



DESIGN REVIEW BOARD Staff Report

Planning and Environmental Services
130 Cremona Drive, Suite B, Goleta, CA 93117
Phone: (805) 961-7500 Fax: (805) 961-7551
www.cityofgoleta.org

AGENDA ITEM M-1

DATE: January 12, 2010
TO: Goleta Design Review Board
FROM: Shine Ling, Assistant Planner
SUBJECT: 08-037-DRB; AVIS Rent-a-Car Facility; 5912, 5920, 5930, 5940, and 5960 Olney Street; APNs 071-153-008; -009; 010; -011; -013

APPLICANT: Leland J. Smith
Chester Smith Associates
2211 W. Sunset Pointe Drive
Cedar City, UT 84720

PROJECT DESCRIPTION:

This is a request for *Conceptual* review. The properties consist of five parcels in the M-1 zone district (Coastal Zone), comprising a total of 28,346 square feet. An existing 3,656-square foot two-story commercial/industrial building is located at 5940 Olney Street; vacant paved lots are located at 5912, 5920, 5930, 5940, and 5960 Olney Street. The applicant proposes an as-built development plan and major conditional use permit for a car rental facility. The first floor of the existing building would be used for a rental office and four car repair bays for light car maintenance and hand car washing. One of the offices on the second floor is used for AVIS administration. The hours of operation would be from 4:30 a.m. to 11:30 p.m. An average of 50 cars per day would be rented from the facility. The total number of employees would be 20, spread over 3 work shifts, with a maximum of 8 during a typical day shift. The existing building is proposed to be used 'as-is' with no physical changes proposed. AVIS customer operations are restricted to the first floor office area. A total of 10 customer parking stalls are proposed (5 on the lot at 5940 Olney Street and 5 on the lots adjacent at 5912-5930 Olney Street). The project was filed by Leland J. Smith of Chester Smith Associates, architect, on behalf of Andrew Jaksich of AVIS Budget Group, tenant, and the Duckett Family Trust and Graziano and Romana Bernardi, property owners. Related cases: 08-037-DP; -CUP.

BACKGROUND:

The project was submitted on February 29, 2008 and deemed complete with advisories on September 4, 2009. This is the first time the project has been before the DRB. The

rental car facility is currently operating without permit; the purpose of this application is to remedy the current zoning violation.

ANALYSIS:

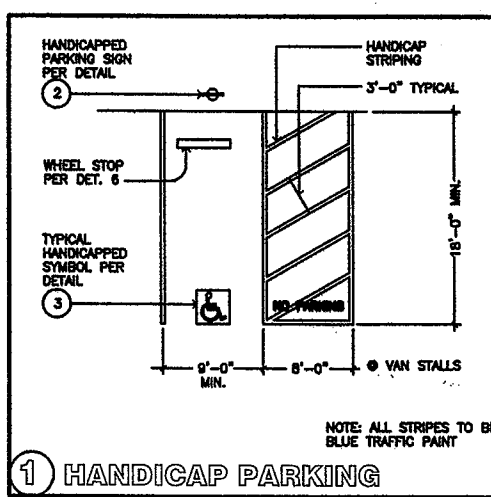
Zoning Consistency:

	Required	Proposed	Consistent Y/N
Front Yard Setback	20 feet from right-of-way line 50 feet from centerline	20 feet from right-of-way line 50 feet from centerline	Yes
Side Yard Setback	10 feet	0 feet	Legal non-conforming
Rear Yard Setback	10 feet	0 feet	Legal non-conforming
Lot Coverage	50% maximum	30% (main building parcel)	Yes
Building Height	35 feet maximum	27.25 feet (no change)	Yes
Parking	10 spaces (not including rental car storage)	10 spaces	Yes
Landscaping	Not less than 10% of the net lot area shall be landscaped. The side and rear property lines shall be landscaped with a minimum of a 5-foot wide planted area and the front property line with a minimum 10-foot wide planted area.	No landscaping proposed	No; modification requested
Trash/Storage	Outdoor storage areas shall be screened from view of any street by a wall or fence 6 feet in height	Existing trash storage under staircase	Yes

