

DESIGN REVIEW BOARD Staff Report

Planning and Environmental Services 130 Cremona Drive, Suite B, Goleta, CA 93117 Phone: (805) 961-7500 Fax: (805) 961-7551 www.cityofgoleta.org

AGENDA ITEM L-2

DATE: April 13, 2010

TO: Goleta Design Review Board FROM: Shine Ling, Assistant Planner

SUBJECT: 10-027-DRB; The Bluffs Residences; 7716, 7717, 7726, & 7727 Kestrel

Lane; APN: 079-780-023; -024; -034; -035

APPLICANT: Tiffany Sukay

Comstock Homes

321 12th St.

Manhattan Beach, CA 90266

PROJECT DESCRIPTION:

This is a request for *Conceptual/Preliminary* review. The properties include 4 vacant lots in the Bluffs Along the Santa Barbara Coast Subdivision, a partially constructed 62-home subdivision in the 7-R-1 zone district (Coastal Zone). The applicant proposes to construct the following Bluffs single-family model dwelling types: on Lot 42, Plan 2C Farmhouse (3,230 square feet); on Lot 43, Plan 1BR Rustic (2,788 square feet); on Lot 56, Plan 3A Villa (3,395 square feet); and on Lot 57, Plan 3BR Rustic (3,395 square feet). Materials would be light- to medium-earth tones, and would follow DRB-approved color schemes. The project was filed by Tiffany Sukay of Comstock Homes on behalf of Bob Comstock of Goleta Investment Partners, the property owner. Related cases: 67-SB-DRB; 10-027-LUP; 10-028-LUP; 10-029-LUP; 10-030-LUP.

BACKGROUND:

The project was submitted on March 3, 2010. The DRB gave Final approval to Phases 2, 3, and 4 of the Comstock Subdivision on June 6, 2006, which included the subject lots (case nos. 67-SB-DRB and 04-191-DRB). Subsequent Land Use Permits were issued in 2007. Both the DRB and LUP approvals have since expired.

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The table below summarizes the model types to be built on each of the four subject lots:

| Lot No. | Address | Floor Area | Plan Type | DRB | Color |
|---------|-------------------|------------|------------------|--------|-------|
| | | (sq. ft) | | Scheme | |
| 42 | 7720 Kestrel Lane | 3,230 | 2C Farmhouse | 4 | |
| 43 | 7726 Kestrel Lane | 2,788 | 1B Rustic (rev.) | 12 | |
| 56 | 7727 Kestrel Lane | 3,395 | 3A Villa | TBD | |
| 57 | 7717 Kestrel Lane | 3,395 | 3B Rustic (rev.) | 11 | |

Of the 4 lots, 3 of them are proposed to have the same model type that was previously approved. On Lot 56, the applicant proposes a smaller two-story model (Plan 3A Villa) instead of the previously approved two-story model (Plan 5C Farmhouse).

ANALYSIS:

Zoning Consistency for 7717 Kestrel Lane (Lot 57):

| | Required | Proposed | Consistent Y/N |
|-----------------------|---|---|--------------------------|
| Front Yard Setback | 20 feet from right-of-way line 50 feet from centerline | 20 feet from right-of-way line 41 feet from centerline | Legal non- conforming |
| Side Yard Setback | 9.3 feet | 9.3 feet | Yes |
| Rear Yard Setback | 25 feet | 25 feet | Yes |
| Building Height | 25 feet maximum | 22.5 feet | Yes |
| FAR | Maximum 3,036 square feet plus 650 square feet for 2-car garage | 3,395 square feet plus 623- square foot garage | TBD |
| Parking | 3-car garage | 3-car garage | Yes |

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

Zoning Consistency for 7720 Kestrel Lane (Lot 42):

| | Required | Proposed | Consistent Y/N |
|-----------------------|---|--|--------------------------|
| Front Yard Setback | 20 feet from right-of-way line 50 feet from centerline | 22.8 feet from right-of-way line 43.8 feet from centerline | Legal non- conforming |
| Side Yard Setback | 8.0 feet | 8.0 feet | Yes |
| Rear Yard Setback | 15 feet | 15 feet | Yes |
| Building Height | 25 feet maximum | 21 feet | Yes |
| FAR | Maximum 2,811 square feet plus 440 square feet for 2-car garage | 3,230 square feet plus 649- square foot garage | TBD |
| Parking | 2-car garage | 3-car garage | Yes |

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

Zoning Consistency for 7726 Kestrel Lane (Lot 43):

| | Required | Proposed | Consistent Y/N |
|-----------------------|---|---|--------------------------|
| Front Yard Setback | 20 feet from right-of-way line 50 feet from centerline | 22 feet from right-of-way line 43 feet from centerline | Legal non- conforming |
| Side Yard Setback | 8.0 feet | 8.0 feet | Yes |
| Rear Yard Setback | 15 feet | 15 feet | Yes |
| Building Height | 25 feet maximum | 23.5 feet | Yes |
| FAR | Maximum 2,908 square feet plus 440 square feet for 2-car garage | 2,788 square feet plus 601- square foot garage | TBD |
| Parking | 2-car garage | 3-car garage | Yes |

The proposed project is tentatively consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, subject to DRB review of the project's consistency with the R-1 FAR Guidelines.

Zoning Consistency for 7727 Kestrel Lane (Lot 56):

| | Required | Proposed | Consistent Y/N |
|-----------------------|---|---|--------------------------|
| Front Yard Setback | 20 feet from right-of-way line 50 feet from centerline | 20 feet from right-of-way line 41 feet from centerline | Legal non- conforming |
| Side Yard Setback | 7.3 feet | 7.3 feet | Yes |
| Rear Yard Setback | 25 feet | 25 feet | Yes |
| Building Height | 25 feet maximum | 21 feet | Yes |
| FAR | Maximum 2,836 square feet plus 440 square feet for 2-car garage | 3,395 square feet plus 623- square foot garage | TBD |
| Parking | 2-car garage | 3-car garage | Yes |

The proposed project is tentatively consistent with the above requirements of Article III, Chapter 35, Inland Zoning Ordinance.

ISSUES:

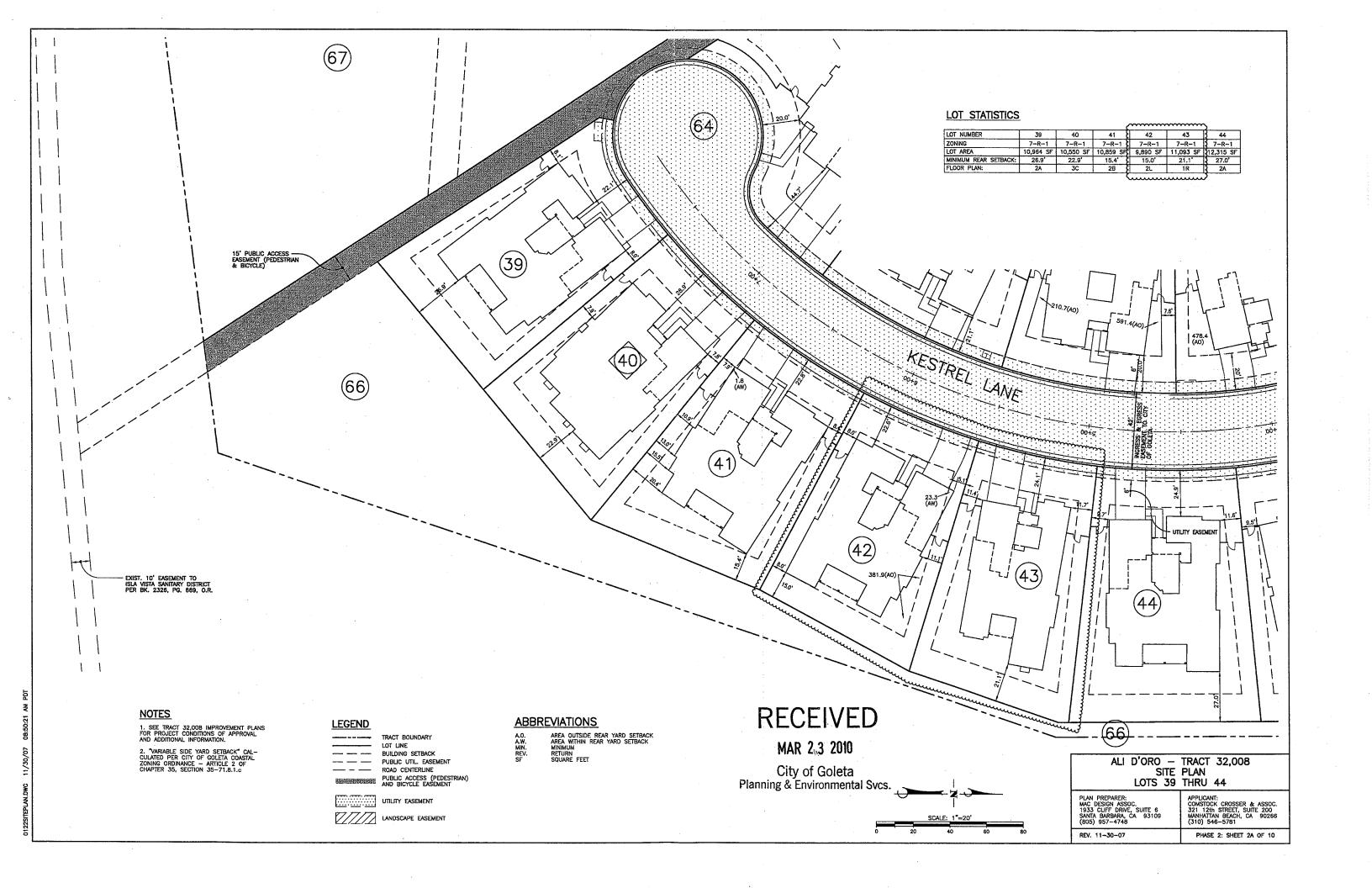
The approved streetscape plan will be presented at the DRB meeting by staff.

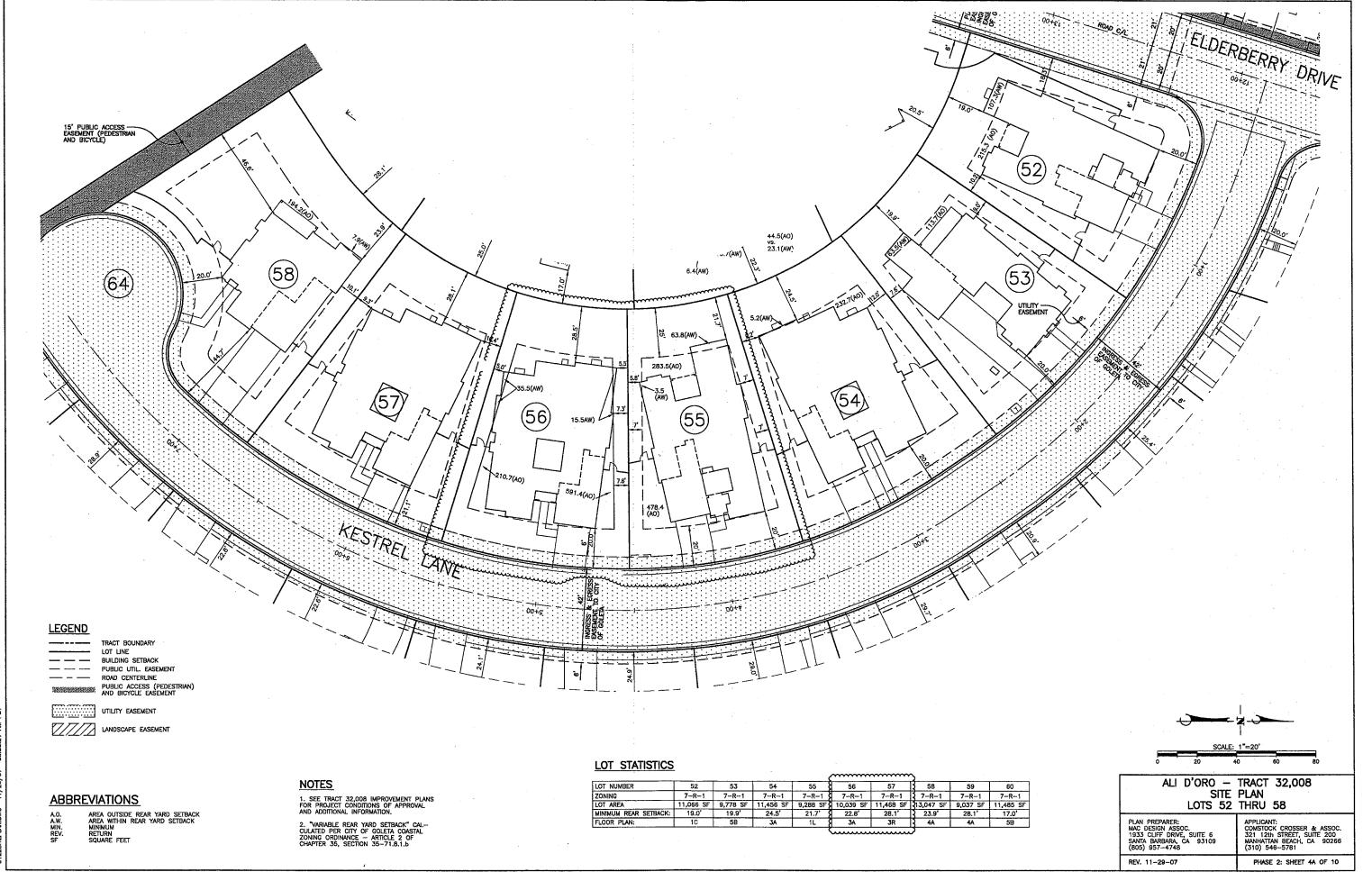
Condition of Approval #6 of the tract map approval (67-SB-TM) allows for the substitution of floor plans as follows:

"Some substitution of floor plans shall be allowed. The allowable substitution of floor plans shall include the substitution of single-story floor plans on lots authorized for single-story residences, of two-story floor plans on lots authorized for two-story residences, and for the substitution of any one-story floor plan for a two-story floor plan on lots authorized for two-story residences. In no case shall a two-story floor plan be allowed on a lot authorized for a one-story residence as shown on Exhibit 2 [the map]."

