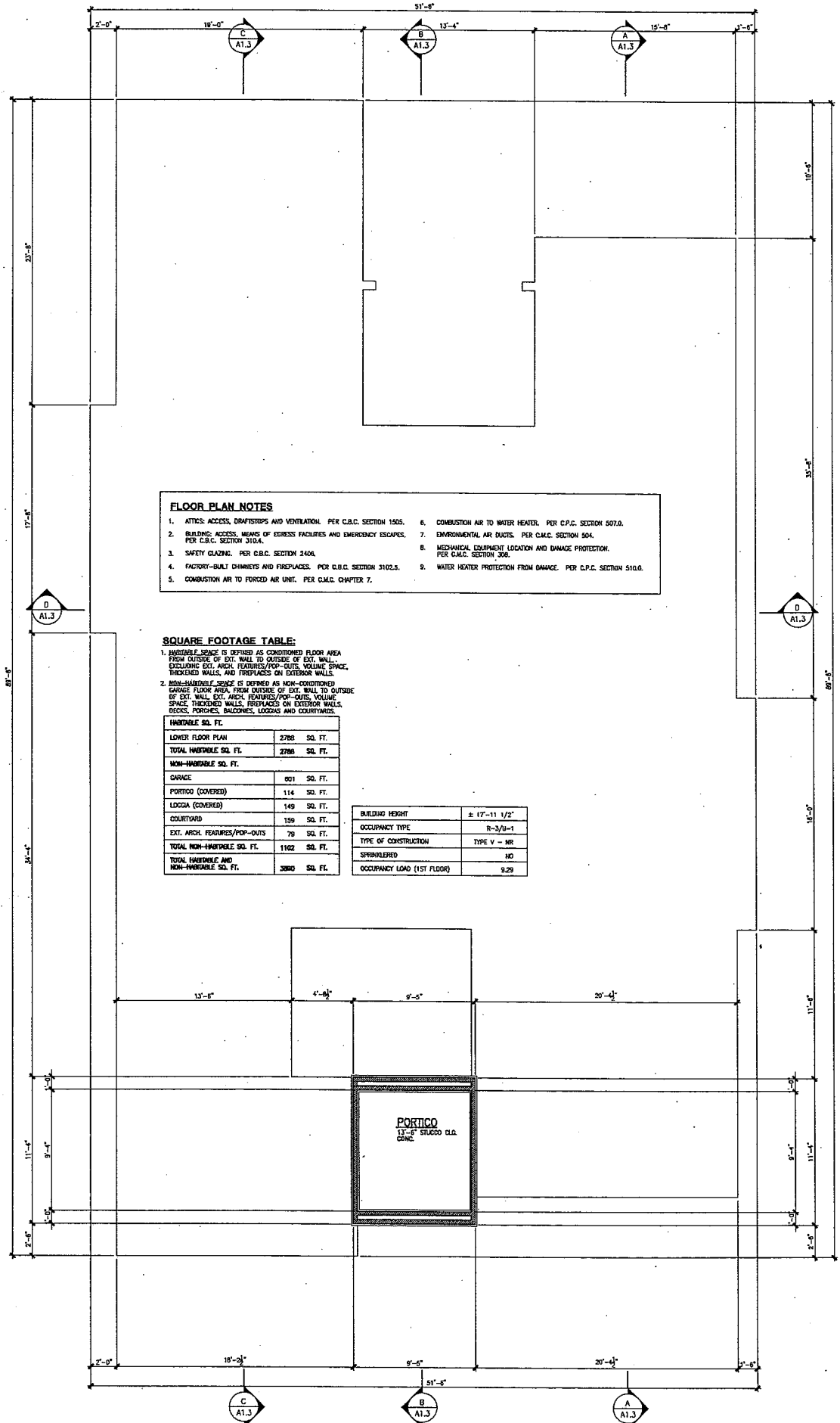
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 DID NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	05/15/06	1st BLDG. DEPT. CORRECTIONS
2	08/16/06	CLIENT REVISIONS
3	05/15/06	CLIENT REVISIONS
4	07/25/06	CLIENT FIELD REVISIONS

PROJECT MANAGER:	J.R.
DESIGNER:	M.C.
DRAWN BY:	
REVIEWED BY:	J.R.
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2001334
CAD FILE NAME:	01234512.DWG
DATE:	
SHEET:	A1.1

PLAN 1

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06



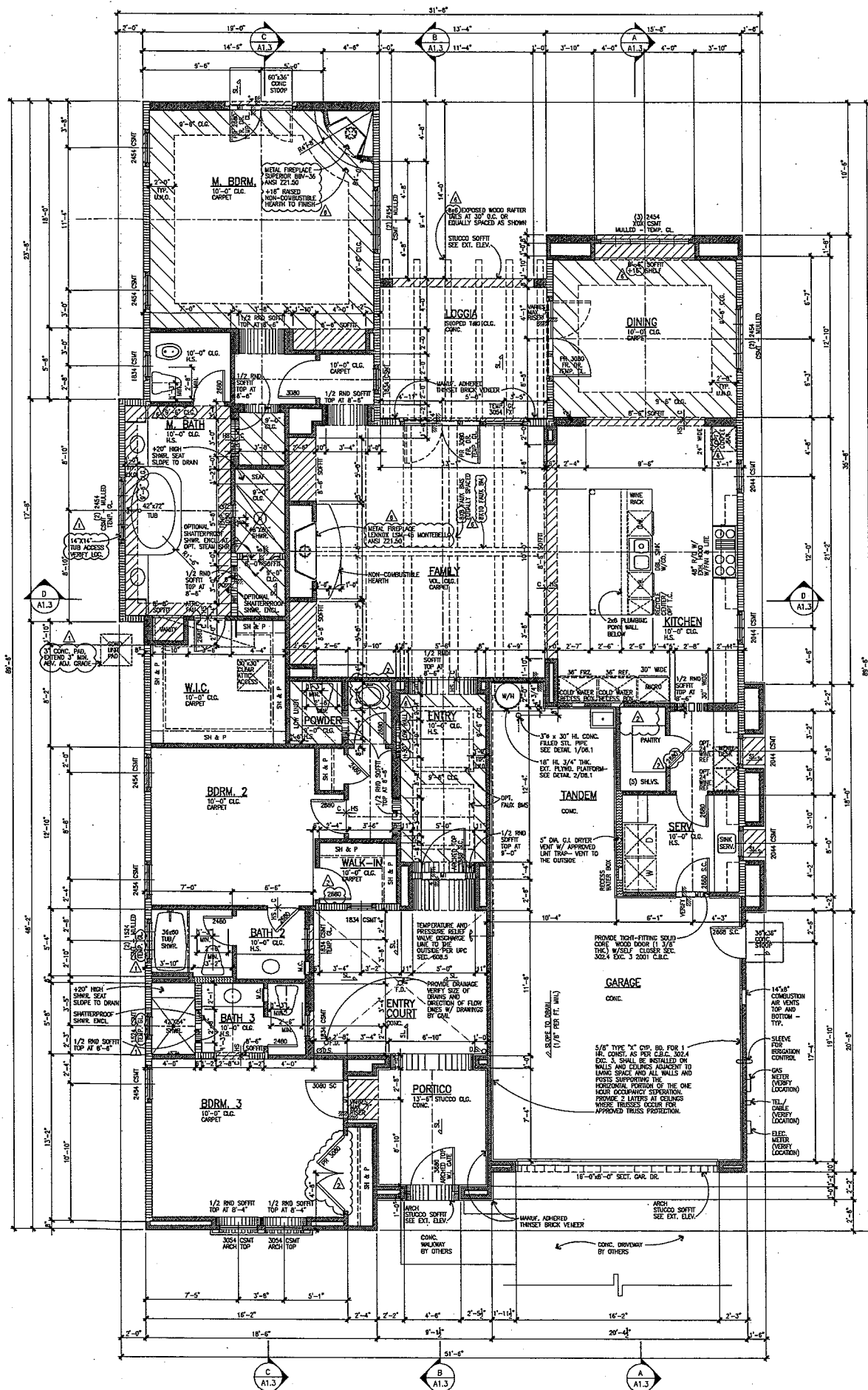
- FLOOR PLAN NOTES**
1. ATTIC ACCESS, DRAFTSTOPS AND VENTILATION. PER C.A.C. SECTION 1405.
  2. BUILDING ACCESS, MEANS OF EGRESS FACILITIES AND EMERGENCY ESCAPES. PER C.A.C. SECTION 3104.
  3. SAFETY GLAZING. PER C.A.C. SECTION 2406.
  4. FACTORY-BUILT CHIMNEYS AND FIREPLACES. PER C.A.C. SECTION 3102.3.
  5. COMBUSTION AIR TO FORCED AIR UNIT. PER C.A.C. CHAPTER 7.
  6. COMBUSTION AIR TO WATER HEATER. PER C.P.C. SECTION 507A.
  7. ENVIRONMENTAL AIR DUCTS. PER C.A.C. SECTION 304.
  8. MECHANICAL EQUIPMENT LOCATION AND DAMAGE PROTECTION. PER C.A.C. SECTION 306.
  9. WATER HEATER PROTECTION FROM DAMAGE. PER C.P.C. SECTION 510.0.

**SQUARE FOOTAGE TABLE:**

1. HABITABLE SPACE IS DEFINED AS CONDITIONED FLOOR AREA FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, AND FIREPLACES ON EXTERIOR WALLS.
2. NON-HABITABLE SPACE IS DEFINED AS NON-CONDITIONED GARAGE FLOOR AREA, FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, FIREPLACES ON EXTERIOR WALLS, DECKS, PORCHES, BALCONIES, LOGGIA AND COURTYARDS.

HABITABLE SQ. FT.	
LOWER FLOOR PLAN	2788 SQ. FT.
TOTAL HABITABLE SQ. FT.	2788 SQ. FT.
NON-HABITABLE SQ. FT.	
GARAGE	801 SQ. FT.
PORCH (COVERED)	114 SQ. FT.
LOGGIA (COVERED)	149 SQ. FT.
COURTYARD	159 SQ. FT.
EXT. ARCH. FEATURES/POP-OUTS	79 SQ. FT.
TOTAL NON-HABITABLE SQ. FT.	1162 SQ. FT.
TOTAL HABITABLE AND NON-HABITABLE SQ. FT.	3950 SQ. FT.