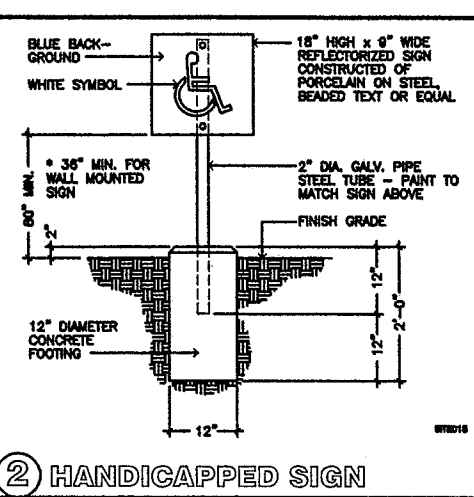
The proposed project is consistent with the above requirements of Article II, Chapter 35, Coastal Zoning Ordinance, with the exception of the landscaping requirement.

ATTACHMENTS:

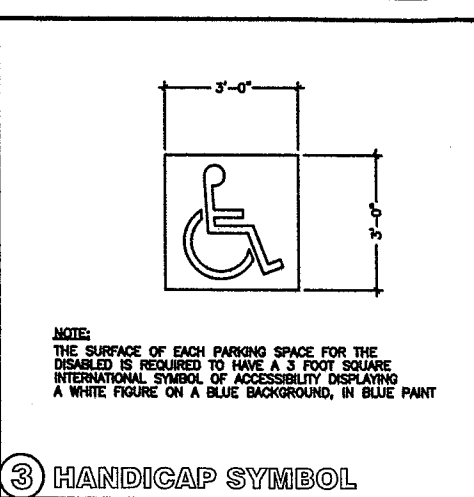
- Reduced 11" x 17" copies of site plans and elevations.



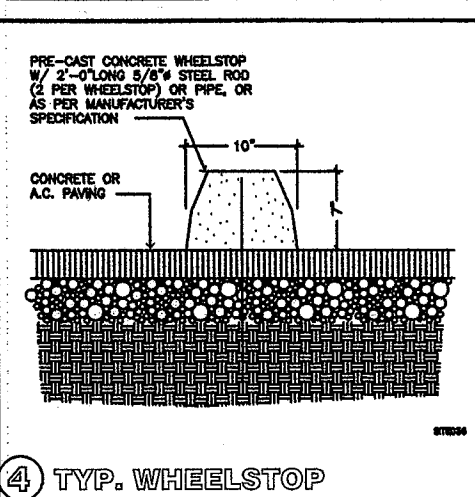
1 HANDICAP PARKING



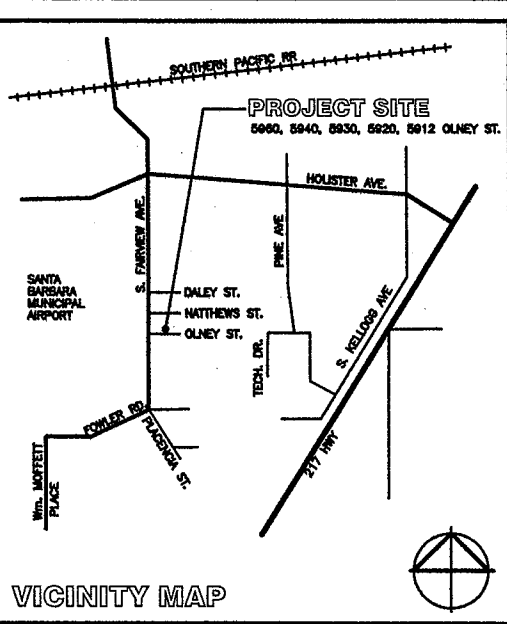
2 HANDICAPPED SIGN



3 HANDICAP SYMBOL



4 TYP. WHEELSTOP



VICINITY MAP

PROJECT SUMMARY- PRIMARY LOT

5940 OLNEY STREET
 OCCUPANCY B / S3
 CONST. TYPE Vn
 ZONING M-1, LIGHT INDUSTRIAL

LOT AREA 6200 S.F.
 BUILDING AREA 3558 S.F.
 LMR. FLR. 1860 S.F. = 30% BLDG. COVERAGE
 UPPER FLR. 1798 S.F.