ATTACHMENTS:

Reduced 11" x 17" copies of site, floor plans, and elevations.





22STEPLAN DWG 11/29/07 08:50:21 AM PD

SINGLE FAMILY HOMES GOLETA, CA

PLAN 2

Farmhouse



321 12TH STREET, SUITE 200, MANHATTAN BEACH, CALIFORNIA 90266 PHONE (310) 546-5781 - FAX (310) 545-2802

CONSULTANTS

ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS 2850 REDHILL AVE., BLITE 200, BANTA ANA, CA. 8270 PHONE: (949) 250-0607 - FAX (949) 250-1629

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CALIFORNIA LIVING & ENERGY
3015 DALE COURT; CREES, CA. 95307
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STRUCTURAL ENGINEER:
STRUCTURES DESIGN GROUP, INC.
2 CORPORATE PARK, SUITE DIS BYINE, CA, 02808
PHONE: (949) 252-7860 / FAX: (949) 252-7861

SOILS ENGINEER:
PACIFIC MATERIALS LABORATORY OF SANTA BARBARA, INC. \$5 6. LA PATERA LANE, GOLETA, CA 93116 PHONE: (805) 984-6901 / FAX: (805) 984-5289

CIVIL ENGINEER: MAC DESIGN ASSOCIATES 1633 CLIFF DRIVE, SUITE 6 SANTA BARBARA, CA 9310 PHONE: (805) 957-4748 / FAX: (805) 957-4749

DESIGNTEC INC. 4300 CAMPUS DRIVE, NEWPORT BEACH, CA, 82860 PHONE: (949) 221-4400 / FAX: (949) 221-4400

INTERIOR DESIGNER: TRIO DESIGN GROUP 14772 PLAZA DRIVE, SUITE 200, TUSTIN, CA. 9278 PHONE: (714) 781-2221 / FAX: (714) 731-4245

LANDSCAPE ARCHITECT: VAN ATTA ASSOCIATES

ABBREVIATIONS

| RECORDITIONING | NED Y LINE D (SLAB) NLL C |
|--|---|
| AUTOMOTO PRO PRO PRO PRO PRO PRO PRO PRO PRO PR | NED Y LINE D (SLAB) NLL C |
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| AUDOMA AUDOMA READERA MITOMA READERA MITOMA | ty line D (SLAB) HLL C REFERENC |
| AMERICAN MITTONIL | D (SLAB) IILL C |
| STANDARDE SCHTILLE | D (SLAB) IILL C |
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| ASSIGNEY P.C. PRED P.P. PRE PR | ILL C Referenc |
| AUTOMOC C | ILL C Referenc |
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| CONTIRE LINE CLUB | |
| CELING LC.B.D. RISSOE INVESTED SIX SPEET SEED | |
| CLPM | |
| CALIFORNA CALI | |
| MECHANICAL CODE L.P.C. METROMETROW, CODE SHAPE, SHOWER SHAPE, | |
| CAUMAN COOK SM. SHLAN | |
| COMPOSITION R. SCAPE SLOPE S | |
| CONCRETE SISLL SIJLATION SUR | |
| CONSTRUCTION | |
| CONTRIBUTION SC. BETOMOTORM, RESIDENTIFM, CODE SQ. SQUARE FOOT | |
| CONTROLORS C. ARTIDIANTONIA, RESIDENTIAL COSE \$1. STUME FOOT | |
| PLANEAR COOK | |
| CIRTUM ROD | |
| CEMER JT. JOHT STDR. STRIPERS STRUCTUREN DESCRIPTION T. TOPOEN T. TREAD DOUGLAS FR LAV. LAWTORY LAC. TOWARDE AND OUGLE T'S THE SAME | |
| COMER J. JOHT STOR, STORAGE | |
| DSECO OPPOINTS | |
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| DOUGLAS FIR LAV. LAWATORY T.A.C. TONGUE & CRC DOUBLE TO TIME BAD | |
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| DOWNSPOLIT MIN, MINIMUM THICK | |
| DISHMASHUR MER. MURROR TR. TRANSINA | |
| DRAWING MISC. MISCELLANEOUS TRANS. TRANSFORMER | |
| MTD. NOUNTED 1719. TYPICAL | |
| EXPANSION JOINT MT. METAL THRESHOLD | |
| EACH U.B.C. UNIFORM BULD | ING COOL |
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| N/A KOT APPLICABLE VEST. VESTIQUE NAT. MATURAL VOL. VOLUME | ROOF |
| FAHRENBETT MI MATURAL VOL VOLUME | ROOF |
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| | ei Din/arsh |
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ELECTRICAL LEGEND

| RECESS | RECESSED WATER BOX LOCATION | | UCHT FIXTURE UNDER CARNET FLUORESCENT LIGHT |
|----------------|--|----------------------|---|
| S EXTAN | EXHAUST Fan | (3) 1's C FLUOR, BOX | UGHT FXTURE |
| ∢ PH | TELEPHONE | | SURFACE HOUNT LIGHT |
| CHIME | DOOR BELL. CHOME | ♦ | CERUNG FAN |
| -@ P.B. | DOOR BELL/ BUTTON CARACE DOOR OPENER BUTTON | ⊕ ct.r | DUPLEX OUTLET GROUND FAULT INTERRUPTER |
| | | €9- | . ELECT SWITCH |
| ·@\$A | SMOKE ALARM | ₩ | ELECT SMITCH THREE WAY |
| Φ | ELECTRICAL JUNCTION BOX | ₩* | ELECT SWITCH FOUR WAY |
| ⇔ ¦/2 | DUPLEX OUTLET NALE HOT | 4 ₽ | ELECT SWITCH DIMMER |
| ⊕ = | OUPLEX OUTLET | ₩. | ELECT SWITCH OCC. SQUISOR |
| ⊖- 220v | DUPLEX OUTLET 220 VOLTS | ф | LIGHT FOTURE WALL MOUNTED |
| ⊕ ₩ | DUPLEX OUTLET WATERPROOF GROUND FAULT | ¤ \$ | EXHAUST FAN & LICHT COMBO. |
| | PATERRUPTER | ф- | REDESSED Downlight |
| ₽ | Duplex Outlet Recessed in Floor | ⊕ m\n | Multi-Media Port (Data, Telephone, Cable) |
| | | Φ. | SURFACE MOUNTED CEILING FIXTURE |

PLUMBING LEGEND

| - | | | | |
|----------|--------------|--|-------|--|
| ⊣ | KEY | CAS VALVE KEY | → HB. | HOSE 8:8 WITH SHUT OFF VALVE AND ANTI-SPHON DEVICE |
| | F.G. K.B. | Fuel, gas Water hose bib with anti siphon device | CW. | RECESSED COLD WATER AND HOT WATER BOX AT SERVICE ROOM LOCATION |
| - | C.W. | COLD WATER STUB OUT | CW. | RECESSED COLD WATER BOX AT REFRIGERATOR LDCATION |
| - | HKC. | HOT WATER . | | |

| | INDICATES LOW WALL |
|------------------------------|---------------------|
| Sica gala santi escena y se- | 2 x 4 STUD WALL |
| | 2 x 8 STUD WALL |
| 9355555555555 | 2 x 6 PLUMBING WALL |
| ******* | SHELF ABOVE |
| <i>\(ZZZZZZ</i> \) | SOFFIT LIMITS |

SLAB INTERFACE LEGEND

25L SLOPE TO DRAIN 1/4" PER . FT. MIN. PLUMBING FIXTURE AT LOWER LEVEL

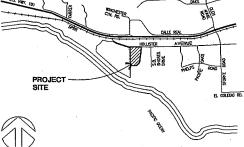
PLUMBING FIXTURE AT UPPER LEVEL

| ı | KEY | CAS VALVE KEY | → HB. | HOSE 8:8 WITH SHUT OFF VALVE AND ANTI-SPHON DEVICE |
|---|------|---|--------|--|
| + | F.G. | FUEL GAS | H+ cw. | RECESSED COLD WATER |
| + | KB. | WATER HOSE BIB WITH ANTI STPHON DEVICE | FF FW. | AND HOT WATER BOX AT SERVICE ROOM LOCATION |
| + | C.W. | COLD WATER STUB OUT | i∔ cw. | RECESSED COLD WATER BOX AT REFRIGERATOR LDCATION |
| + | HK. | HOT WATER . | • 1 | uicitos . |

WALL LEGEND







SHEET INDEX

ARCHITECTURAL







TITLE 24

EN-0 ENERGY COMPLIANCE SHEET EN-1 ENERGY COMPLIANCE SHEET

STRUCTURAL

SN-1 GENERAL NOTES SN-2 SPECIFICATIONS AND NOTES

FOUNDATION PLAN — ELEV A
FOUNDATION PLANS — ELEVS B & C
ROOF FRAMING — ELEV A
ROOF FRAMING — ELEV B & C

POST TENSION

PTM POST TENSION DETAILS
PT2M POST TENSION PLACEMENT PLAN 2A
PT2M POST TENSION PLACEMENT PLAN 28, 20

MECHANICAL

PER SANTA BARBARA COUNTY FIRE DEPARTMENT, LETTER DATED 08/31/05

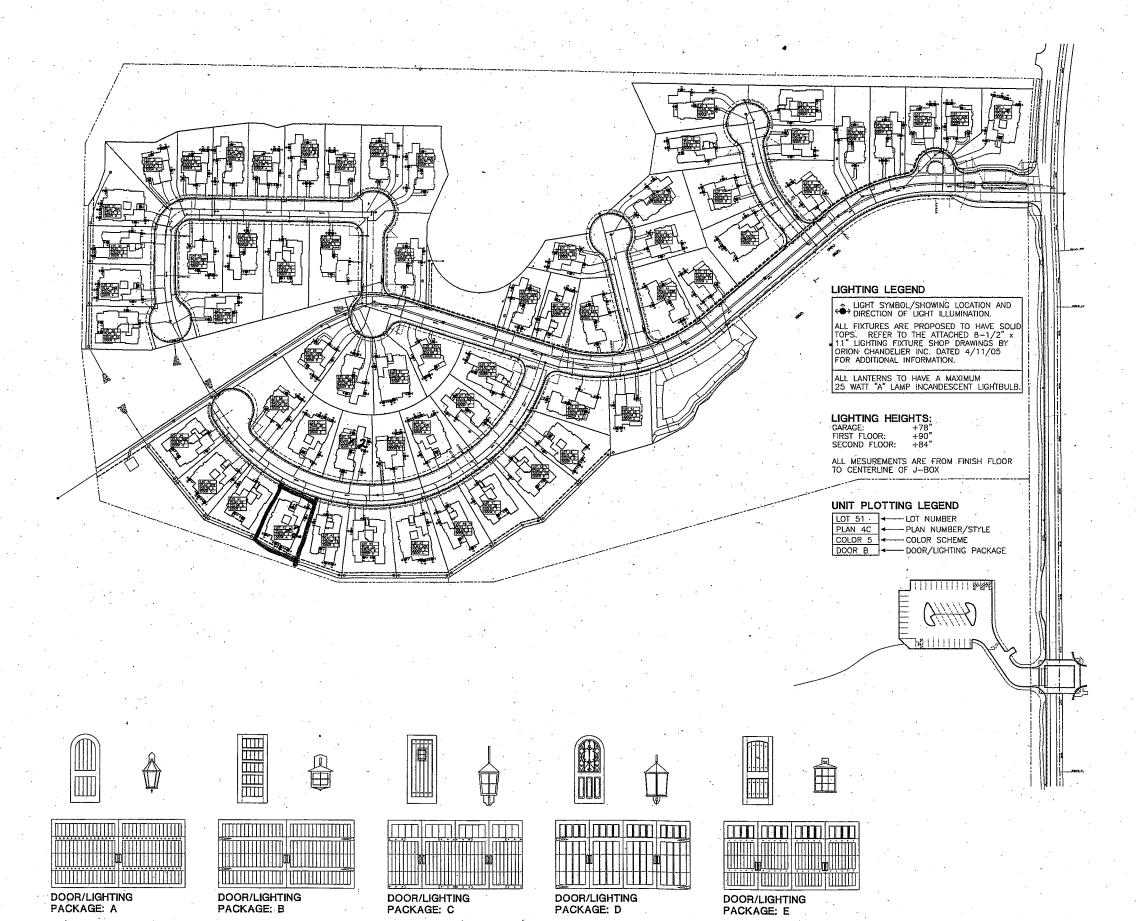
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REVISION / DRAWING LOG

| NO. | DATE | DESCRIPTION. |
|-----------|---------------------------------------|--|
| | 05/03/05 | FIRST BLDG, DEPT. SUBMITTAL |
| Δ | 08/19/05 | SECOND BLDG, DEPT, SUBMITTAL |
| <u> </u> | 08/16/05 | CLIENT REVISIONS — ELECTRICAL, ROOF MATERIAL |
| ⅓ | 10/24/05 | THIRD BLDG, DEPT. SUBMITTAL |
| Λ | 01/16/06 | ALT. COURTYARD DRAINAGE PLAN |
| ß | 05/15/06 | CLIENT REVISIONS - NAME CHANGE, ELECTRICAL OPTIONS |
| <u> </u> | 07/25/06 | CLIENT FIELD REVISIONS - FRAMING WALK #1 & #2 |
| A | 10/18/06 | CLIENT FIELD REVISIONS |
| ⋒ | 12/08/06 | FIELD REVISIONS |
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BLUFFS AT SANDPIPER

REVISIONS SHEET:





32,008 S.F.D.