BUILDING HEIGHT	± 17'-11 1/2"
OCCUPANCY TYPE	R-3/U-1
TYPE OF CONSTRUCTION	TYPE V - MR
SPRINKLERED	NO
OCCUPANCY LOAD (1ST FLOOR)	9.29



FLOOR PLAN - PLAN 1 -

SCALE: 1/4" = 1'-0"

TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA  

  
 COASTAL HOMES CONSTRUCTION  
 MANHATTAN BEACH, CALIFORNIA

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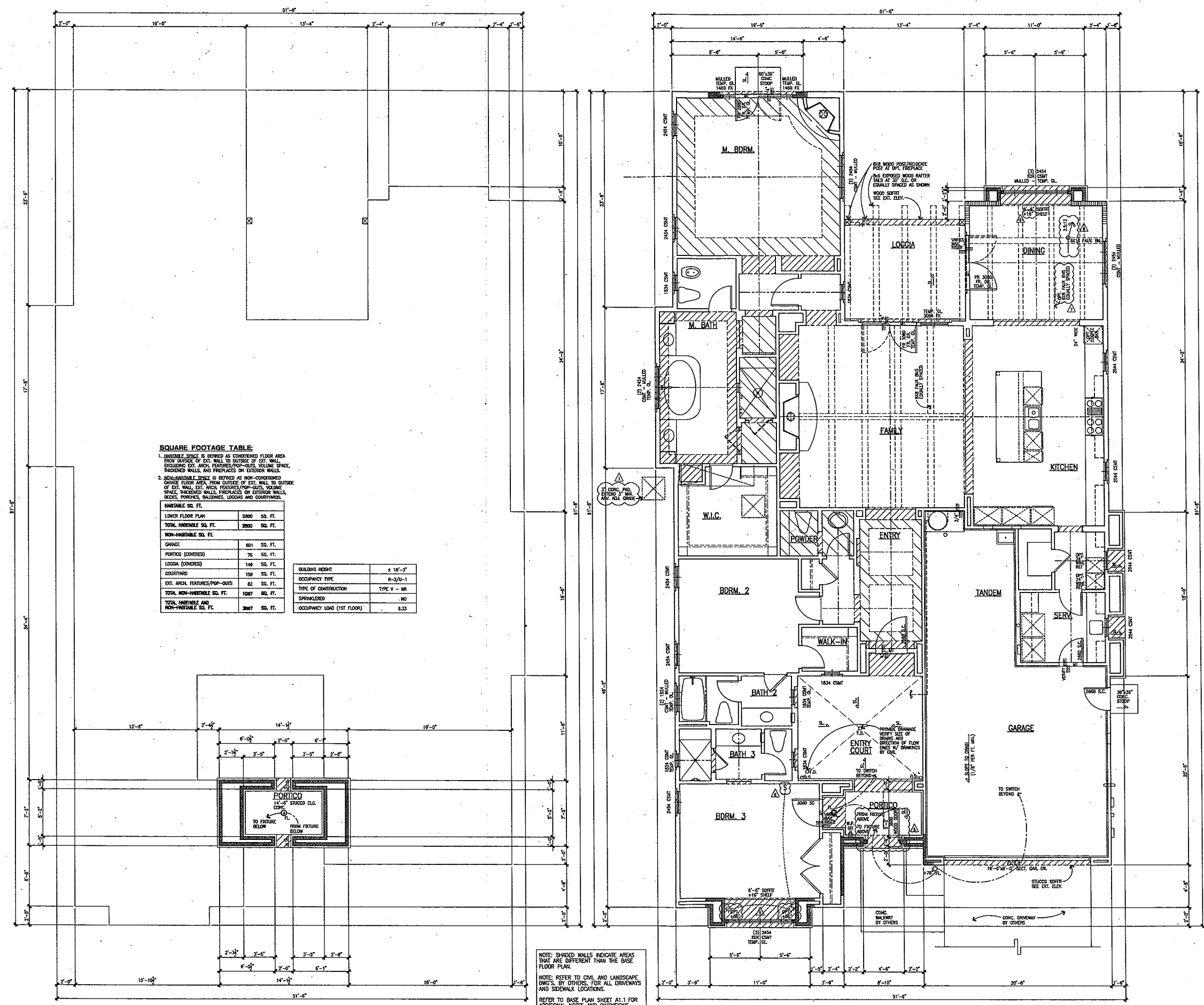
REVISIONS		
NO.	DATE	DESCRIPTION
1	08/18/06	1st BLDG. DEPT. CORRECTIONS
2	05/15/06	CLIENT REVISIONS
3	07/25/06	CLIENT FIELD REVISIONS

PROJECT MANAGER:	J.R.
DESIGNER:	M.C.
DEVELOPER BY:	J.R.
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2001334
CAD FILE NAME:	01334AUS.DWG
DATE:	SHEET: A1.5

PLAN 1B - RUSTIC

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06

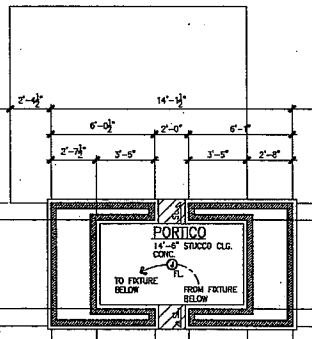


**SQUARE FOOTAGE TABLE**

1. VARIABLE SPACE IS DEFINED AS CONDITIONED FLOOR AREA FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING EXT. ARCH. FEATURES/POOP-OUTS, VOLUME SPACE, THICKENED WALLS, AND PROJECTIONS ON EXTERIOR WALLS.  
 2. NON-VARIABLE SPACE IS DEFINED AS NON-CONDITIONED GROUND FLOOR AREA, FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING ARCH. FEATURES/POOP-OUTS, VOLUME SPACE, THICKENED WALLS, PROJECTIONS ON EXTERIOR WALLS, DECKS, PORCHES, BALCONIES, LOGGIA'S AND COURTYARDS.

VARIABLE SQ. FT.	
LOWER FLOOR PLAN	2800 SQ. FT.
TOTAL VARIABLE SQ. FT.	2800 SQ. FT.
NON-VARIABLE SQ. FT.	
GARAGE	651 SQ. FT.
PORCH (COVERED)	75 SQ. FT.
LOGGIA (COVERED)	148 SQ. FT.
COURTYARD	159 SQ. FT.
EXT. ARCH. FEATURES/POOP-OUTS	82 SQ. FT.
TOTAL NON-VARIABLE SQ. FT.	1067 SQ. FT.
TOTAL VARIABLE AND NON-VARIABLE SQ. FT.	3867 SQ. FT.

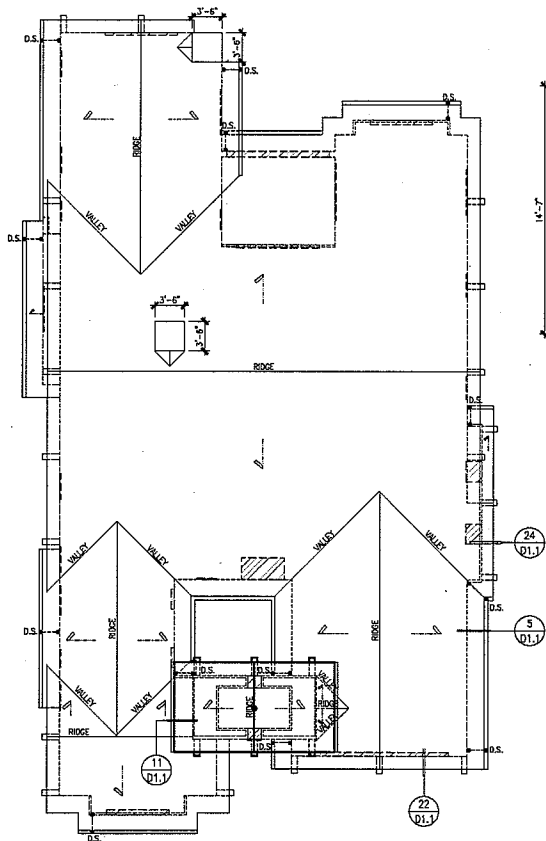
BUILDING HEIGHT	± 10'-3"
OCCUPANCY TYPE	R-3/1/1
TYPE OF CONSTRUCTION	TYPE V - MR
SPRINKLERED	.NO
OCCUPANCY LOAD (1ST FLOOR)	8.33



NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.  
 NOTE: REFER TO CIVIL AND LANDSCAPE DWG'S. BY OTHERS, FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.  
 REFER TO BASE PLAN SHEET A1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.  
 REFER TO BASE PLAN SHEET A1.2 FOR ELECTRICAL/UTILITY INFORMATION.