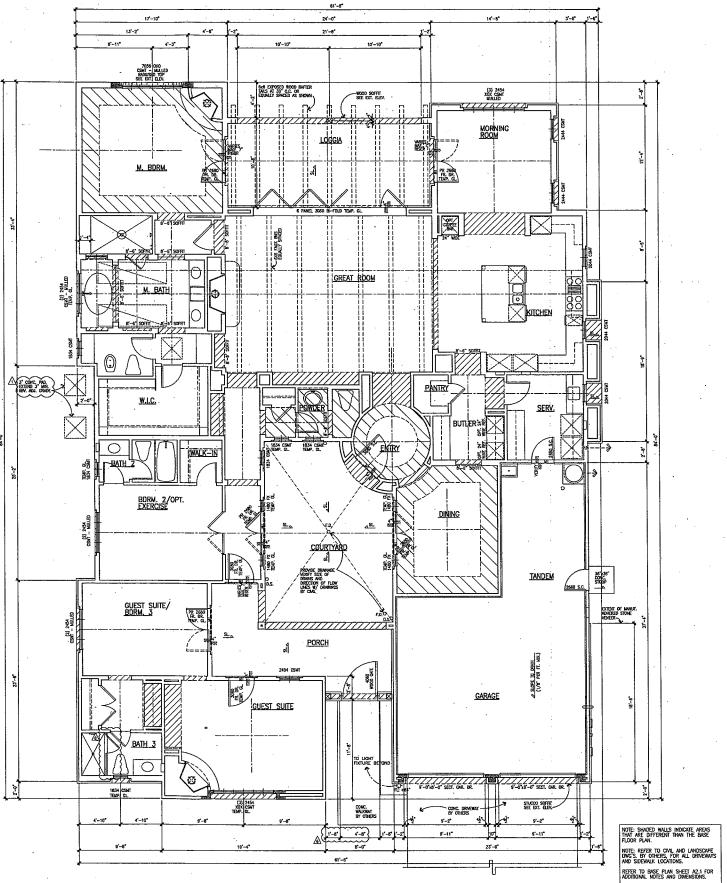
SANDPIPER

AT THE BLUFFS , GOLETA, CALIFORNIA

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COS/15/06 CUDIT REVISIONS

O7/25/06 CUDIT REVISIONS

O7/25/06 CUDIT REUD REVISIONS

PROJECT MANAGER:

JR.

DESINGR:

M.C.

COSMIN IV:

REVENUE BY:

SERIE IN COSTIBUTION:

JO RAMER:

OF TAMES

OF TAMES

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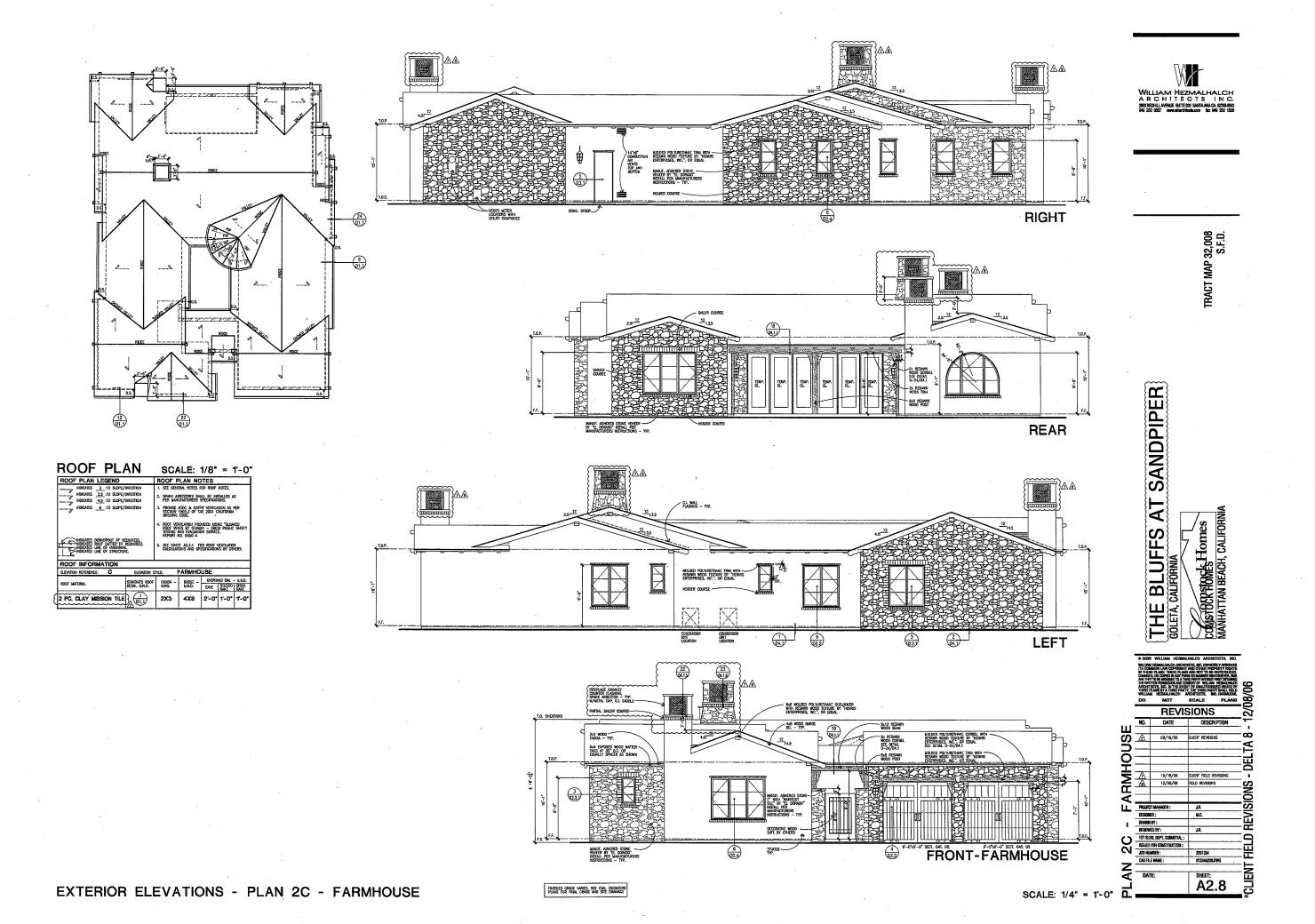
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SQUARE FOOTAGE TABLE

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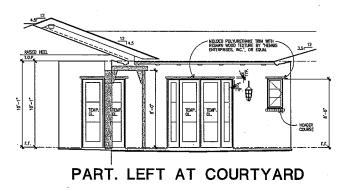
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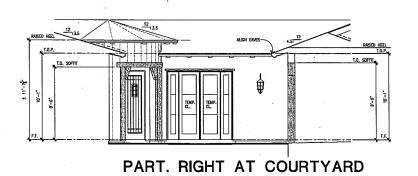
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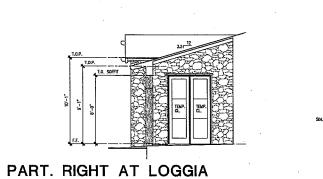


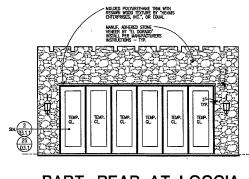
SANDPIPER

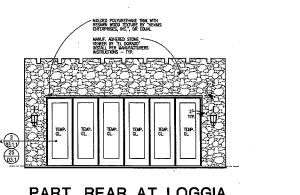


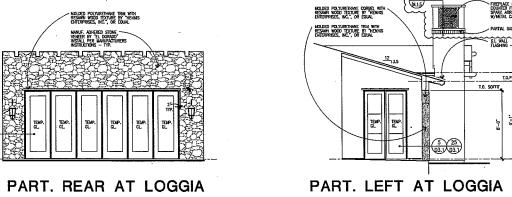












PART. FRONT AT COURTYARD

PART. REAR AT COURTYARD

SINGLE FAMILY HOMES GOLETA, CA



Lot 43
7726 Kestrel Lane
Rushic



321 12TH STREET, SUITE 200, MANHATTAN BEACH, CALIFORNIA 90266 PHONE (310) 546-5781 - FAX (310) 545-2802

CONSULTANTS

ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS 2850 REDHEL AVE., SUITE 200, SANTA ANA, CA. 92707 PHONE: (949) 250-0807 - FAX (949) 250-1529

CALIFORNIA LIVING & ENERGY
SOIS DALE COURT, CERES, CA. 95307
PHONE: (600) 498-4110 or (200) 538-2279 / FAX: (200) 638-2381

STRUCTURES DESIGN GROUP, INC. 2 CORFORATE PARK, SUITE 108 RVINE, CA 92808 PHONE: (949) 252-7860 / FAX: (949) 252-7861

SOILS ENGINEER:
PACIFIC MATERIALS LABORATORY OF SANTA BARBARA, INC. 35 8, LA PATERA LANE, GOLETA, CA 93116 PHONE (605) 964-8901 / FAX: (606) 964-828

CIVIL ENGINEER: MAC DESIGN ASSOCIATES TISS CLEF DRIVE, SUITE 6 SANTA BARBARA, CA 83109 PHONE: (805) 857-4748 / FAX: (805) 857-4749

INTERIOR DESIGNER: TRIO DESIGN GROUP 14772 PLAZA DRIVE, BUTTE 200, TUSTIN, CA. 92780 PHONE: (714) 781-2221 / FAX: (714) 731-4245

LANDSCAPE ARCHITECT: VAN ATTA ASSOCIATES 235 PALM AVE, SANTA BARBARA, CA 93101 PHONE: (808) 730-7444 / FAX: (808) 730-744

ABBREVIATIONS

| A/C ABV. | AIR CONDITIONING | ÐN. | FINISK | P. | PANTRY/POLF |
|------------------|--|---------------|---|------------------|---|
| ΨV. | ABONE | FIX. | FIXTURE | P.LAM. P.T. | PANTRY/POLE PLASTIC LAWNATE |
| VDJ. | ADJUSTABLE | FL. | FLUORESCENT | P.T. | PRESSURE TREATED |
| CF.F. | ABOVE FINISH FLOOR | FLASH. | FLASHING | PERM. | PERMETER |
| L. | ALLMINUM | FLR. | FLOOR | PERP. | PERPENDICULAR |
| N.T. NN.S.L | alternate American national | FND. FR. | FOUNDATION | PH. | PHONE |
| CRUSI. | STANDARDS INSTITUTE | FI. | FRENCH FOOT OR FEET | PL. PLUMB. | PLATE/PROPERTY LINE PLUMBING |
| WCH. | ARCHITECT/ARCHED | FTG. | FOOTING | PLYMO, | PLYWDDD |
| ISEN. | ASSEMBLY | FIL | FIXED | PR. | PAR |
| NITTO. | AUTOWATIC | | | PT. | POST TENSIONED (SLAB) |
| BD. | mum. | G.F.L | GROUND FAULT INTERRUPTER | _ | |
| BORN, | BOARD BEDROOM | GT B | Galvanized Iron Clu-lam Beam | R. RAG. | riser Return air grill |
| BLDG. | BUILDING | GLB. GA.V. | GAUGE | R.D. | SOUL DOWN |
| BUK | BLOCK | GALV. | CALVANIZED | RO. | ROOF DRAIN ROUGH OPENING |
| BUKG. | BLOCKING . | GAR. | GARAGE | RAD. | RADIUS |
| BW. | BEAN | Q_ | GLASS GROUND | RD. | ROUND |
| HTM. | BOTTOM | CNO. | | RECPT. | RECEPTACLE |
| | | GR. | CRADE | REF. | REFRICERATOR/REFERENCE |
| C | CARPET CONTROL JOHT | GTP. BO. | CYPSUM BOARD | REG. | REGISTER |
| CAB. | CARINET | H.B. | HOSE BIB | RED. | RENFORCEMENT REQUIRED |
| CBC. | CALIFORNIA | HC. | HOLLOW CORF | RM. | ROOM |
| | BUILDING CODE | H.S. | HARD SURFACE | | |
| CEC. | CALIFORNIA | HOR. | HEADER | SA | SHOKE MARK |
| | ELECTRICAL CODE | HGT. | HEIGHT | SA S.C. | SOLID CORE: |
| CEN. CER. | CEMENT | HE. | HICH | S.H. | SINGLE HUNG SHUT-OFF VALVE |
| CER. | CERANIC | HOR. | HORSZONTAL. | S.O.V. | SHUT-OFF VALVE |
| CFC. | CALIFORNIA . FIRE CODE | HR. HVAC | HOUR HEATING VENTLATION & AIR | S.T.C. | SOUND TRANSPORTATION |
| CHC. | CHANGE | m/AL | CONDITIONING | SECT. | COEFFICIENT SECTIONAL |
| CI . | CENTER LINE | | CONDITIONING . | SERV. | SERVICE |
| CLC. | DEILING | LD. | INSIDE DIAMETER | SH | SHELF |
| CLR. | CLEAR | LC.B.O. | INTERNATIONAL COLUMN DE | SHT. | SKEET |
| CWC. | CALIFORNIA | | BUILDING OFFICIALS (LC.C.) | SHTG. | SHEATHING |
| | MECHANICAL CODE | LR.C. | international, | SHAR. | SHOWER |
| DOL. DOMP. | COLUMN COMPOSITION | | residental code | SN. | SIKILAR |
| DONC. | CONCRETE | in. Insul | INCH INSULATION | SL. SUDR. | SLOPE SLOER |
| CONSTR. | CONSTRUCTION | INT. | INTERIOR | SPEE. | SPECIFICATION |
| CONT. | CONTINUOUS | IRC. | INTERNATIONAL RESIDENTIAL CODE | 3157" | SOUARE |
| CPC. | CALIFORNIA | M. 10-1 | MILITERIA RESIDENTE COOL | SO. FT. | SOUARE FOOT |
| | PLIMBING CODE | J. | -JUNCTION BOX | STD. | STANDARD |
| C.R. | CURTAIN ROD | JST. | JOIST | STL | STEEL |
| CTR. | CENTER | Jī. | JOINT | STOR. | STORAGE |
| C.O. | CASED CPENING | KIT. | | STRUCT. | STRUCTURAL |
| D. | DRYER | KII. | KITCHEN | T. | TREAD |
| O.F. DBL | DOUGLAS FIR | LKV. | LAVATORY | TAG. | TONGLE & CROOKE |
| DBL. | DOUBLE | | District. | T.B. | TIMES BAR |
| DET. | DETAIL | M.C. | MEDICINE CABINET | T.O.C. | TOP OF CURB |
| DA. | DIAMETER | MAS. | MASONRY | T.O.M. | TOP OF CURB TOP OF WASONRY |
| DIAG. | Diagonal Dimension | WAT, | WATERWL | T.O.P. | TOP OF PLATE TOP OF SHEATHING TOP OF WALL |
| DIN. DISP. | DISPOSAL | MAX. | MAXIMUM | T.SHIG. | TOP OF SHEATHING |
| DDP. | DOWN | MECH | WECHANICAL | T.W. | TOP OF WALL |
| DN. DR. | DOOR | MEMB. MFR. | WEMBRANE WANUFACTURER | TEL. TEMP. | TELEPHONE |
| DS. | DO9N/SPOUT | MEN, | MINIMA MINIMA | THIK. | TEMPERED TRICK |
| DW. | DISHWASHER | MR. | MIRROR | TR. | TRANSOM |
| DWG. | DRAMNG | MSC. | WISCELLANEOUS | TRAKS. | TRANSFORMER |
| | | MTD. | MOUNTED | TIP. | TYPICAL |
| EJ. | EXPANSION JOINT | MT. | WETAL THRESHOLD | | |
| EA. ELEC. | EACH ELECTRIC | MIL | KETAL | U.B.C. | UNIFORM BLIEDING CODE |
| ELEV. | ELEVATION | | | U.M.C. | UNDERWRITERS LABORATORY |
| ENCL. | ENCLOSURE | NAAN. | NATIONAL ASSOCIATION OF | U.M.C. | UNDERWRITERS LABORATORY UNIFORM MECHANICAL, CODE UNLESS NOTED OTHERWISE |
| EQ. | EDUM. | | ARCHITECTURAL METAL, | U.H.O. U.P.C. | Uniess noted otherwise Uniform Plumbing Code |
| EQUP. | EQUIPMENT | N.E.C. | MANUFACTURERS NATIONAL ELECTRIC CODE NATIONAL FIRE PROTECTION | V.F.V. | OWNERS LEGISLAND CODE |
| EXH. | EXHAUST | REPA | NATIONAL FIRE PROTECTION | V. | VINT. FLOOR |
| EXP. | EXPOSED | | ASSOCIATION | V.T.R. | VENT THROUGH ROOF |
| EXIST. | - EXISTING | NLC. | NOT IN CONTRACT | VENT. | VENTILATION |
| EXT. | EXTERIOR | N.T.S. | NOT IN CONTRACT NOT TO SCALE | VERT. | VERTICAL. |
| | | H/A | NOT APPLICABLE | VEST. | VESTRULE |
| E. | FAHRENHEIT | NÁT. | NATURAL | VOL. | VOLUME |
| FAU. | FORCED AIR UNIT | NO. | HUMBER | V.R. | VAPOR RESISTANT |
| F.F. | SWICE SILVER | | PH 442 | | |
| F.G. | finish floor Finish grade | 0.C. 0.D. | ON CENTER | W. W.H. | west/wide/width/washer water heater |
| FR | FUEL GAS | 0.S.A. | Outsde diameter Outsde air | M'H | WATER HEATER WROUGHT BON |
| F.O.C. | FUEL GAS FACE OF CONCRETE FACE OF FINISH | 0/ | OVER | W.LC. | WALK IN CLOSET |
| F.O.C. F.O.F. | FACE OF PINISH | oes. | 08SCURE | W.R. | WATER RESISTANT |
| | FACE OF MASONRY FACE OF STUD | OFF. | OFFICE | w/ | WITH |
| F.O.N. F.O.S. | | OPNC | | | |

ELECTRICAL LEGEND

| □ RECESS | RECESSED WATER BOX LOCATION | | LICHT FOXTURE UNDER CABINET FLUORESCENT LIGHT |
|---------------------|--|----------------------|---|
| EX.FAN | exhaust Fan | (I) 1'st' FLUOR, BOX | UGHT FOTURE 1'x4' RUDRESCENS |
| ∢ PH | TELEPHONE | 100 | SURFACE MOUNT LICHT |
| CHIME | DOOR SELL | * | CEILING FAN |
| - -● P.B. | DOOR BELL/ BUTTON GARAGE DOOR OPENER BUTTON | ⊜. clī | DUPLEX CUTLET GROUND FAULT INTERRUPTER |
| | | ₩. | ELECT SWITCH |
| ⊙sı. | SMOKE ALARM | ₩. | ELECT SWITCH THREE WAY |
| Φ . | AUNCTION BOX | 49* | ELECT SWITCH FOUR WAY |
| ⇔ 1/2 H01 | DUPLEX CUITLET RALF HOT | ₩ | ELECT SWITCH DIMMER |
| € | OUPLEX OUTLET | U | ELECT SWITCH OCC. SENSOR |
| ⊖ • 220v | DUPLEX OUTLET 220 VOLTS | ф | LIGHT FECTURE WALL MOUNTED |
| ⊕= 8 5 | DUPLEX DUTLET WATERPROOF GROUND FAULT | 四 章 | EXHAUST FAN & LIGHT COMBO. |
| | INTERRUPTER | ф | REDESSED DOWNLIGHT |
| B | DUPLEX DUTLET RECESSED IN FLOOR | ₩/N | MURTI-MEDIA PORT (DATA, TELEPHONE, CARLE) |
| | | Φ. | SURFACE MOUNTED CEUNC FIXTURE |

PLUMBING LEGEND

| →1 KEY | CAS VALVE KEY | → HE. | HOSE BIB WITH SHUT DFF VALVE AND ANTI-SIPHON DEVICE |
|----------------|---|-------|---|
| → F.C. | fuel gas | CW. | RECESSED COLD WATER |
| → кв. | WATER HOSE 818 WITH ANTI SIPHON DEVICE | H 198 | AND HOT WATER BOX AT SERVICE ROOM LOCATION |
| → C.W . | COLD WATER STUB OUT | r cw. | RECESSED COLD WATER BOX AT REFRIGERATOR LOCATION |
| → HM. | HOT WATER | •• | DOM: |

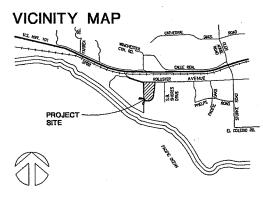
WALL LEGEND

| nanananii immin | 2 x 4 STUD WALL |
|--|---------------------|
| IIIIIII DELIGIO IIIII | 2 x 8 STUD WALL |
| ###################################### | 2 x 6 PLUMBING WALL |
| | SHELF ABOVE |
| 8777777 | SOFFIT LIMITS |

SLAB INTERFACE LEGEND

PROJECT INFORMATION

| MODEL ELEV | ATIONS | | | |
|------------|--------------------|-------------------------------------|---------|---------|
| PLAN 1B(R) | PLAN 2A | PLAN 3C | PLAN 4A | PLAN 5C |
| | LAN SHEETS FOR ALL | ING CODE ANAL SOUARE FOOTAGE CAU | | |



SHEET INDEX

ARCHITECTURAL

EN-0 ENERGY COMPLIANCE SHEET EN-1 ENERGY COMPLIANCE SHEET

STRUCTURAL

SN-1 GENERAL HOTES SN-2 SPECIFICATIONS AND HOTES

POST TENSION

MECHANICAL

PER SANTA BARBARA COUNTY FIRE DEPARTMENT LETTER DATED 08/31/05

REVISION / DRAWING LOG

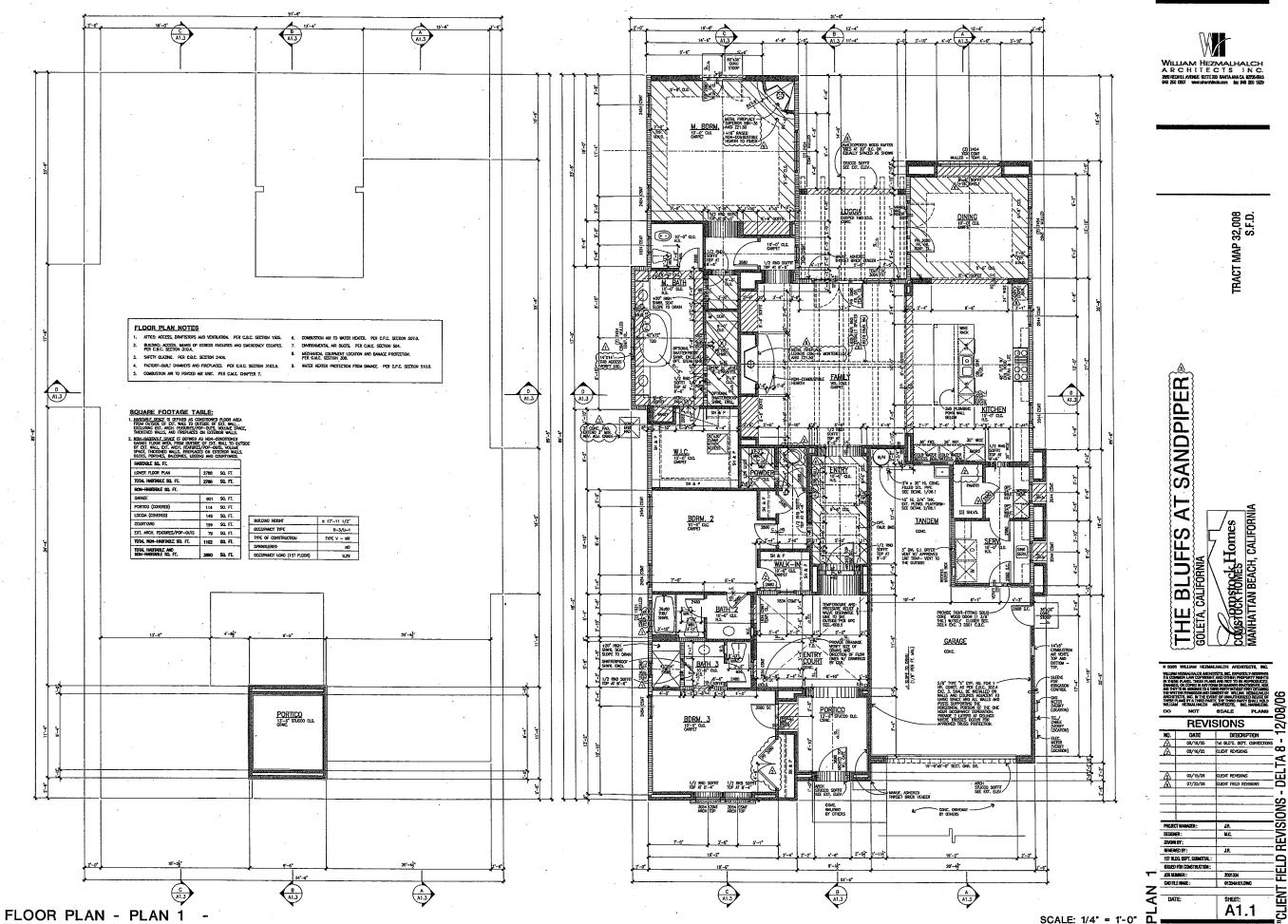
| DATE | DESCRIPTION |
|----------|--|
| 05/03/05 | FIRST BLOG, DEPT. SUBMITTAL |
| | SECOND BLDG. DEPT. SUBMITTAL |
| 08/16/05 | CLIENT, REVISIONS - ELECTRICAL, ROOF MATERIAL |
| | THIRD BLDG. DEPT. SUBMITTAL |
| | ALT, COURTYARD DRAINAGE PLAN |
| | CLIENT REVISIONS - NAME CHANGE, ELECTRICAL OPTIONS |
| | CLIENT FIELD REVISIONS - FRAMING WALK #1 & #2 |
| | CLIENT FIELD REVISIONS |
| 12/08/06 | FIELD REVISIONS |
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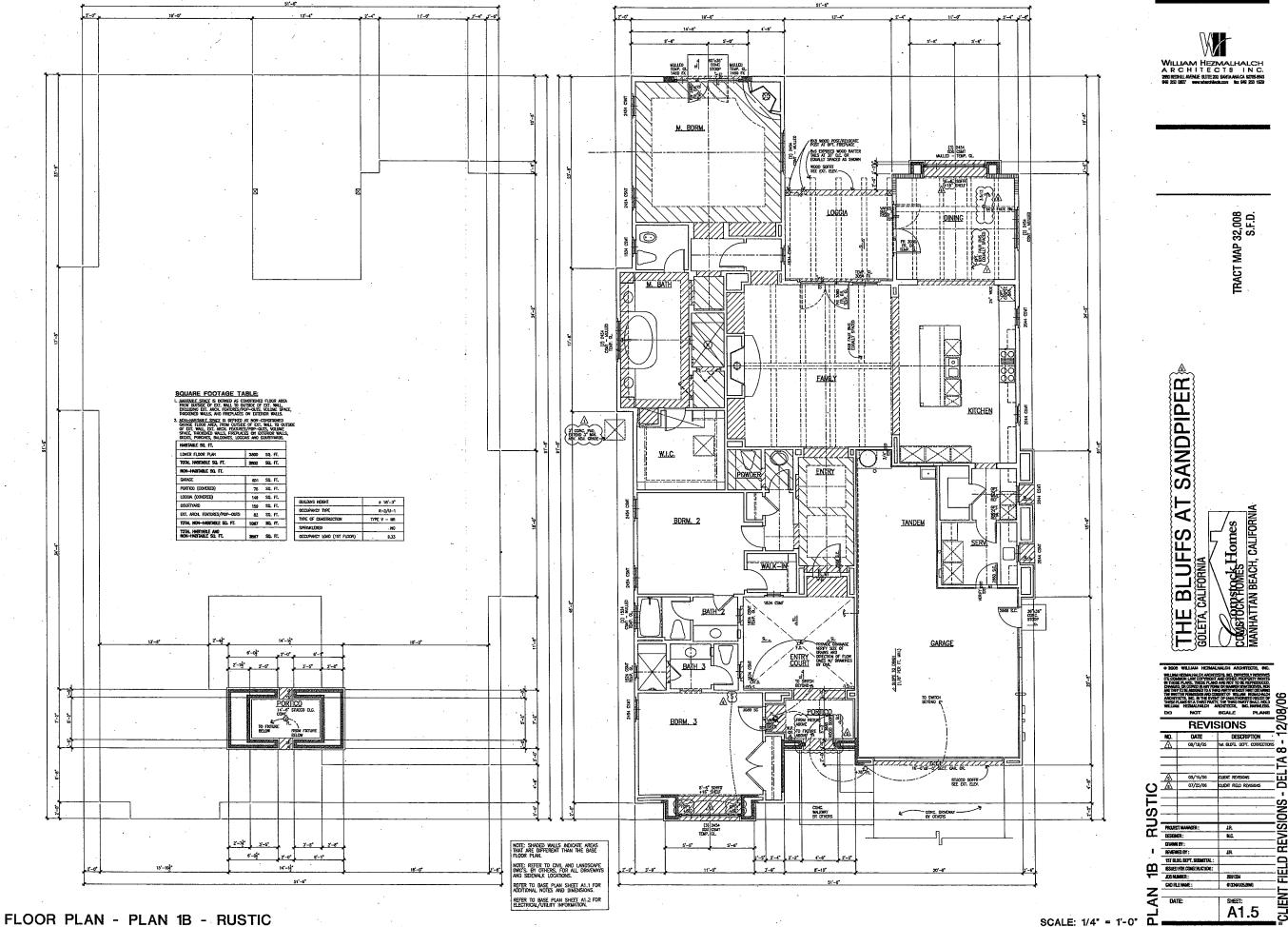