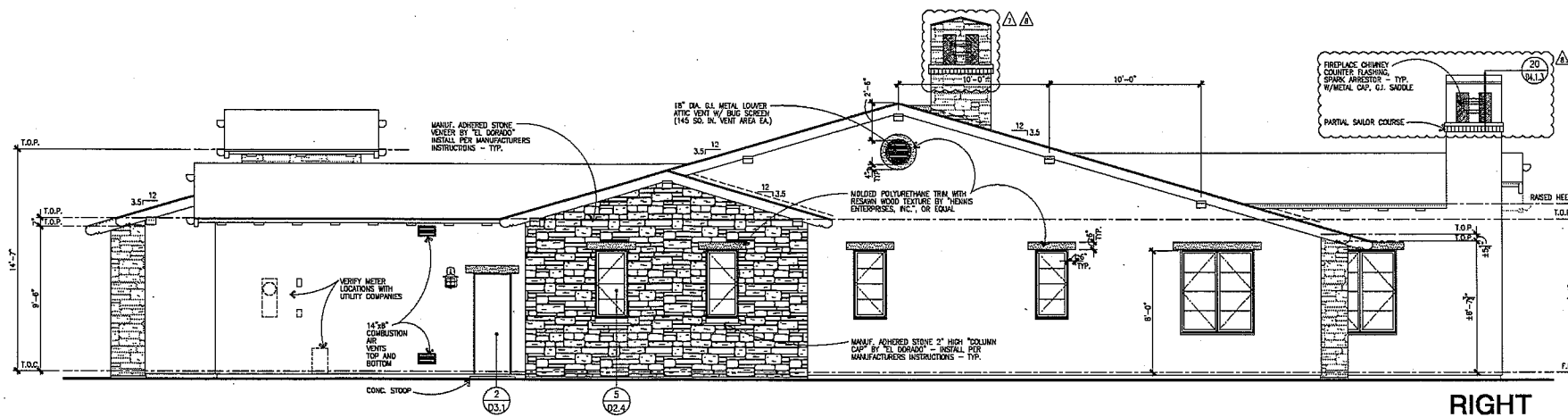
FLOOR PLAN - PLAN 1B - RUSTIC

SCALE: 1/4" = 1'-0"

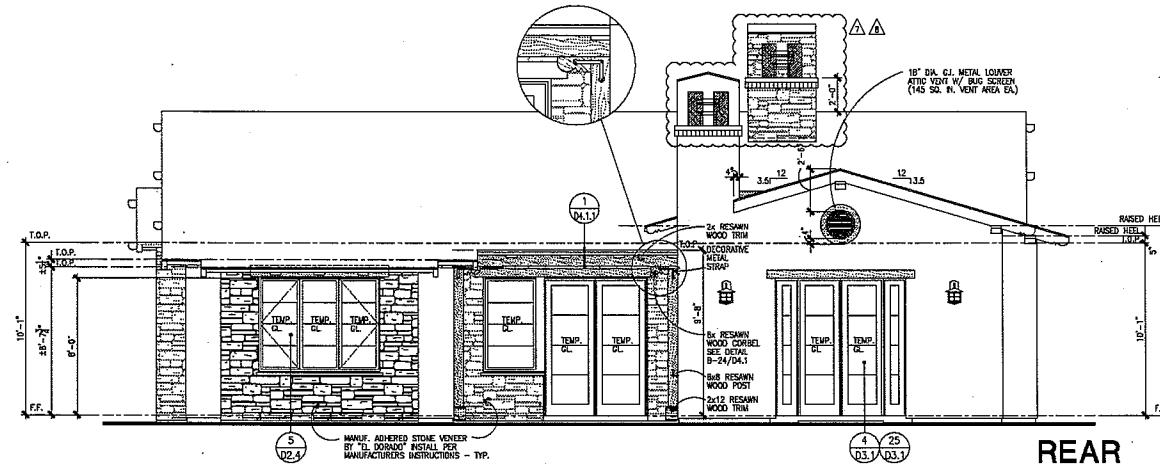


ROOF PLAN SCALE: 1/8" = 1'-0"

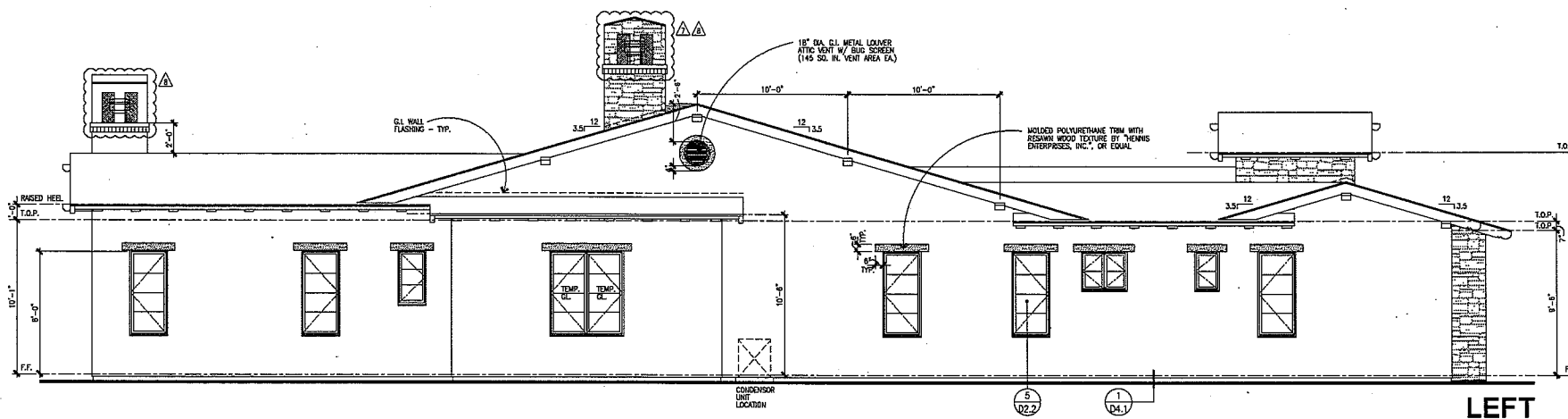
ROOF PLAN LEGEND		ROOF PLAN NOTES	
	INDICATES 3:12 SLOPE/DIRECTION	1.	SEE GENERAL NOTES FOR ROOF NOTES.
	INDICATES 3.5:12 SLOPE/DIRECTION	2.	SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
	INDICATES 4.5:12 SLOPE/DIRECTION	3.	PROMOTE ATTIC & ROOF VENTILATION AS PER SECTION 0505.3 OF THE 2001 CALIFORNIA BUILDING CODE.
	INDICATES 6:12 SLOPE/DIRECTION	4.	ROOF VENTILATION PROVIDED USING "LOWLOADED ROOF VENTS BY SYNCH" - SEE "PUBLIC SAFETY TESTING AND EVALUATION SERVICE" REPORT NO. 9550 A
	INDICATES DOWNSPOUT (IF REQUIRED)	5.	SEE SHEET A1.3.1 FOR ROOF VENTILATION CALCULATIONS AND SPECIFICATIONS BY OTHERS.
	INDICATES ROOF GUTTER (IF REQUIRED)		
	INDICATES LINE OF CHIMNEY		
	INDICATES LINE OF STRUCTURE		
ROOF INFORMATION			
ELEVATION REFERENCE:	B	ELEVATION STYLE:	RUSTIC
ROOF MATERIAL:	2 PC. CLAY MISSION TILE	STANDARD ROOF PITCH:	12/12
		FASCIA:	2X3
		BARGE:	4X8
		OVERHANG DIM. - U.S.O.:	2'-0" 1'-8" 1'-8"



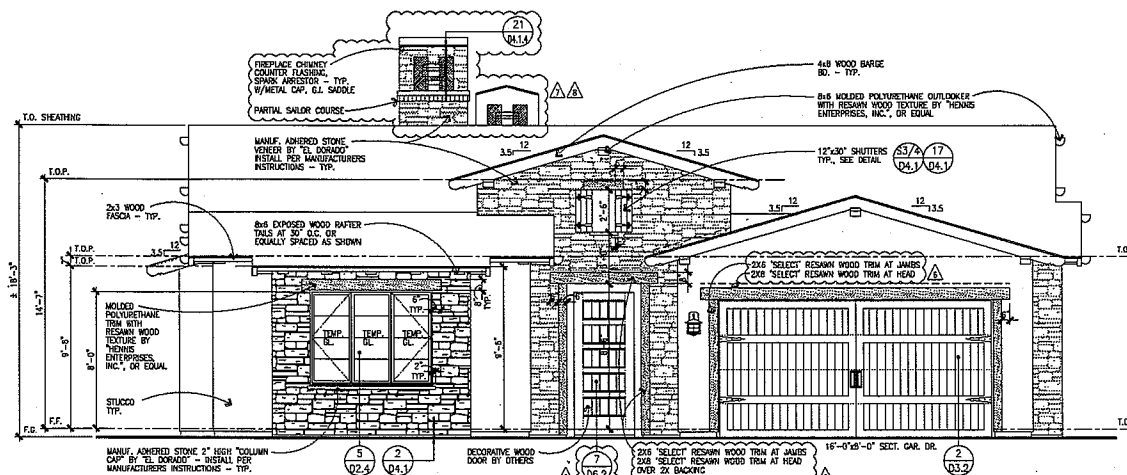
RIGHT



REAR



LEFT



FRONT-RUSTIC

**W**  
**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
 280 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-6943  
 949 250 0807 www.hezmalhalch.com fax 949 250 1528

TRACT MAP 32,008 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA  
**CoastRock Homes**  
 MANHATTAN BEACH, CALIFORNIA

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NO.	DATE	DESCRIPTION
Δ	08/16/05	CLIENT REVISIONS
Δ	05/15/06	CLIENT REVISIONS
Δ	07/25/06	CLIENT FIELD REVISIONS
Δ	10/18/06	CLIENT FIELD REVISIONS
Δ	12/08/06	FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.D.  
 DRAWN BY:  
 REVIEWED BY: J.R.  
 1ST BLOCK DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 200124  
 CAD FILE NAME: 013344102.RWG

DATE: SHEET: **A1.6**

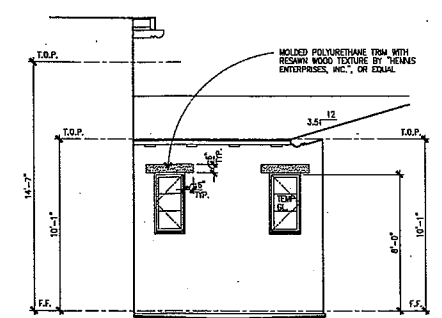
EXTERIOR ELEVATIONS - PLAN 1B - RUSTIC

SCALE: 1/4" = 1'-0"

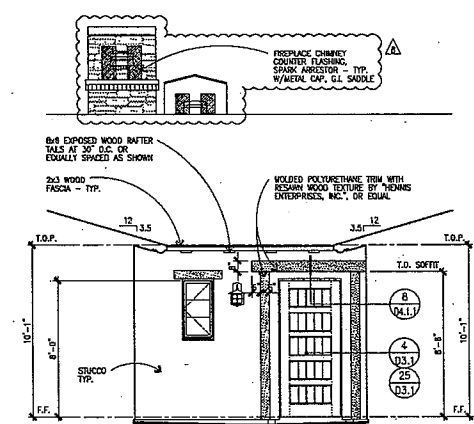
FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRAD, AND SITE DRAINAGE.

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06

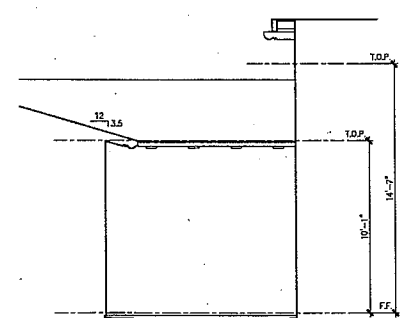
TRACT MAP 32,008 S.F.D.



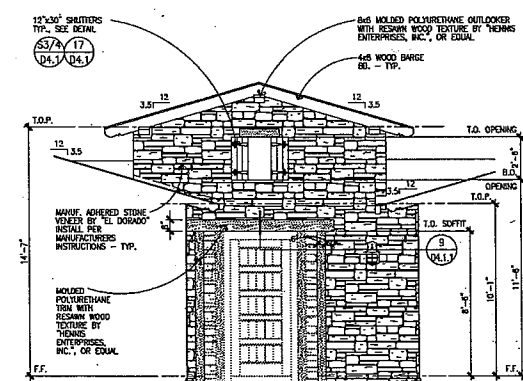
PART. LEFT AT COURTYARD



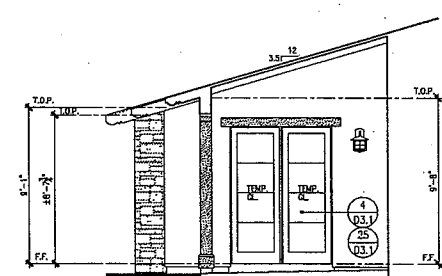
PART. FRONT AT COURTYARD



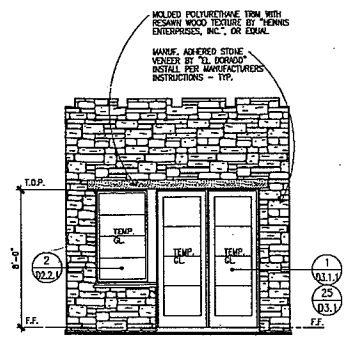
PART. RIGHT AT COURTYARD



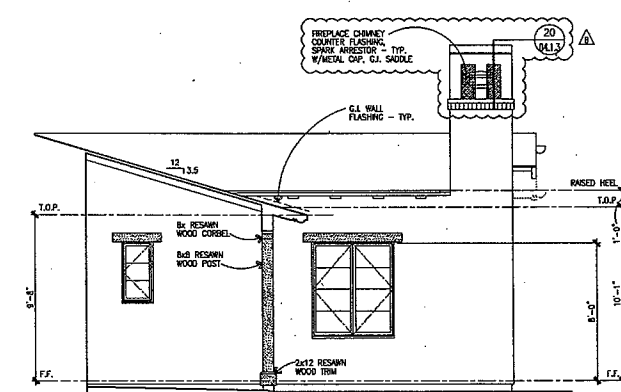
PART. REAR AT COURTYARD



PART. RIGHT AT OUTDOOR ROOM




PART. REAR AT OUTDOOR ROOM



PART. LEFT AT OUTDOOR ROOM

THE BLUFFS AT SANDPIPER  
GOLETA, CALIFORNIA

  
 COASTAL HOMES  
 MANHATTAN BEACH, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	06/15/06	CLIENT REVISIONS
2	12/08/06	FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.C.  
 DRAWN BY:  
 REVIEWED BY: J.R.  
 1ST BLDG. DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 2001334  
 CAD FILE NAME: 01334A1081.DWG

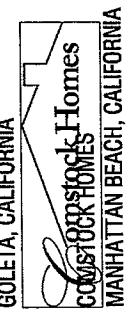
DATE: SHEET: A1.6.1





TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA

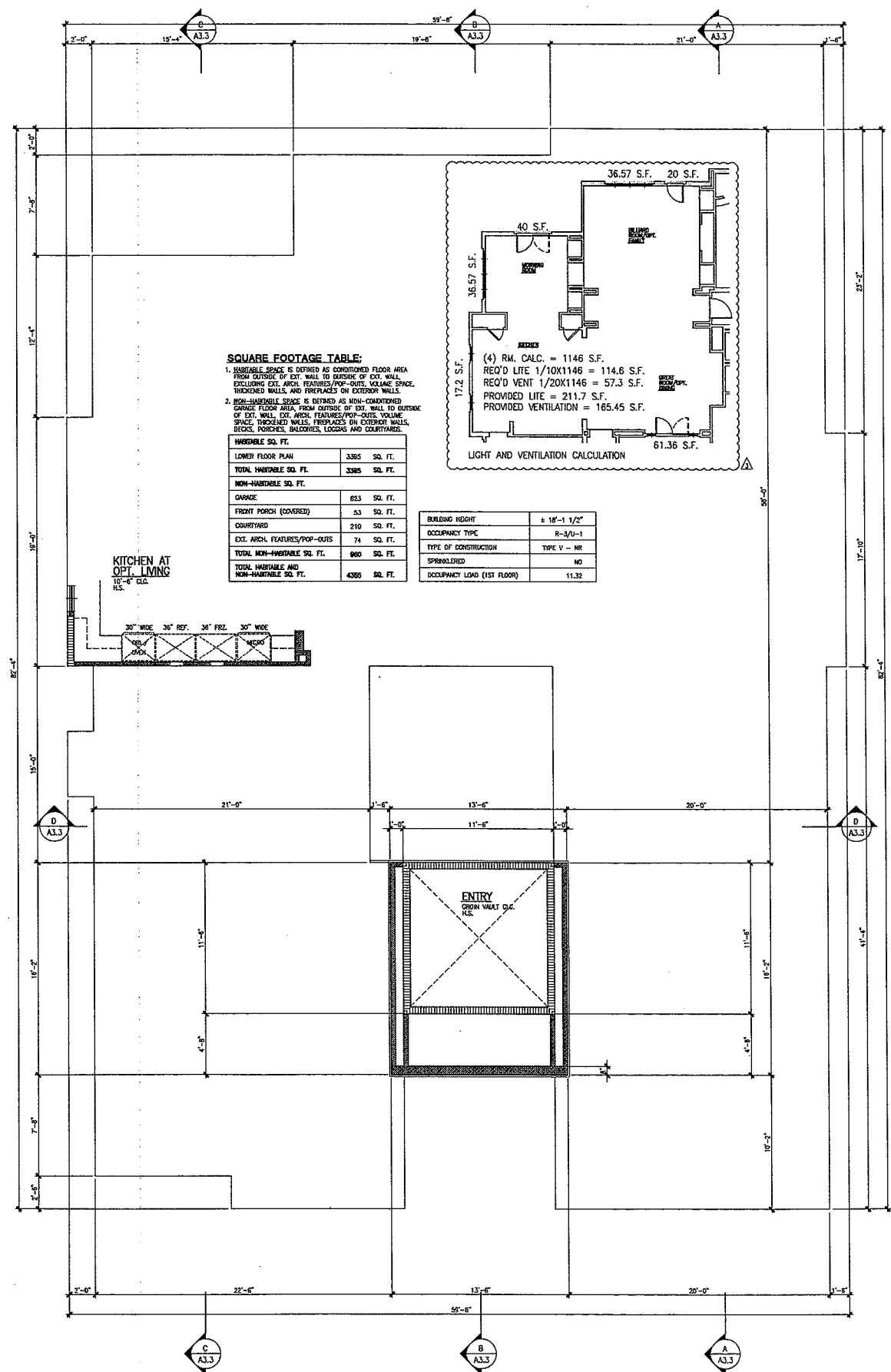


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NO.	DATE	DESCRIPTION
1	08/19/05	1st BLDG. DEPT. CORRECTIONS
2	08/16/05	CLIENT REVISIONS
3	10/24/05	3rd BLDG. DEPT. CORRECTIONS
4	05/15/06	CLIENT REVISIONS
5	07/25/06	CLIENT FIELD REVISIONS
6	10/18/06	CLIENT FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.C.  
 DRAWN BY:  
 REVIEWED BY: J.R.  
 1ST BLDG. DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 200134  
 CAD FILE NAME: 0155ASND.DWG  
 DATE: SHEET: **A3.1**

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06

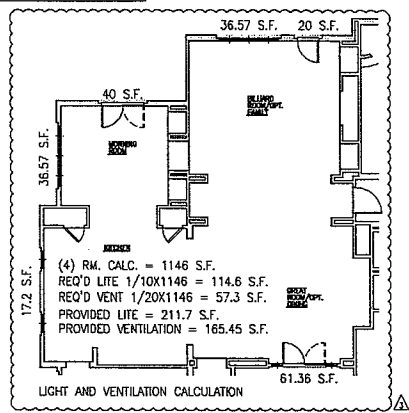


**SQUARE FOOTAGE TABLE:**

- HABITABLE SPACE IS DEFINED AS CONDITIONED FLOOR AREA FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXCLUDING EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, AND FIREPLACES ON EXTERIOR WALLS.
- NON-HABITABLE SPACE IS DEFINED AS NON-CONDITIONED GARAGE FLOOR AREA, FROM OUTSIDE OF EXT. WALL TO OUTSIDE OF EXT. WALL, EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, FIREPLACES ON EXTERIOR WALLS, DECKS, PORCHES, BALCONIES, LOGGIES AND COURTYARDS.