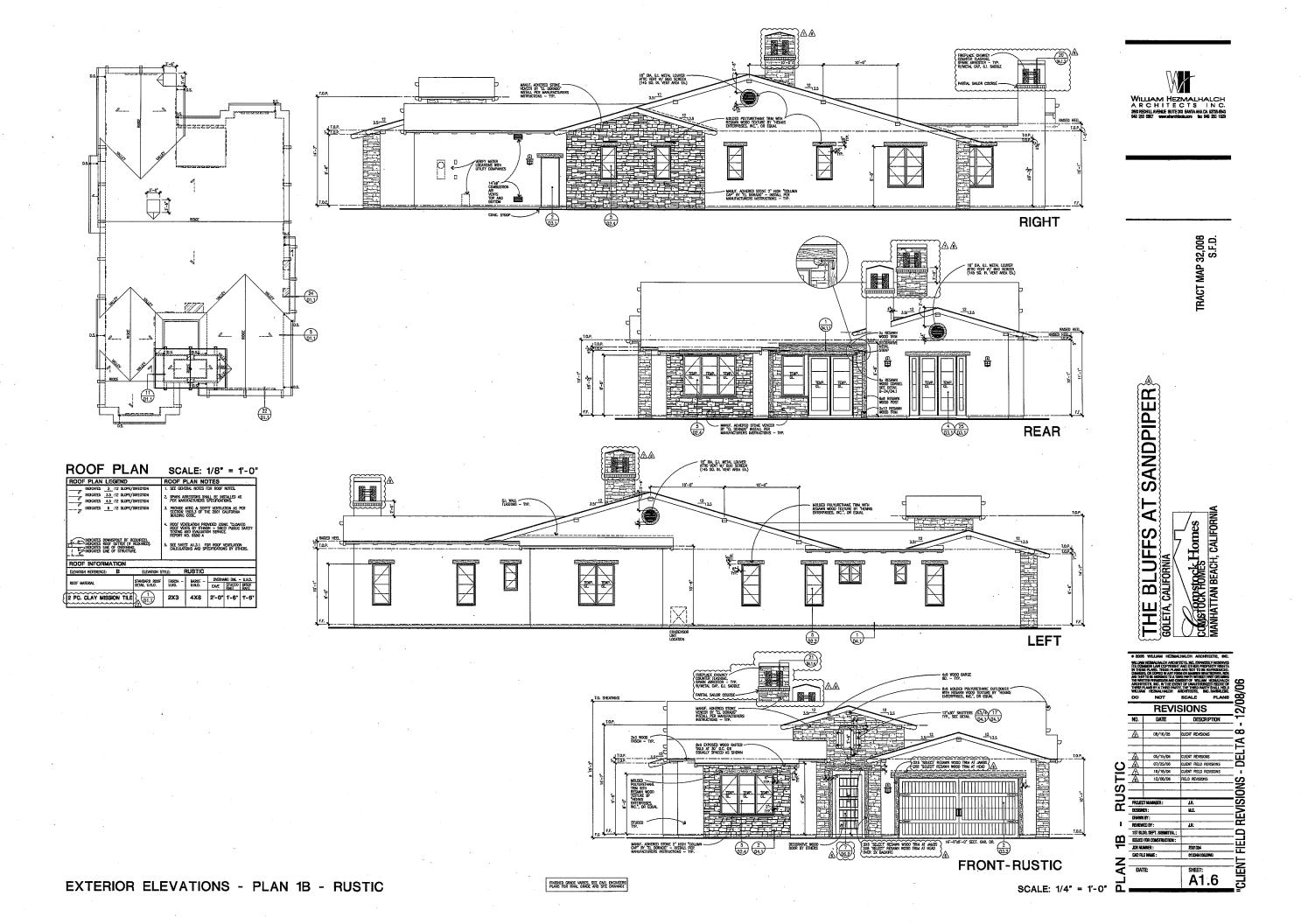
SANDPIPER

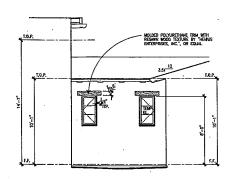
REVISIONS

C1

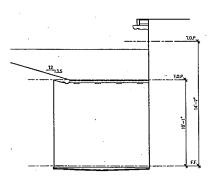




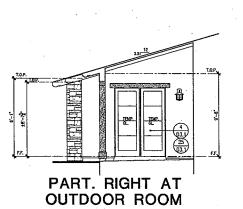




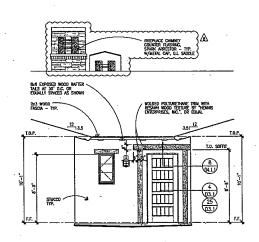
PART. LEFT AT COURTYARD



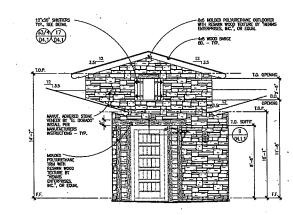
PART. RIGHT AT COURTYARD



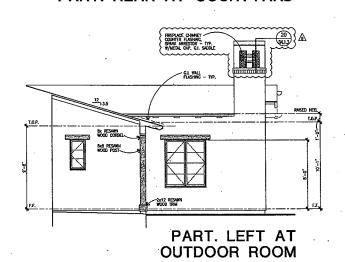
PART. REAR AT OUTDOOR ROOM



PART. FRONT AT COURTYARD



PART. REAR AT COURTYARD



REVISIONS

NO. DATE DESCRIPTION

8 W

A CS/15/V6 CLDIT ROSONS

12/08/V6 PILD ROSONS

12/08/V6 PILD ROSONS

NO. 12/08/V6 PI

EXTERIOR COURTYARD ELEVATIONS - PLAN 1B - RUSTIC

SCALE: 1/4" = 1'-0" Q

TRACT MA

THE BLUFFS AT SANDPIPER GOLETA, CALIFORNIA COMENTACION CONSTRUCTION CONSTRUCTION CONTROL HOMES

SINGLE FAMILY HOMES GOLETA, CA

PLAN 3



321 12TH STREET, SUITE 200, MANHATTAN BEACH, CALIFORNIA 90266 PHONE (310) 546-5781 - FAX (310) 545-2802

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TITLE 24 CONSULTANT: CALIFORNIA LIVING & ENERGY SOIS DALE COURT, CERES, CA. 95807 PHONE: (800) 498-4110 or (209) 538-2879 / FAX: (209) 538-2885

STRUCTURAL ENGINEER: STRUCTURES DESIGN GROUP, INC. 2 CORPORATE PARK, SUITE 108 INVINE, CA. 82608 PHONE: (949) 252-7660 / FAX: (949) 252-7661

PACIFIC MATERIALS LABORATORY OF SANTA BARBARA, INC. 35 S. LA PATERA LANE, GOLETA, CA 93198 PHONE: (805) 984-6901 / FAX; (805) 984-8239

CIVIL ENGINEER: MAC DESIGN ASSOCIATES 1933 CLIFF DRIVE, SUITE 6 SANTA BARBARA, CA 93109 FHONE: (805) 957-4748 / FAX: (806) 957-4749

DESIGNTEC INC.

INTERIOR DESIGNER: TRIO DESIGN GROUP 14772 PLAZA DRIVE, SUITE 200, TUSTIN, CA. 92784 PHONE: (74) 731-2221 / FAX: (714) 731-4245

LANDSCAPE ARCHITECT: VAN ATTA ASSOCIATES

ABBREVIATIONS

| ~D | | ~ ; ; , | 3140 | | |
|------------------|--|--------------|---------------------------------|---------------------|---|
| ı./c | AIR CONDITIONING | FIK, | FINESH | P. | numin (non c |
| A/C ABV. | ABOVE | PX. | FIXTURE | DIAM | PANTRY/POLE PLASTIC LAMINATE |
| ADJ. | ADJUSTABLE | FL FLASH | FLUORESCENT | P.LAM. P.T. | PRESSURE TREATED |
| AFF. | above finzsk floor | | FLASHING | PERM. | PERMETER |
| AL. ALT. | ALUMINUM | FLR. | FLOCR | PERP. | PERPENDICULAR |
| ALT. A.H.S.I. | alternate Anexican national | FND. FR. | FOUNDATION FRENCH | PH. PL. | PHONE PLATE/PROPERTY LINE |
| r.r.s.i. | STANDARDS WISTITLE | Fl. | FOOT OR FEET | PLUMB. | PLUMBING |
| ARCH | ARCHITECT/ARCHED | FTG. | FDOTING . | PLYMO. | PLYWOOD |
| ASEM. | | FX. | FIXED | PR. | PAIR |
| AUTO. | AUTOMATIC | | | PT. | POST TEXSIONED (SLAB) |
| | | C'L'I' | GROUND FAILT INTERRUPTER | _ | |
| BDRM. | BOARD BEDROOK | GLB. | Galyanized Iron Glu-lan Bean | R. RAG. | riser Return air grill |
| BLDG. | BUILDING | GA. | GAUGE | R.D. | ROOF DRAIN |
| BLKC. | BLOCK | CALV. | CALVANIZED | R.O. | ROUGH OPENING |
| BLKC. | BLOCKING | CME | CARACE | RAD. | radius |
| BW. | BEAL! BOTTOM | ā. | CLASS | RD. | ROUND |
| ETM. | BOLTON | GNO. GR. | GROUND GRADE | RECPT. REF. | RECEPTACLE REFRIGERATOR/REFERENCE |
| c | CARPET | CTP, BO, | GYPSUM BOARD | REG. | REGISTER |
| C.L. | CONTROL, JOINT | | | REINF. | RENFORCEMENT |
| CAS. CSC. | CARINET | H.B. | HOSE BIB | REQ. | RECKIRED |
| CSC. | CALIFORNIA | H.C. H.S. | HOLLOW CORE | RM | ROOM |
| CCC. | BUILDING COOE CALIFORNIA | H.S. HOR, | HARD SURFACE | | SMOKE ALARU |
| LLC. | ELECTRICAL CODE | HCT, | HEADER HEIGHT | 5.C | SOUO CORE |
| CDL | CEHENT | HL | KICH | SA. S.C. S.H. | SINGLE HUNG |
| CER. | CERANIC | HOR. | HORIZONTAL | S.O.V. | |
| CFC. | California | HR. | HOUR | S.T.C. | SOUND TRANSPORTATION CONTINUENT |
| | FIRE CODE | HWC | HEATING VENTLATION & AIR | | CORFICIENT |
| CHG. CL | CHANGE CENTER LINE | | CONDITIONING | SECT. SERV. | SECTIONAL SERVICE |
| CLG. | CELING | LD. | INSIDE DIAMETER | SH. | SHELF |
| CLR. | CLEAR | LCA.O. | INTERNATIONAL COUNCY, OF | SHI. | SHEET |
| CUC. | CALIFORNIA | | BUILDING OFFICIALS (LC.C.) | SHTC | SHEATHING |
| | MECHANICAL CODE | IRC. | BITERNATIONAL, | SHAR, | SHOWER |
| COLP. | COLUMN COMPOSITION | tN. | RESIDENTIAL CODE | SM. | SINEAR SLOPE |
| CONC. | CONCRETE | OVSLA. | INSULATION | SLDR. | SLDER |
| CONSTR. | CONSTRUCTION | INT. | INTERIOR | SPEC. | SPECIFICATION |
| CONT, | CONTINUOUS | IRC. | DITERNATIONAL RESIDENTIAL CODE | SO. | SOUARE |
| CPC. | CALIFORNIA | | | 50. FT. | SOUARE FOOT |
| | PLUMBING CODE | J. | JUNCTION BOX | STD. | STANDARD |
| C.R. | CURTAIN ROD | JST. JT. | 1000 1000 | STL | STEEL STORAGE |
| CIR. C.O. | CASED OPENING | JI. | JUNI | STOR. STRUCT. | STRUCTURAL |
| | | KIT. | KTICHEN | 244001. | DIROCHORE |
| D. | DRYER | | | T. | TREAD |
| 0.F. | DOUGLAS FIR | LAV. | LAVATORY | T.&G. | TONGUE & GROOME |
| DBL. DET. | DOUBLE DETAIL | | UCDIANIC AND CT | T.B. | TOWEL BAR |
| DK. | DAVETER | KAS. | WEDKINE CABINET WASONRY | T.O.C. T.O.M. | TOP OF CURB TOP OF MASONIEY TOP OF PLATE |
| DIA. DIAG. | DIACONAL | MAT. | NATERIAL. | T.O.P. | TOD OF PLATE |
| DIM. | DOMENSION | MAX. | MAXIMUM | T.SHIO. | TOP OF SHEATHING TOP OF WALL |
| DISP. | OISPOSAL | MECH. | WECHWOCAL | T.W. | TOP OF WALL |
| DN. DR. | DOWN | MENR. | MEMBRANE | TO. | TELEPHONE |
| 20 | DOWNSPOUT | MFR, MEN, | MARINACTURER MINIMA | TEMP. | TEMPERED THICK |
| OW. | DISHWASHER | MR. | MARKOR | TR. | TRANSOM |
| DWG. | DRAWING | MSC. | VISCELLANEDUS | TRANS. | TRANSFORMER |
| | | MTD. | MOUNTED | TYP. | TYPICAL |
| EJ. | EXPANSION JOINT EACH | MT. | METAL THRESHOLD | | |
| ELEC. | ELECTRIC | MTL | METAL | U.B.C. | UNIFORM BUILDING COCE |
| ELEV. | ELEVATION | NAAM.H. | NATIONAL ASSOCIATION OF | U.L. U.M.C. | Underwriters Laboratory Uniform Mechanical, Code |
| eac. | FHCLOSURF | (1.7C) CH.A. | ARCHITECTURAL WETAL | U.N.O. | UNLESS HOTED OTHERWISE |
| EG. | EOUAL | | MANUFACTURERS | U.P.C. | UNIFORM PLUMBING CODE |
| EQUIP. | ECINEMENT | N.E.C. | NATIONAL ELECTRIC COOKE | | : |
| EXH. EXP. | EXPOSED EXPOSED | N.F.P.A. | NATIONAL FIRE PROTECTION | v. | VINIL FLOOR |
| EXIST. | DISTING | N.C. | ASSOCIATION | V.T.R. | VENT THROUGH ROOF VENTILATION |
| EXT. | EXTERIOR | N.T.S. | NOT IN CONTRACT NOT TO SCALE | VENT. VERT. | VERTICAL |
| | | N/A | NOT APPLICABLE | VEST. | VESTIBULE |
| _ | | N/A NAT. | HATURAL | VOL | VOLUME |
| E | FAHRENHET | NO. | HUAFBER | V.R. | VAPOR RESISTANT |
| FAU. E.F. | Forced air unit Finish floor | | | | |
| F.C. | | O.C. | ON COVIER | ¥. | West/Moe/Moth/washer |
| F.C. | FUEL CAS | 0.0. | OUTSIDE BANKTER OUTSIDE AIR | K.K. | WATER HEATER WROUGHT FROM |
| F.O.C. | FACE OF CONCRETE | 0.5A 0/ | OMER | MTC. | WALK IN CLOSET |
| F.O.F. | FUEL CAS FUEL CAS FACE OF CONCRETE FACE OF FINISH FACE OF WASDIRY FACE OF STUD | OBS. | OBSCURE | W.L W.C. W.R. | WATER RESISTANT |
| F.G.U. | FACE OF WASDIRY | OFF. | OFFICE | W/ WD. | WITH . |
| F.O.S. F.P. | FACE OF STUD FIXED PANEL | OPNG. | OPERING | WD. | WOOD |
| FGL | FIBERGLASS | OPP. OPT. | OPPOSITE OPTIONAL | WP. | WATERPROOF WEIGHT |
| | | | | | |