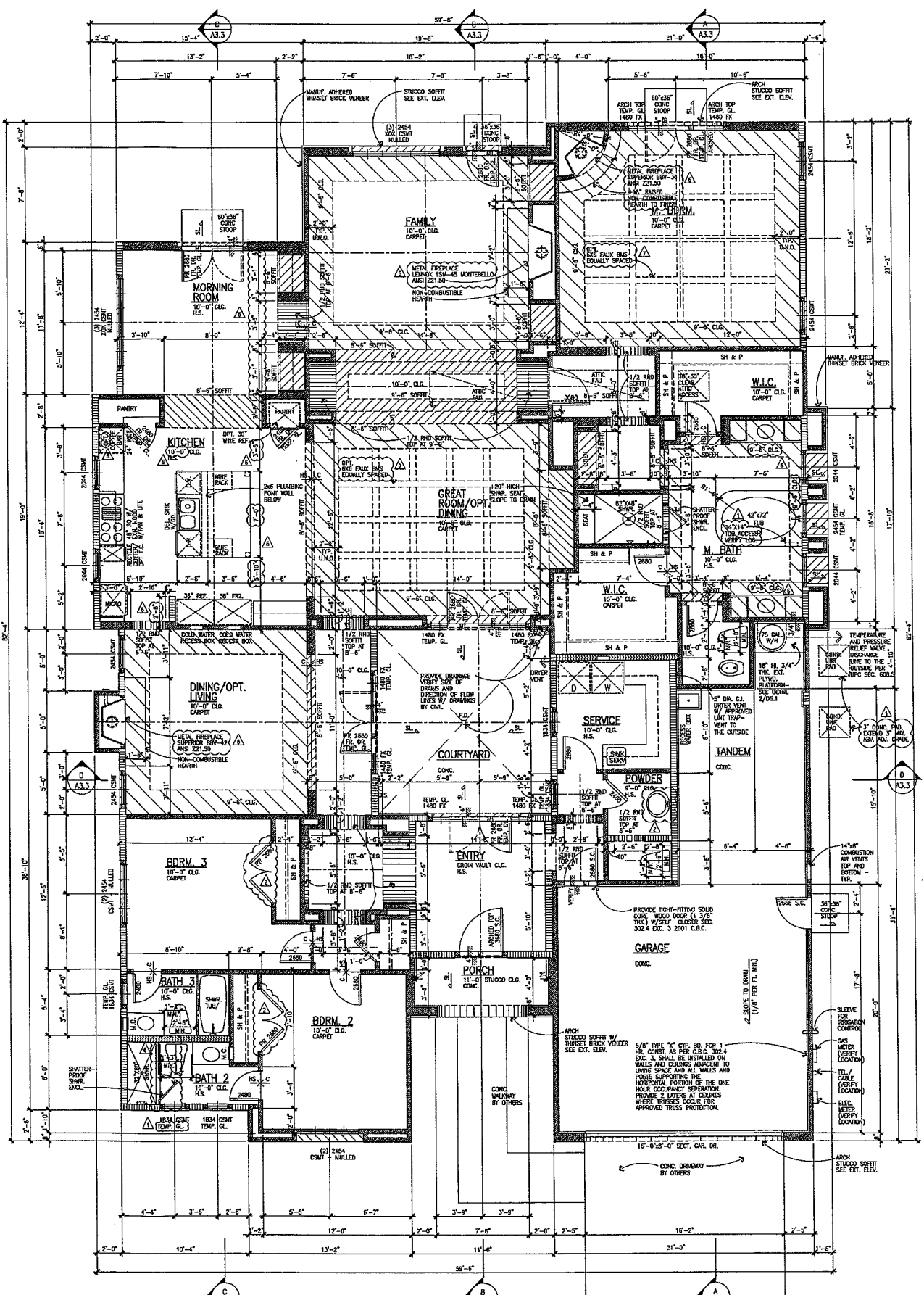
HABITABLE SQ. FT.	
LOWER FLOOR PLAN	3385 SQ. FT.
TOTAL HABITABLE SQ. FT.	3385 SQ. FT.
NON-HABITABLE SQ. FT.	
GARAGE	623 SQ. FT.
FRONT PORCH (COVERED)	53 SQ. FT.
COURTYARD	210 SQ. FT.
EXT. ARCH. FEATURES/POP-OUTS	74 SQ. FT.
TOTAL NON-HABITABLE SQ. FT.	960 SQ. FT.
TOTAL HABITABLE AND NON-HABITABLE SQ. FT.	4355 SQ. FT.

BUILDING HEIGHT	± 16'-1 1/2"
OCCUPANCY TYPE	R-3/U-1
TYPE OF CONSTRUCTION	TYPE V - NR
SPRINKLERED	NO
OCCUPANCY LOAD (1ST FLOOR)	11.32



- FLOOR PLAN NOTES**
- ATTICS: ACCESS, DRAFTSTOPS AND VENTILATION. PER C.B.C. SECTION 1505.
  - BUILDING ACCESS: MEANS OF EGRESS FACILITIES AND EMERGENCY ESCAPES. PER C.B.C. SECTION 5104.
  - SAFETY GLAZING. PER C.B.C. SECTION 2408.
  - FACTORY-BUILT CHIMNEYS AND FIREPLACES. PER C.B.C. SECTION 3102.5.
  - CONSTRUCTION AIR TO FORCED AIR UNIT. PER C.M.C. CHAPTER 7.
  - COMBUSTION AIR TO WATER HEATER. PER C.P.C. SECTION 507.0.
  - ENVIRONMENTAL AIR DUCTS. PER C.A.C. SECTION 504.
  - MECHANICAL EQUIPMENT LOCATION AND DAMAGE PROTECTION. PER C.A.C. SECTION 306.
  - WATER HEATER PROTECTION FROM DAMAGE. PER C.P.C. SECTION 510.0.

**FLOOR PLAN - PLAN 3A - VILLA**

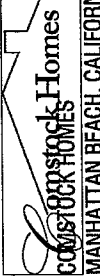


SCALE: 1/4" = 1'-0"

PLAN 3A - VILLA

TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA


**COASTAL HOMES**  
 MANHATTAN BEACH, CALIFORNIA

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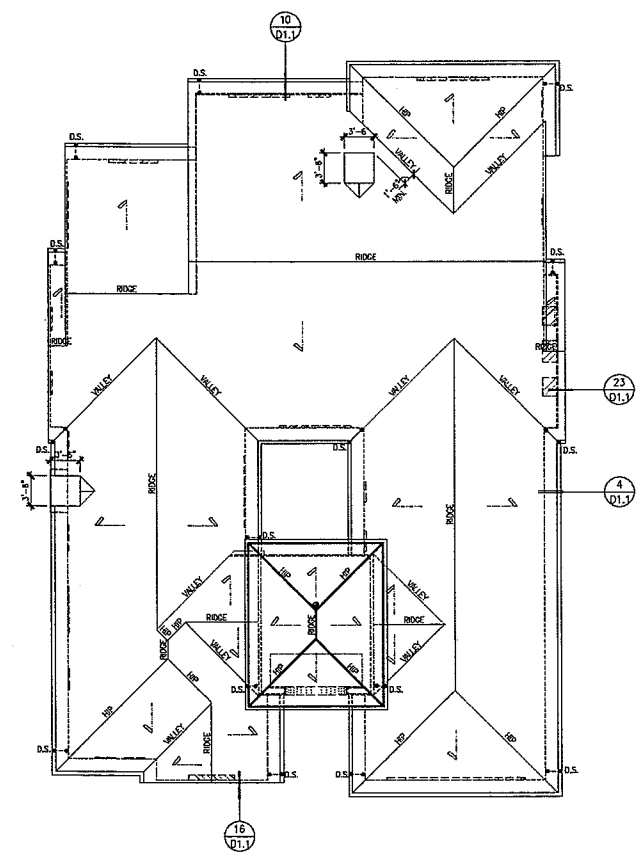
NO.	DATE	DESCRIPTION
1	05/16/05	CLIENT REVISIONS
2	05/15/06	CLIENT REVISIONS
3	07/25/06	CLIENT FIELD REVISIONS
4	10/18/06	CLIENT FIELD REVISIONS
5	12/08/06	FIELD REVISIONS

NO.	DATE	DESCRIPTION
1	05/16/05	CLIENT REVISIONS
2	05/15/06	CLIENT REVISIONS
3	07/25/06	CLIENT FIELD REVISIONS
4	10/18/06	CLIENT FIELD REVISIONS
5	12/08/06	FIELD REVISIONS

PROJECT MANAGER:	JR
DESIGNER:	M.A.
DRAWN BY:	
REVIEWED BY:	JR
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	200158
CAD FILE NAME:	0158A303.DWG

DATE:	SHEET:
	<b>A3.4</b>

"CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06"