ELECTRICAL LEGEND

| — BOX | BOX LOCATION | | UNDER CABINET FLUDRESCENT LICHT |
|--------------------|---|-------------------|---|
| C EXFAN | EXHAUST FAN | Of the Fluor, acr | LIGHT FIXTURE 1'x4' R UDRESCENT SURFACE MOUNT LIGHT |
| ◀ PH | TELEPHONE | | SUIGNCE MUUNI DUNI |
| CHRE | DOOR BELL | → | CELLING FAN |
| - 1 0 P.B. | DOOR BELL/ BUTTON GARAGE DOOR | ⊕= CLT | DUPLEX CUTLET GROUND FAULT INTERRUPTER |
| | OPENER BUTTON | 44 | ELECT SMITCH |
| ⊙av | SMOKE ALARN | ₩° | ELECT SMITCH THREE WAY |
| Φ | JUNCTION BOX | ₩. | ELECT SWITCH FOUR WAY |
| c = 1/2 | DUPLEX OUTLET HALF HOT | ₩ | ELECT SWITCH DANNER |
| ⊕ | OUPLEX OUTLET | ₩* | BLECT SWITCH OCC. SENSOR |
| ⊕= 220v | DUPLEX DUTLET 220 VOLTS | ф | LIGHT FEATURE WALL MOUNTED |
| ⊕= ¥PP | DUPLEX DUTLET WATERPROOF GROUND FAULT | (45) | EXHAUST FAX & LIGHT CONBO. |
| | INTERRUPTER | ф- | RECESSED DOWNLIGHT |
| 2 = | Duplex Outlet Recessed in Floor | ⊕ N∕v | MULTI-MEDIA PORT (DATA, TELEPHONE, CABLE) |
| | | ф | Surface Mounted Coling Ficture |

PLUMBING LEGEND

| -¥ KEY | GAS VALUE KEY | → KB. S.O.V. | HOSE BIB WITH SHUT OFF WILVE AND ANTI-SIPHON DEVICE |
|--------|---|-----------------|---|
| → F.C. | FUEL DAS | d. rw | RECESSED COLD WATER |
| → нв. | WATER HOSE BIB WITH ANTI SIPHON DEVICE | ## EW. | AND HOT WATER BOX AT SERVICE ROOM LOCATION |
| → C.W. | COLD WATER STUB OUT | + cw. | RECESSED COLD WATER BOX AT REPROCERATOR LOCATION |
| HW. | HOT WATER | •• | UAN M |

WALL LEGEND

| L | INDICATES LOW WALL |
|---|---------------------|
| ekanana ayan a | 2 x 4 STUD WALL |
| (11111111111111111111111111111111111111 | 2 x 6 STUD WALL |
| 85555555555555 | 2 x 8 PLUMBING WALL |
| | SHELF ABOVE |
| <i>\$777777</i> | SOFFIT LIMITS |

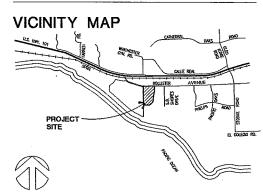
SLAB INTERFACE LEGEND

() PLUMBING FIXTURE AT LOWER LEVEL PLUMBING FIXTURE AT UPPER LEVEL

AS. SLOPE TO DRAW 1/4" PER . FL MIN.

PROJECT INFORMATION

| MODEL ELEV PLAN 1B(R) | ATIONS PLAN 2A | PLAN 3C | PLAN 4A | PLAN 5C |
|--------------------------|--------------------|--------------------|---------------|---------|
| | | | | FDAN DC |
| SQUARE FO | TAGE & BUILD | ing code anal | YSIS | |
| REFER TO BASE I | LAN SHEETS FOR ALL | SOUARE FOOTAGE CAL | CULATIONS AND | |
| | MALYSIS. | | | |



SHEET INDEX

ARCHITECTURAL

CONDITIONS OF APPROVAL CONDITIONS OF APPROVAL CONDITIONS OF APPROVAL

TITLE 24

EN-1 ENERGY COMPLIANCE SHEET EN-2 ENERGY COMPLIANCE SHEET

STRUCTURAL

SN-1 GENERAL NOTES SN-2 SPECIFICATIONS AND NOTES

POST TENSION

MECHANICAL

M3.1 BUCT DESIGN -- PLAN 3 TOTAL MECHANICAL SHEETS: 1

TOTAL SKEETS: 59

RECEIVED

MAR 2 8 2010

City of Goleta Planning & Environmental Svcs.

PER SANTA BARBARA COUNTY FIRE DEPARTMENT LETTER DATED 08/31/05

ALL CONSULTANT ORAMINES ACCOMPANING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF MILLIAM NEXHALMALCH ARCHITECTS, IRC. WILLIAM HEZMALMALCH ARCHITECTS DIAC. THEREFORE ASSUMES NO LUARITY FOR THE COMPLETENCESS OF CORRECTIVESS OF THE DRAWINGS.

REVISION / DRAWING LOG

| NO. | DATE | DESCRIPTION |
|----------------|---------------|---|
| | | FIRST BLDG. DEPT. SUBMITTAL |
| Λ | | SECOND BLDG. DEPT. SUBMITTAL |
| // | | CLIENT REVISIONS - ELECTRICAL, ROOF MATERIAL |
| /2\ | | THIRD BLDG. DEPT. SUBMITTAL |
| ※ | | ALT. COURTYARD DRAINAGE PLAN |
| * | | CLIENT REVISIONS - NAME CHANGE, ELECTRICAL OPTION |
| ▓ | | CLIENT FIELD REVISIONS - FRAMING WALK #1 & #2 |
| * | | CLIENT FIELD REVISIONS |
| <u> </u> | | FIELD REVISIONS |
| 781 | 110, 110, 111 | |
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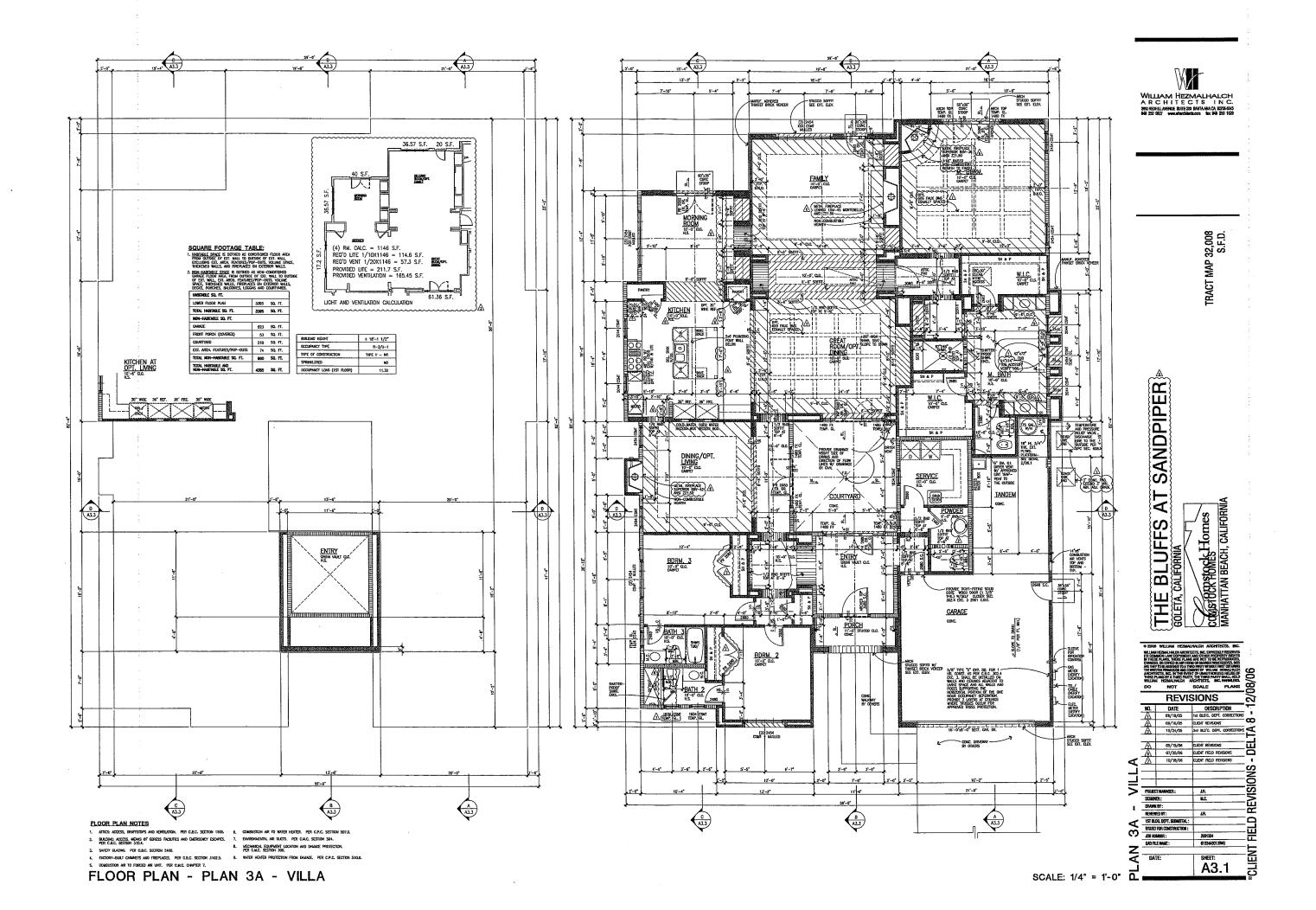
WILLIAM HEZMALHALCH
ARCHITECTS INC.
2000 REPHILMENUE SUITE 200 SANTA ANA CA 122705 GASS
949 200 0507 WWW.minetalact.com for 949 200 1522