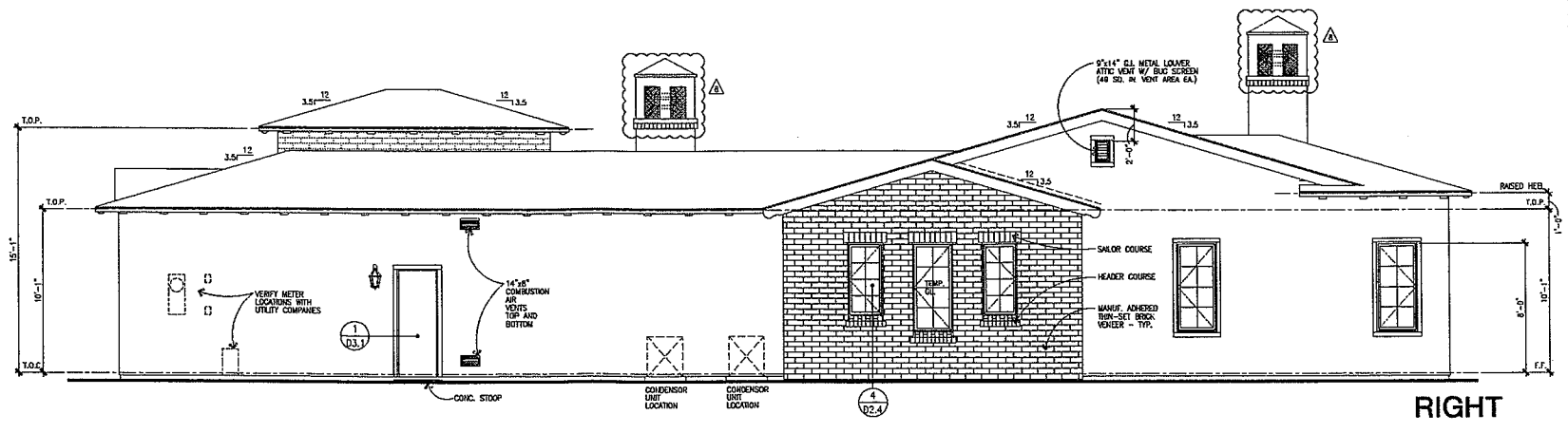


**ROOF PLAN LEGEND** SCALE: 1/8" = 1'-0"

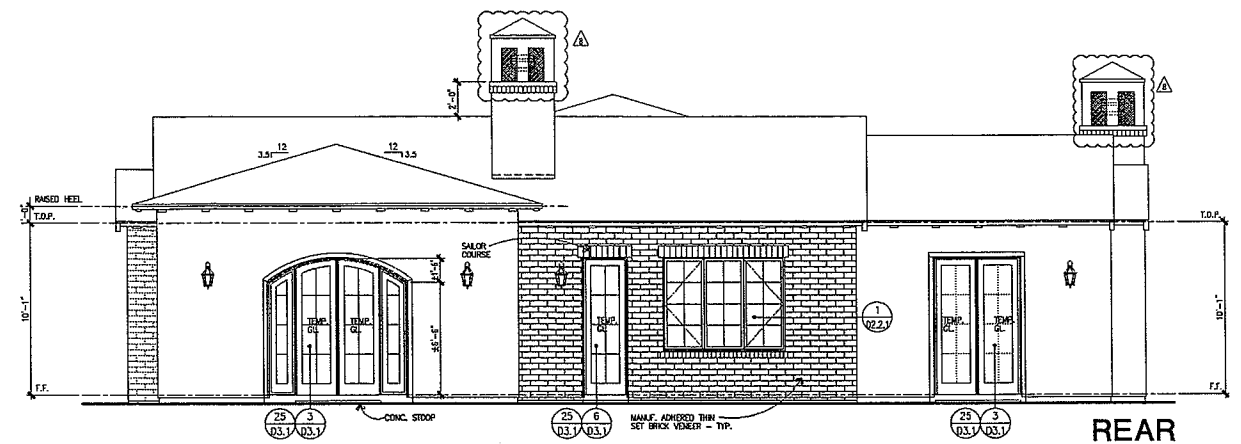
ROOF PLAN LEGEND	ROOF PLAN NOTES
INDICATES 3:12 SLOPE/DIRECTION	1. SEE GENERAL NOTES FOR ROOF NOTES.
INDICATES 3.5:12 SLOPE/DIRECTION	2. SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
INDICATES 4.5:12 SLOPE/DIRECTION	3. PROVIDE ATTIC & SOFFIT VENTILATION AS PER SECTION 05050 OF THE 2001 CALIFORNIA BUILDING CODE.
INDICATES 6:12 SLOPE/DIRECTION	4. ROOF VENTILATION PROVIDED USING "CLOSED" ROOF VENTS BY DESIGN - SEE CPD PUBLIC SAFETY TESTING AND EVALUATION SERVICE REPORT NO. 8650 A.
INDICATES DOWNSPOUT (IF REQUIRED)	5. SEE SHEET A3.1 FOR ROOF VENTILATION CALCULATIONS AND SPECIFICATIONS BY OTHERS.
INDICATES ROOF GUTTER (IF REQUIRED)	
INDICATES LINE OF OVERHANG	
INDICATES LINE OF STRUCTURE	

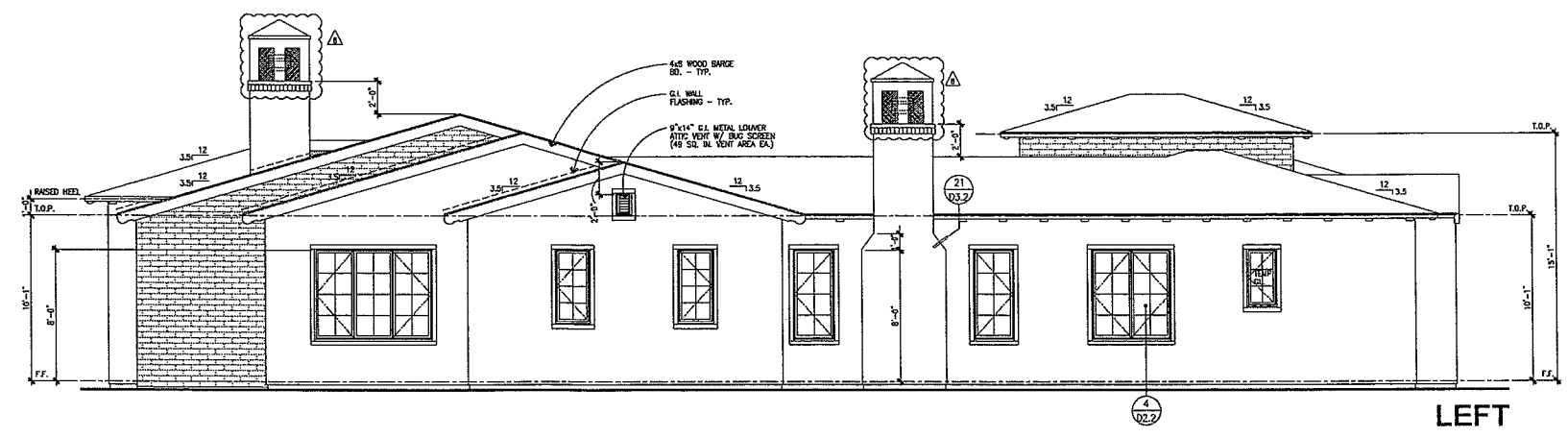
ROOF INFORMATION	
ELEVATION REFERENCE:	ELEVATION STYLE:
A	VILLA
ROOF MATERIAL:	STANDARD ROOF SECT. U.L.G.
2 PC. CLAY MISSION TILE	(1) D1.1
	FASCIA - U.L.G.
	BARGE - U.L.G.
	OVERHANG DIM. - U.L.G.
	CARE "STUCCO THROUGH" BARGE
	1'-6" x 4" T-0"



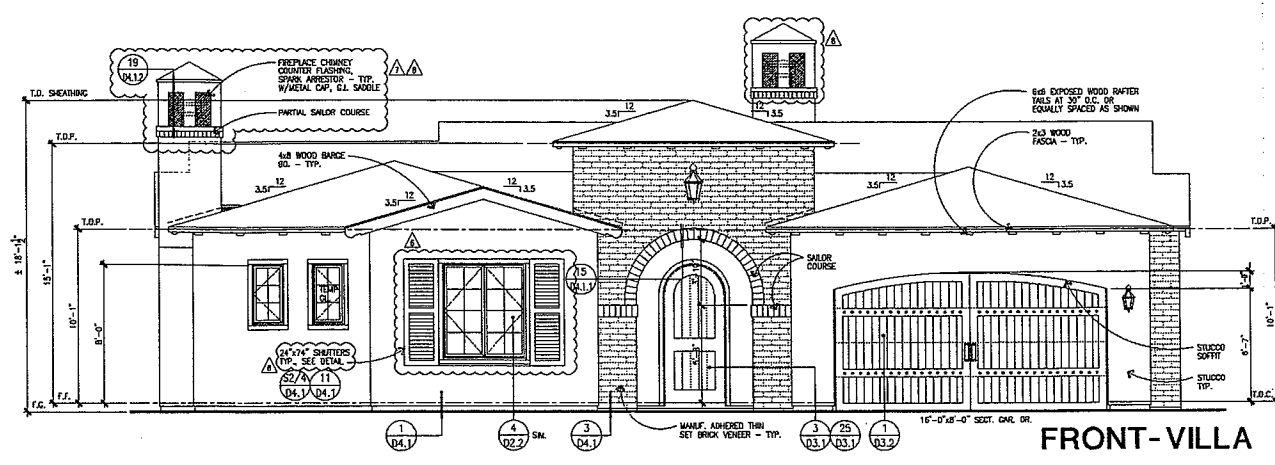
RIGHT



REAR



LEFT



FRONT-VILLA

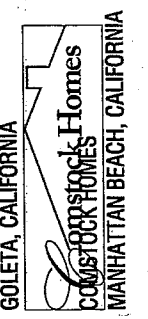
FINISHED GRADE VARIES, SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE





TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA



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 PERMISSION AND CONSENT OF WILLIAM HEZMALHALCH  
 ARCHITECTS, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF  
 THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD  
 WILLIAM HEZMALHALCH ARCHITECTS, INC. HARMLESS.