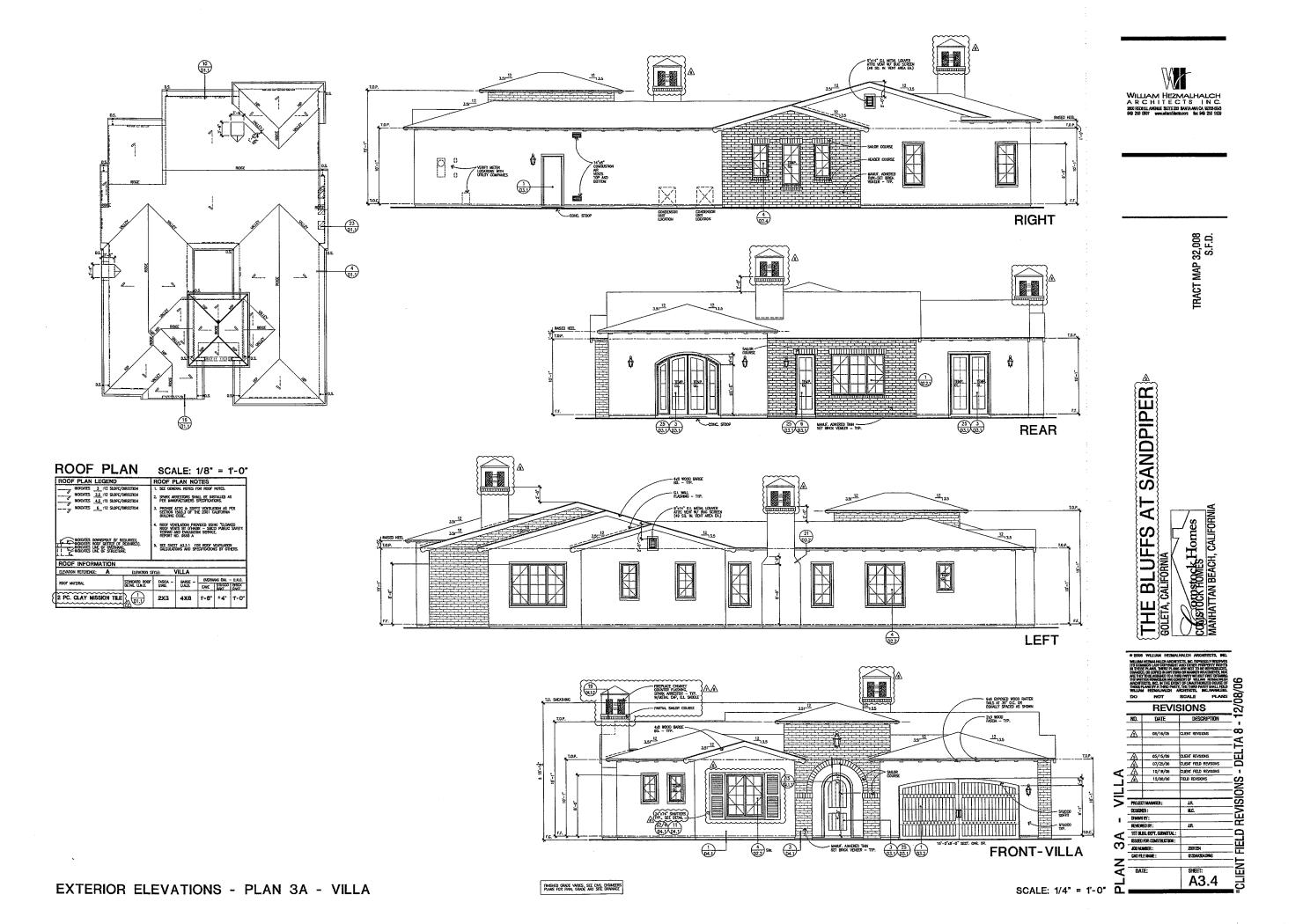
32,008 S.F.D.

SANDPIPER

AT BLUFFS,

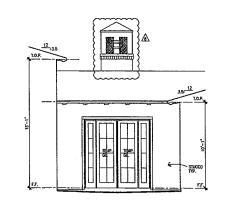
C1



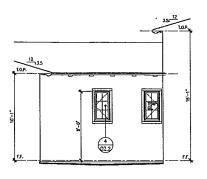




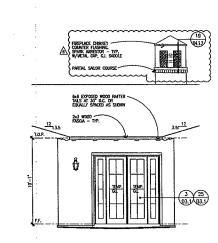
ACT MAP 32,008 S.F.D.



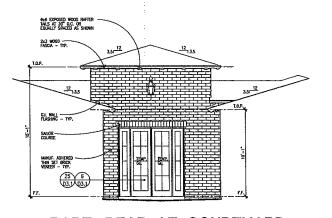
PART. LEFT AT COURTYARD



PART. RIGHT AT COURTYARD



PART. FRONT AT COURTYARD



PART. REAR AT COURTYARD



201334 013343041,046 13343041,046 SHEET: A3.4.1

EXTERIOR COURTYARD ELEVATIONS - PLAN 3A - VILLA

SCALE: 1/4" = 1'-0" Q

SINGLE FAMILY HOMES GOLETA, CA

PLAN 3R

Lot S7 Rushic 7717 Kestrel



321 12TH STREET, SUITE 200, MANHATTAN BEACH, CALIFORNIA 90266 PHONE (310) 546-5781 - FAX (310) 545-2802

CONSULTANTS

ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS 2860 REDIGIL ARC SUITE 200, SANTA ANA CA 02707 PHONE (049) 280-0807 - FAX (049) 280-0822

TITLE 24 CONSULTANT: CALIFORNIA LIVING & ENERGY 2016 DALE COURT, CERES, CA. 98307 PHONE: (600) 498-4110 pr (209) 538-2879 / FAX: (209) 538-258

STRUCTURES DESIGN GROUP, INC. 2 CORPORATE PARK, SUITE 106 INVINE, CA 92808 PHONE: (949) 252-7680 / FAX: (949) 252-7861

SOILS ENGINEER:
PACIFIC MATERIALS LABORATORY
OF SANTA BARBARA, INC.
33 8.1 A PATERA LANE, GOLETA, CA 88716
HIGHE: (603) 844-8637 PAC: (603) 864-8539

CIVIL ENGINEER: MAC DESIGN ASSOCIATES 1933 CLIFF DRIVE, BUITE 6 SANTA BARBARA, CA 93109 PHONE: (805) 957-4748 / FAX: (805) 957-4749

DESIGNTEC INC.

TRIO DESIGN GROUP 14772 PLAZA DRIVE, BUTE 200, TUSTIN, CA. 92780 PHONE: (714) 781-2221 / FAX: (714) 731-4245

LANDSCAPE ARCHITECT: VAN ATTA ASSOCIATES 235 PALM AVE., SANTA BARBARA, CA 93101 PHONE: (805) 730-7444 / FAX: (805) 730-7446

ABBREVIATIONS

| | | ` ' ' ' | 110 | | |
|-----------------------------|--|-----------------------|---|-------------------|---|
| A/C ABV. AOJ. AFF. | AIR CONDITIONING | FIN. | FINISH | Р. | PWGRY/POLE |
| ABV. | ABOVE | FIX. | FOCTURE | P. P.LAM. | PANTRY/POLE PLASTIC LAMBATE |
| ACJ. | ADJUSTABLE | FLASH | FLUORESCENT | P.T. | PRESSURE TREATED |
| AFF. | ABOVE FINISH FLOOR | FLASH. | FLASHING | PERM. | PERIMETER |
| AL. | ALLMINUM | FLR. | FLOOR | PERP. | PERPENDICULAR |
| ALI. | ALTERNATE | FKO. | FOUNDATION | PH. | PHONE |
| AŅ.S.I. | AMERICAN NATIONAL | FR. | FRENCH | PL. | PLATE/PROPERTY LINE |
| ARCH. | STANDARDS INSTITUTE ARCHITECT/ARCHED | FT. FTG. | FOOT OR FEET : | PLUKB. | PLUMBING |
| ASDI. | ASSEMBLY | FIG. | FUUING | PLYNO. | PLYWOOD PAIR |
| AUTO. | ALITOMATIC | PA. | FILED | PR. PT. | POST TEMSKONED (SLAB) |
| AUTO. | AD IOMAIN. | G.F.L | COOLING EAST INTERESTED | PI. | HOST TOWNSHIP (SOUR) |
| BD. | BOARO | CT. | GROUND FAULT INTERRUPTER GALVANIZED IRON | R. | RISER |
| BDRU, | BEDROOM | GLR | | RAG. | RETURN AIR CRILL |
| BLDG. | BUILDING | GALV. | CAUCE | R.D. | ROOF DRAIN |
| BUK. | BLOCK | CALV. | CALVANIZEO : | R.O. | ROUCH OPENING |
| BEKG. | BLOCKING | GAR. | GARACE : | RAD. | RADIUS |
| BIL. Bill. | EEAN | GL. | CLASS CROUND | RD. | ROUND |
| BIM. | BOTTOM . | GRE. | GRADE . | RECPT. | RECEPTACLE |
| • | CARPET | GTP. 80. | CALINATE BOARD | REF. REG. | REFRICERATOR/REFERENCE REGISTER |
| ř. | CONTROL JOINT | WIF. DO. | GIFSON BURNS | REINF. | RENFORCEMENT |
| C.J. CAB. | CABINET | H.B. | HOSE BB | RED. | REQUIRED |
| CBC. | CALIFORNIA | H.C. | HOLLOW CORE | RM. | ROOM |
| | BUILDING CODE | H.S. | HARD SURFACE | | |
| CEC. | CALIFORNIA | HDR. | HEADER . | S.C. | SHOKE ALARM |
| | ELECTRICAL CODE | HGT. | HEIGHT . | S.C. | SOUD CORE |
| CEM. | CEMENT | HI. | HIGH · | SHL | SINGLE HUNG |
| CER. | CERAMIC | HOR. | HORIZONTAL : | S.O.V. | SHUT-OFF VALVE |
| CFC. | CALIFORNIA | HR. | HOUR | S.T.C. | SOURD TRANSPORTATION |
| CHG. | FIRE CODE DHANGE | HWAC | HEATING VENTLATION & AIR CONDITIONING | | COEFFICIENT |
| CL. | CENTER LINE | | CORDINANG | SECT. SERV. | SECTIONAL SERVICE |
| CLG. | CERTER LINE | UD. | DASIDE DANIETER | SH. | SHEUF . |
| CLR. | CLEAR | ICAO. | INTERNATIONAL COUNCIL OF | SHT. | SHEET |
| CVC. | CALIFORHIA | | BUILDING OFFICIALS (LC.C.) | SHTC. | SHEATHING |
| | MECHWOCAL CODE | LR.C. | INTERNATIONAL | SHWR. | SHOWER |
| COL. | COLUMN | | PESIDENTIAL CODE | SIN. | SWEAR |
| COMP. | COMPOSITION | BI. | INCH . | SL | 3392 |
| CONC. | CONCRETE | PISUL. | INSULATION . | SLOR | SLOER |
| CONSTR. | CONSTRUCTION | INT. | INTERIOR | SPEC. | SPECIFICATION |
| CONT. | CONTINUOUS | IRC. | INTERNATIONAL RESIDENTIAL CODE | 50. | SQUARE |
| CPC. | CALIFORNIA PLUNSING CODE | J | JUNCTION BOX | SQ. FT. STD. | Square foot Standard |
| C.R. | CURTAIN ROD | .SI. | JOIST . | SIL. | STEEL |
| CIR. | CENTER | . Л . | JOST | STOR | STORAGE |
| C.O. | CASED OPENING | . • | | STRUCT. | STRUCTURAL |
| | | KIT. | KTICHEK | •• | |
| 0. | DRYER | | | т. | TREAD |
| D.F. DBL | DOUGLAS FIR | LAV. | LAWATORY | T.A.C. | TONCUE & GROOME |
| DET. | DOUBLE DETAIL | | | T.B. | TOWEL BAR |
| DIA. | DIAMETER | M.C. Was, | WEDICINE CARRIET | T.O.C. | TOP OF CURB TOP OF MASONRY TOP OF PLATE |
| DIAG. | DIAGONAL | MAS. | WASONRY WATERWL | T.O.M. | TOP OF MASONNY |
| DINL. | DIMENSION | MAX. | MAXIMUM | T.O.P. T.SHIG. | TOP OF PLATE TOP OF SHEATHING TOP OF WALL TELEPHONE |
| DISP. | DISPOSAL | MECH | MECHANICAL. | T.W. | TOO DE WALL |
| DIL | DOWN . | MENTS. | MEMBRANE | TEL. | TELEPHONE |
| DR. | DOOR | MFR. | MANUFACTURER . | TEMP. | TEMPERED |
| DS. | DOWNSPOLIT | MR. | PERCONDAL | THK. | THICK |
| DW. | DISHWASHER | MR. | MIRROR | TR. | TRANSON |
| DWG. | DRAWING | MSC. | VISCELLANEOUS | TRANS. | TRANSFORMER |
| | EXPANSION JOINT | MTD. | MOUNTED | TYP. | TYPICAL |
| EJ. | EACH AUNI | MT. | METAL THRESHOLD METAL | | |
| EA. ELEC. | ELECTRIC | MIL | DEIAL | U.B.C. | UNIFORM BULDING CODE |
| ELEV. | ELEVATION | NAAMA. | NATIONAL ASSOCIATION OF | U.K.C. | UNDERWRITERS LABORATORY UNIFORM MECHANICAL CODE |
| ENCL. | ENCLOSURE | NOOMAL. | ARCHITECTURAL METAL | U.N.O. | UNLESS NOTED OTHERWISE |
| EO. | EQUAL. | | MANUFACTIONAL REINE | U.P.C. | UNIFORM PLUMBING CODE |
| EQUIP. | EQUIPMENT | N.E.C. | MANUFACTURERS NATIONAL ELECTRIC CODE | 4.1.0. | One of the London Occ |
| EXH. | EXHAUST | NEPA | NATIONAL FIRE PROTECTION | V. | VIMIL FLOOR |
| EXP. | EXPOSED | | ASSOCIATION | V.T.R. | VENT THROUGH ROOF |
| EXIST. | EXISTING | N.L.C. | NOT IN CONTRACT NOT TO SCALE | VENT. | VENTRADOR |
| EXT. | extersor | N.T.S. N/A NAT. | NOT TO SCALE : | VERT. | VERTICAL |
| | | N/A | NOI APPLICABLE | VEST, | VESTRULE |
| e | FAHRENHET | NAT. | HATURAL | VOL. | VOLUME |
| F. F.A.V. | FORCED AIR UNIT | NO. | NUMBER | V.R. | VAPOR RESISTANT |
| F.F. | FINISH FLOOR | o.c. | ON CONTER | w | were hand harms have sen |
| F.G. | | O.C. O.D. | on center Outside diameter | W.H. | West/Wide/Width/Washer Water Heater |
| F.G. | RUEL CAS | O.S.A. | OUTSEE DAMETER | W.H. | WROUGHT IRON |
| F.G. F.O.C. | FACE OF CONCRETE | 0/ | OVER : | MTC. | WALK IN CLOSET |
| F.D.F. | FUEL CAS FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY | 0es. | OBSCURE : | W.R. | WATER RESISTANT |
| F.D.M. | FACE OF WASDNRY | OFF. | OFFICE | W.R. W/ | WIH |
| F.O.S. | | OPHG. | OPENING - | WD. | WOOD |
| E.P. | FIXED PANEL | OPP. | OPPOSITE | WP. | WATERPROOF |
| FGL | FIBERGLASS | OPT. | OPTIONAL | ₩ſ. | WEICHT |
| | | | | | |

ELECTRICAL LEGEND

| CCSSS ROX | RECESSED WATER BOX LOCATION | | LIGHT FIXTURE THIDER CARNET FLUORESCENT LIGHT |
|----------------|-------------------------------------|----------------------|---|
| S EX.FAN | EXHAUST FAN | (D) V-rt' RECOR, BOX | LIGHT FOOTURE |
| ∢ PK | TELEPHONE | . 0 | SURFACE MOUNT LIGHT |
| CHINE . | DOOR BELL CHINE | a/c | CEILING FAN |
| P.B. | DOOR BELL/ BUTTON GARAGE DOOR | ⊕ ¢t.T | DUPLEX OUTLET GROUND FASET INTERRUPTER |
| | OPENER BUTTON | 40 | ELECT SWITCH |
| ⊙s a | SWOKE ALARM | ₩ | ELECT SWITCH THREE WAY |
| Ø | JUNCTION BOX | ₩* | ELECT SWITCH FOUR WAY |
| e≕ i¦di | DUPLEX CURLET HALF HOT | ₩. | ELECT SWITCH DUMER |
| = | DUPLEX COUNTET . | ₩. | ELECT SWITCH OCC. SENSOR |
| ⊖= 220∗ | DUPLEX OUTLET 220 VOLTS | ф | WALL MOUNTED |
| e=₩f | DUPLEX BUILET WATERPROOF | 124)- | EXHAUST FAN & LIGHT COMBO. |
| | GROUND FAULT INTERRUPTER | ф | RECESSED DOWNLICHT |
| ₽ | DUPLEX DUILLY RECESSED IN FLOOR | ‡ ₩ | MERTI-MEDIA PORF (DATA, TELEPHONE, CABLE) |
| | | ф | SURFACE MOUNTED CELLING FIXTURE |

PLUMBING LEGEND

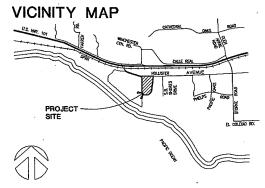
| ∄ KEY | CAS VALVE KEY | → H.B. V.O.Z | Hose big with Shut off valve and anti-Siphon device |
|---------|---|-----------------|---|
| → F.G. | FUEL GAS | H+ cw. | RECESSED COLD WATER |
| + HB. | WATER HOSE BIB WITH ANTI STRION DEVICE | H+ HW. | AND HOT WATER BOX AT SERVICE ROOM LOCATION |
| → C.W. | COLD WATER | + cw. | RECESSED COLD WATER BOX AT REFRIGERATUR LOCATION |
| -+ 1662 | HOT WATER STUB OUT | •• | CODI CII |

WALL LEGEND

| · · · · · · · · · · · · · · · · · · · | MUICATES DON NACE |
|---|---------------------|
| (เมื่อเครื่อนกรับมีคนัก | 2 x 4 STUD WALL |
| ammanian | 2 x 8 STUO WALL |
| 000000000000000000000000000000000000000 | 2 x 6 PLUMBING WALL |
| ******* | SHELF ABOVE |
| <i>VIIII</i> | SOFFIT LIMITS |

SLAB INTERFACE LEGEND

| TIONS | | * | |
|---------|---------|-----------------|---------|
| PLAN 2A | PLAN 3C | PLAN 4A | PLAN 50 |
| | PLAN 2A | PLAN 2A PLAN 3C | |



SHEET INDEX

ARCHITECTURAL





03.1.1 03.1.1 03.1.3 04.1 04.1 05.1.1 05.1.1 05.1.1

TITLE 24

EN-1 ENERGY COMPLIANCE SHEET EN-2 ENERGY COMPLIANCE SHEET

STRUCTURAL

SN-1 GENERAL NOTES SN-2 SPECIFICATIONS AND NOTES FOUNDATION PLAN — ELEV A
FOUNDATION PLANS — ELEVS B & C
ROOF FRANSIC — ELEV B & C
ROOF FRANSIC — ELEV B & C
ROOF FRANSIC — ELEV B & C

POST TENSION

PER SANTA BARBARA COUNTY FIRE DEPARTMENT LETTER DATED 06/31/05

ALL CONSULTANT DRAWINGS ACCOMPANTING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF WILLIAM HEXAMILIAN ARCHITECTS, DR.C. WILLIAM HEXAMILIAM HEXAMILIAM FOR THE COMPLETENESS OR CORRECTIONS OF THE FORMANIS.

REVISION / DRAWING LOG

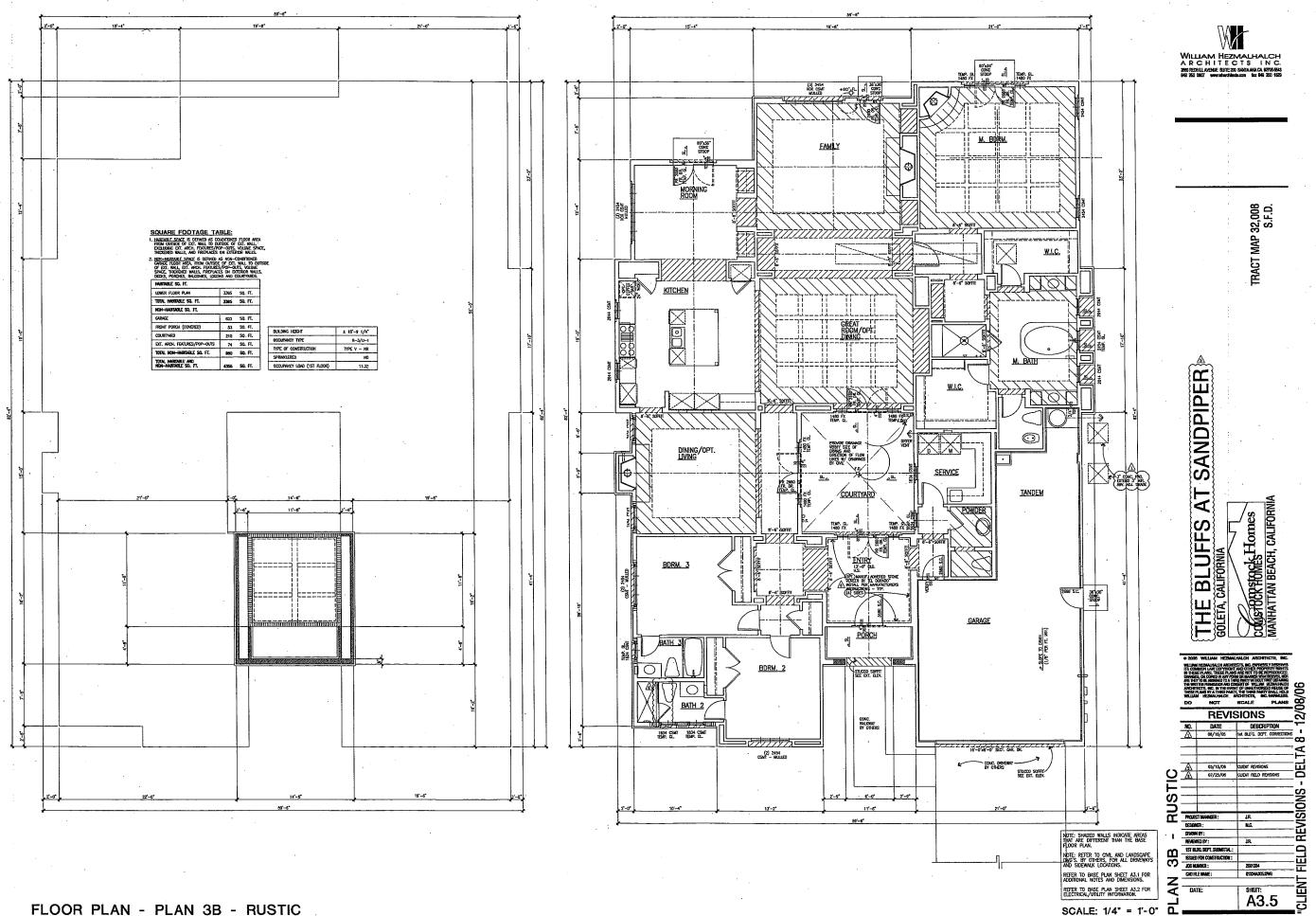
| NO. | DATE | DESCRIPTION |
|-------------------------|----------|---|
| - | 05/03/05 | FIRST BLDG. DEPT. SUBMITTAL |
| Λ | 08/19/05 | SECOND BLDG. DEPT. SUBMITTAL |
| A | 08/16/05 | CLIENT REVISIONS - ELECTRICAL, ROOF MATERIAL |
| <u></u> | 10/24/05 | THIRD BLOG, DEPT. SUBMITTAL |
| W | 01/16/06 | ALT. COURTYARD DRAINAGE PLAN |
| B | 05/15/06 | CLIENT REVISIONS - NAME CHANGE, ELECTRICAL OPTION |
| $\overline{\mathbb{A}}$ | 07/25/06 | CLIENT FIELD REVISIONS - FRAMING WALK #1 & #2 |
| A | 10/18/06 | CLIENT FIELD REVISIONS |
| A | 12/08/06 | FIELD REVISIONS |
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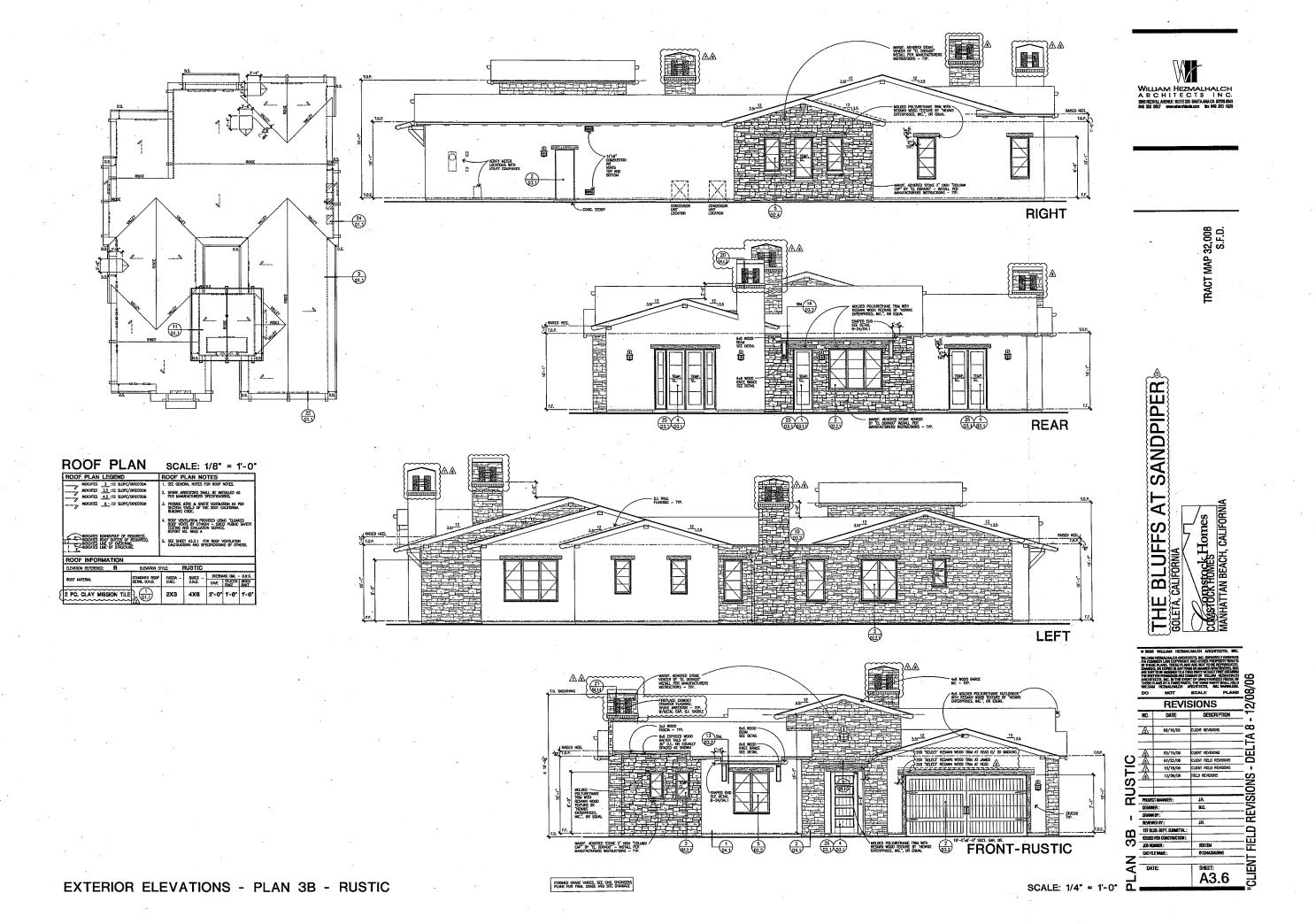
WILLIAM HEZMALHALCH
A R C H I T E C T S I N C.
2000 REPHIL AVENUE BUTTE 200 SANTA AVA CA 127705 6543546 260 0507 West Participation for 1949 250 1639

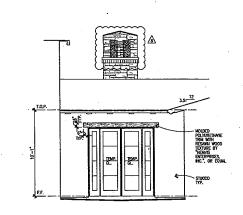
TRACT MAP 32,008 S.F.D.

SANDPIPER

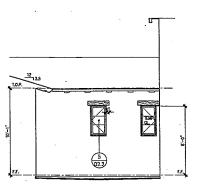
C1



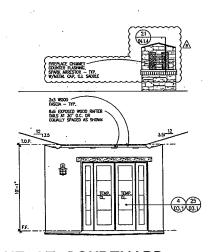




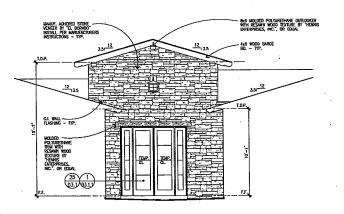
PART. LEFT AT COURTYARD



PART. RIGHT AT COURTYARD



PART. FRONT AT COURTYARD



PART. REAR AT COURTYARD



M POLOTI MANAGER: JR ON DESERVENCE: JR ON DESERV