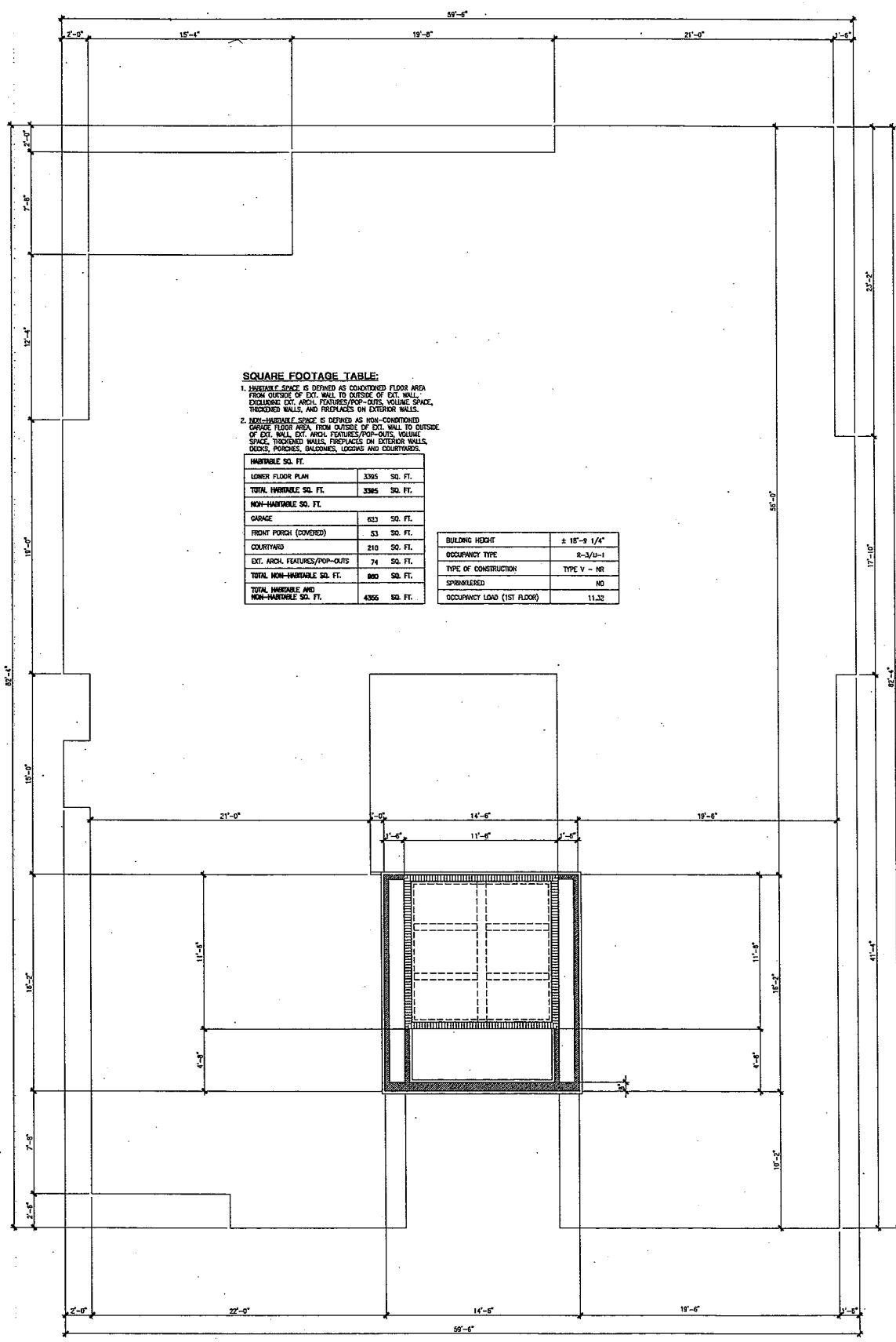
DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/19/05	1st BLDG. DEPT. CORRECTIONS
2	05/15/06	CLIENT REVISIONS
3	07/25/06	CLIENT FIELD REVISIONS

PROJECT MANAGER: JR.  
 DESIGNER: M.G.  
 DRAWN BY: JR.  
 REVIEWED BY: JR.  
 1ST BLDG. DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 2001334  
 CAD FILE NAME: 0123456.DWG

DATE: SHEET:  
**A3.5**

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06

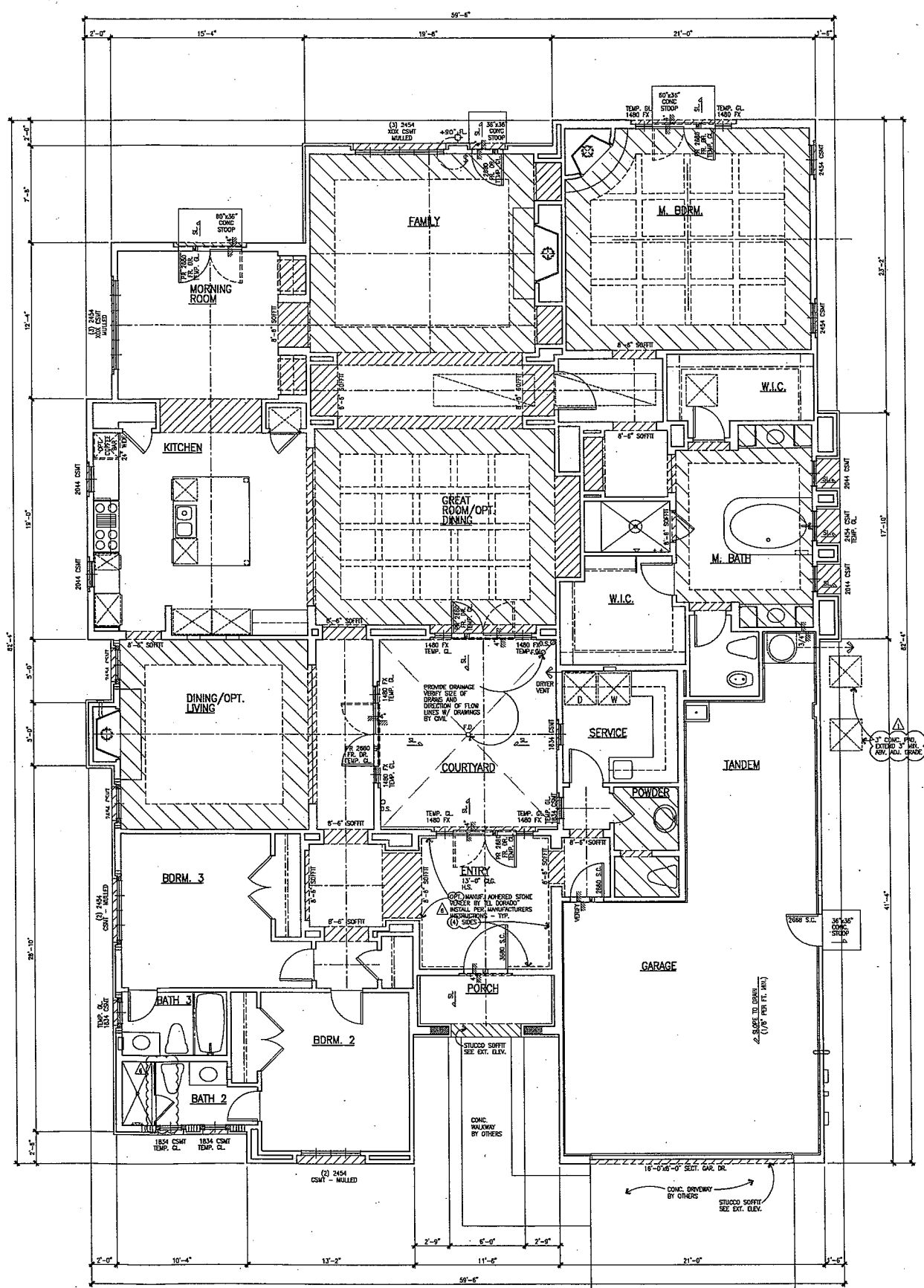


**SQUARE FOOTAGE TABLE:**

1. HABITABLE SPACE IS DEFINED AS CONDITIONED FLOOR AREA FROM CURBLINE OF EXT. WALL TO CURBLINE OF EXT. WALL, EXCLUDING EXT. ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, AND PROTRUSIONS ON EXTERIOR WALLS.
2. NON-HABITABLE SPACE IS DEFINED AS NON-CONDITIONED GARAGE FLOOR AREA FROM CURBLINE OF EXT. WALL TO CURBLINE OF EXT. WALL, EXCLUDING ARCH. FEATURES/POP-OUTS, VOLUME SPACE, THICKENED WALLS, PROTRUSIONS ON EXTERIOR WALLS, DECKS, PORCHES, BALCONIES, LOGGIES AND COURTYARDS.

HABITABLE SQ. FT.	
LOWER FLOOR PLAN	3365 SQ. FT.
TOTAL HABITABLE SQ. FT.	3365 SQ. FT.
NON-HABITABLE SQ. FT.	
GARAGE	833 SQ. FT.
FRONT PORCH (COVERED)	53 SQ. FT.
COURTYARD	210 SQ. FT.
EXT. ARCH. FEATURES/POP-OUTS	74 SQ. FT.
TOTAL NON-HABITABLE SQ. FT.	860 SQ. FT.
TOTAL HABITABLE AND NON-HABITABLE SQ. FT.	4355 SQ. FT.

BUILDING HEIGHT	± 16'-9 1/4"
OCCUPANCY TYPE	R-3/0-1
TYPE OF CONSTRUCTION	TYPE V - NR
SPRINKLERED	NO
OCCUPANCY LOAD (1ST FLOOR)	11.32



NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.  
 NOTE: REFER TO CIVIL AND LANDSCAPE PLANS, BY OTHERS, FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.  
 REFER TO BASE PLAN SHEET A3.1 FOR ADDITIONAL NOTES AND DIMENSIONS.  
 REFER TO BASE PLAN SHEET A3.2 FOR ELECTRICAL/UTILITY INFORMATION.

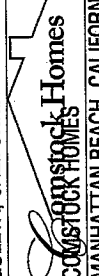
SCALE: 1/4" = 1'-0"

FLOOR PLAN - PLAN 3B - RUSTIC

PLAN 3B - RUSTIC

TRACT MAP 32,008  
 S.F.D.

**THE BLUFFS AT SANDPIPER**  
 GOLETA, CALIFORNIA


**Coastal Homes**  
 MANHATTAN BEACH, CALIFORNIA

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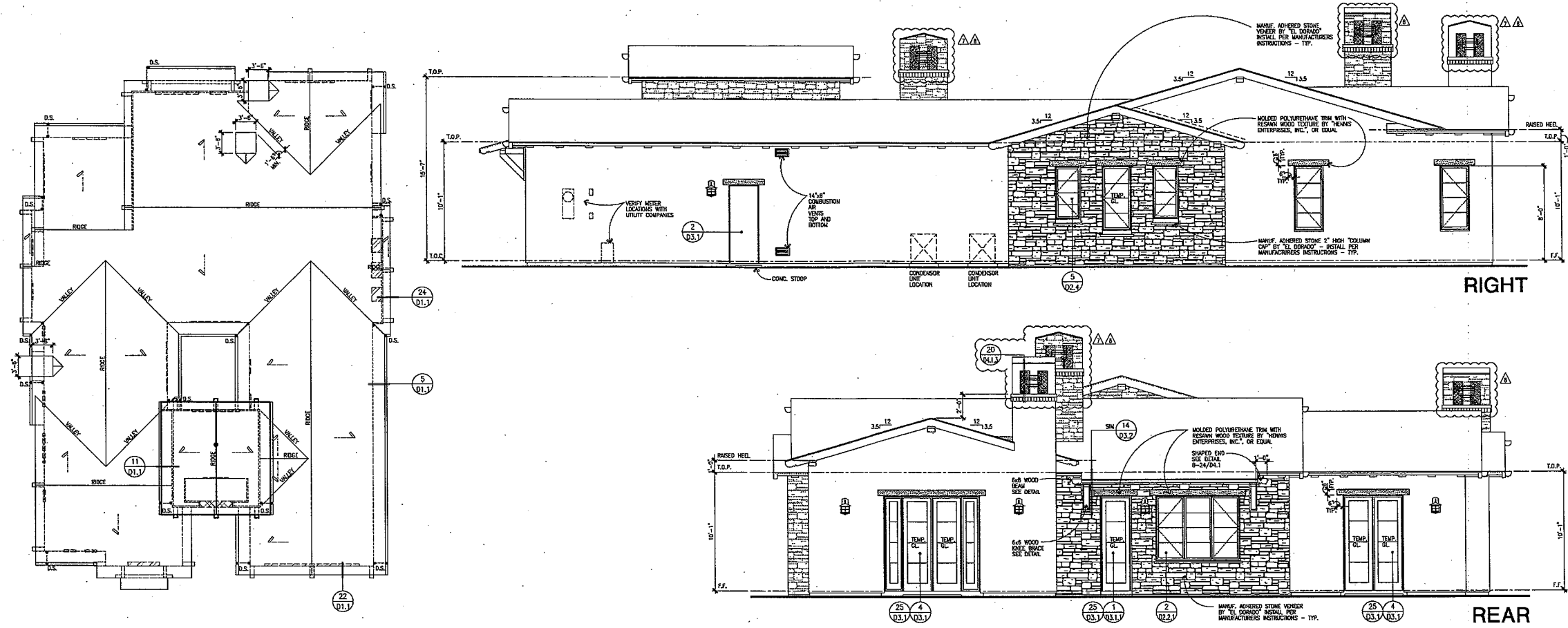
REVISIONS		
NO.	DATE	DESCRIPTION
△	08/14/08	CLIENT REVISIONS
△	05/15/08	CLIENT REVISIONS
△	07/25/08	CLIENT FIELD REVISIONS
△	10/16/08	CLIENT FIELD REVISIONS
△	12/08/08	FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.C.  
 DRAWN BY:  
 REVIEWED BY: J.R.  
 1ST BLOCK DEPT. SUBMITTAL:  
 ISSUED FOR CONSTRUCTION:  
 JOB NUMBER: 2007034  
 CAD FILE NAME: 0123456789

DATE	SHEET
	<b>A3.6</b>

PLAN 3B - RUSTIC

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/08



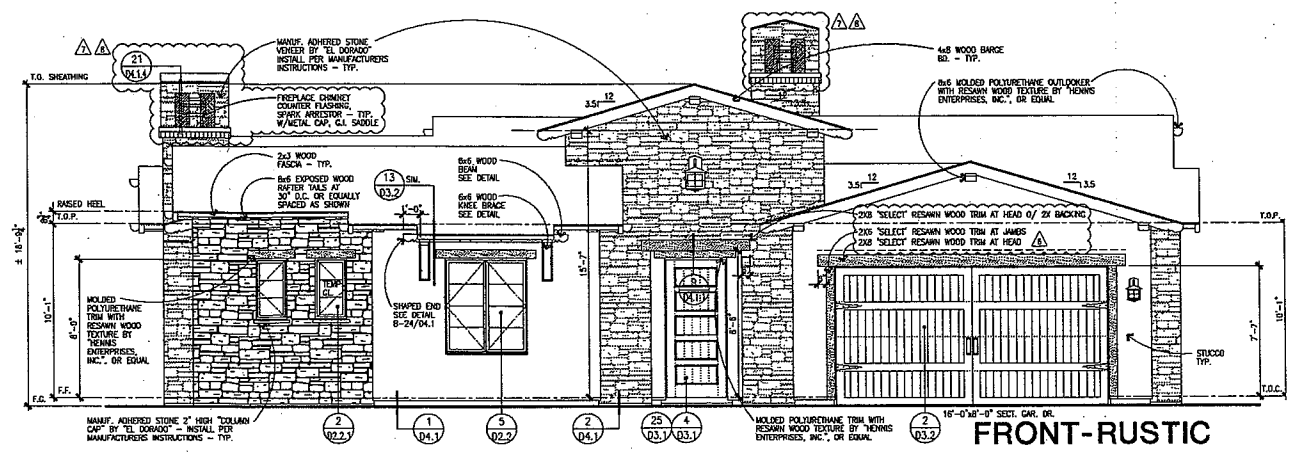
**ROOF PLAN** SCALE: 1/8" = 1'-0"

ROOF PLAN LEGEND		ROOF PLAN NOTES	
	INDICATES 3:12 SLOPE/DIRECTION	1. SEE GENERAL NOTES FOR ROOF NOTES.	
	INDICATES 3.5:12 SLOPE/DIRECTION	2. SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.	
	INDICATES 4.5:12 SLOPE/DIRECTION	3. PROVIDE ATIC & SOFT VENTILATION AS PER SECTION 1505.5 OF THE 2001 CALIFORNIA BUILDING CODE.	
	INDICATES 6:12 SLOPE/DIRECTION	4. ROOF VENTILATION PROVIDED USING "CLIMAKED" ROOF VENTS BY TITAN - SEE PUBLIC SAFETY TESTING AND EVALUATION SERVICE REPORT NO. 9600 A	
	INDICATES DOWNSPOUT (IF REQUIRED)	5. SEE SHEET A3.3.1 FOR ROOF VENTILATION CALCULATIONS AND SPECIFICATIONS BY OTHERS.	
	INDICATES ROOF BUTTER (IF REQUIRED)		
	INDICATES LINE OF OVERHANG		
	INDICATES LINE OF STRUCTURE		

ROOF INFORMATION	
ELEVATION REFERENCE: B	ELEVATION STYLE: RUSTIC
ROOF MATERIAL: 2 PG. CLAY MISSION TILE	STANDING ROOF: 2X3
	DECK: 4X8
	BARCE: 2'-0"
	OVERHANG: 1'-6"
	OVERHANG: 1'-6"
	OVERHANG: 1'-6"

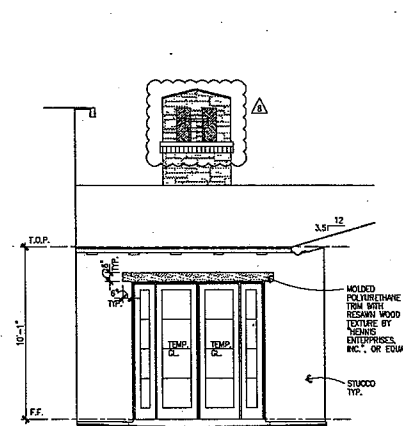
EXTERIOR ELEVATIONS - PLAN 3B - RUSTIC

SCALE: 1/4" = 1'-0"

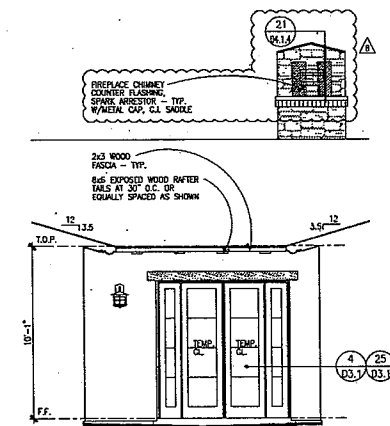


FINISHED GRADE WALES SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE

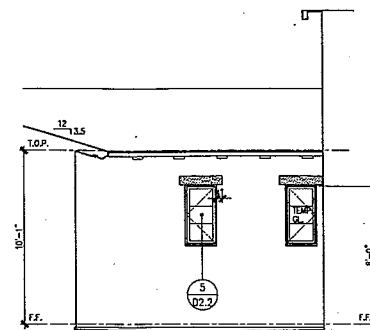
TRACT MAP 32,008  
S.F.D.



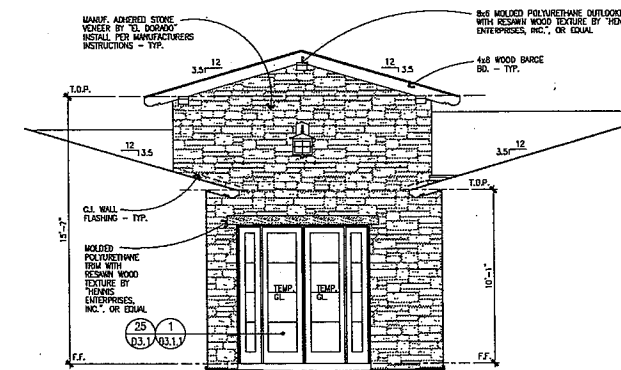
PART. LEFT AT COURTYARD



PART. FRONT AT COURTYARD




PART. RIGHT AT COURTYARD



PART. REAR AT COURTYARD

THE BLUFFS AT SANDPIPER  
GOLETA, CALIFORNIA

  
 STOCK HOMES  
 MANHATTAN BEACH, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	12/08/06	FIELD REVISIONS

PROJECT MANAGER: J.R.  
 DESIGNER: M.C.  
 DRAWN BY: J.R.  
 REVIEWED BY: J.R.  
 1ST BLDG DEPT. SUBMITAL:  
 ISSUED FOR CONSTRUCTION: 2007/34  
 JOB NUMBER: 2007/34  
 CAD FILE NAME: 0125MAN081.DWG

DATE: SHEET: A3.6.1

PLAN 3B - RUSTIC

CLIENT FIELD REVISIONS - DELTA 8 - 12/08/06