(C) OCCUP. B 358 S.F. - 1st FLR.
 (C) OCCUP. B 1798 S.F. - 2nd FLR.
 (C) S3 1502 S.F. - 1st FLR.

NO EXISTING LANDSCAPING

REMOTE PARKING LOTS

5960 OLNEY ST. - AUTO STORAGE ONLY = 4,100 S.F.
 5930, 5920, 5912 (PORTION) - PARKING = 14,000 S.F.

NO EXISTING LANDSCAPING

PARKING SUMMARY

BUILDING AREA = 2156 S.F.
 S3 OCCUPANCY = 1502 S.F.

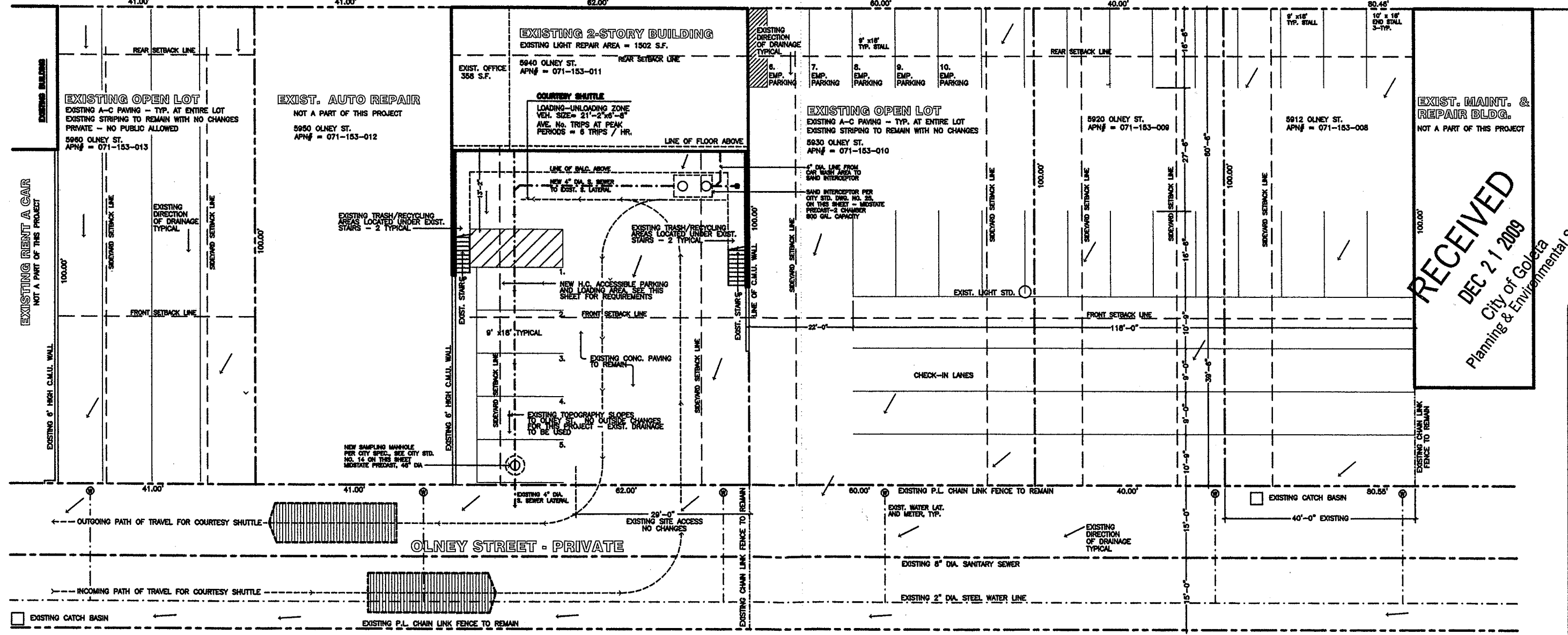
PARKING REQUIRED:

B OCCUPANCY 1 STALL PER 300 S.F. = 7
 S3 OCCUPANCY 1 STALL PER 500 S.F. = 3

PARKING PROVIDED

B OCCUPANCY 7 STALLS, INCL. 1 H.C. STALL
 S3 OCCUPANCY 3 STALLS

1 - H/C STALL LOCATED AT PRIMARY LOT
 4 - STD. STALLS LOCATED AT PRIMARY LOT
 6 - STD. STALLS LOCATED AT EAST PARKING LOT



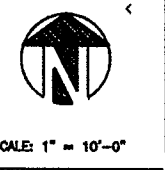
- CITY OF GOLETA NOTES:**
- A FOSSEL FILTER SHALL BE REQUIRED TO BE INSTALLED IN PRIVATE PROPERTY DRAINAGE SYSTEM TO FILTER RUNOFF PRIOR TO REACHING THE PUBLIC RIGHT-OF-WAY.
 - SIGNAGE SHALL NOT BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
 - BEST MANAGEMENT PRACTICES SHALL BE INCORPORATED TO MINIMIZE STORM WATER IMPACTS IN ACCORDANCE WITH THE CITY'S STORM WATER MANAGEMENT PLAN AND THE CITY'S GENERAL PLAN. THE APPLICANT SHALL BE RESPONSIBLE TO ONSITE MAINT. OF ANY AND ALL DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION, THE APPROVED PLANS AND CONDITIONS OF APPROVAL.
 - CAR WASHING EQUIPMENT SHALL BE PROTECTED WITH AN APPROVED BACKFLOW DEVICE PER GOLETA WATER DISTRICT STANDARDS.
 - ALL TENANTS OF THE BUILDING AT 5940 OLNEY SHALL HAVE ACCESS TO THE ELECT. METERS.
 - OFFSITE PARKING OR SHARED INGRESS/EGRESS SHALL HAVE AN AGREEMENT/COVENANT WITH THE PROPERTY OWNERS.
 - PRIOR TO APPROVAL, A TRAFFIC STUDY WILL BE REQUIRED TO DETERMINE AVERAGE DAILY TRAFFIC, AM AND PM PEAK HOUR TRIP GENERATION.
 - FINAL APPROVAL OF A COASTAL DEV. PERMIT BY THE CALIF. COASTAL COMM. WILL BE REQUIRED TO PROCEED WITH THIS PROJECT.

FEMA FLOOD ZONE: SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

DEFINITION: THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD.

ALL SITES ON OLNEY STREET, MATHEWS AND DALY ST. ARE LOCATED IN FEMA FLOOD ZONE - AO, DEFINED AS: FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW OF SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED.

PROPOSED SITE PLAN



RECEIVED
 DEC 21 2009
 City of Goleta
 Planning & Environmental Svcs

Chester Smith Associates, inc
 ARCHITECTURE ENGINEERING PLANNING
 1108 MANUEL AVENUE
 SAN FRANCISCO, CALIF. 94103
 TEL: 415.774.1111 FAX: 415.774.1112
 WWW.CHESTER-SMITH.COM

A PROPOSED CAR RENTAL, LIGHT REPAIR & PARKING FOR:
AVIS RENT A CAR
 5960, 5940, 5930, 5920 & 5912 OLNEY ST., GOLETA, CA 93117
 APN#s 071-153-013, 071-153-011, 071-153-010,
 071-153-008, 071-153-006

DRAWN BY: L.S.
 DATE: 4-14-09
 REV. DATE: 5-27-09
 REV. DATE: 12-18-09
 REV. DATE:

SHEET NO. 0906
 DATE: 09-08-09
 SCALE: 1" = 10'-0"
 OF 3

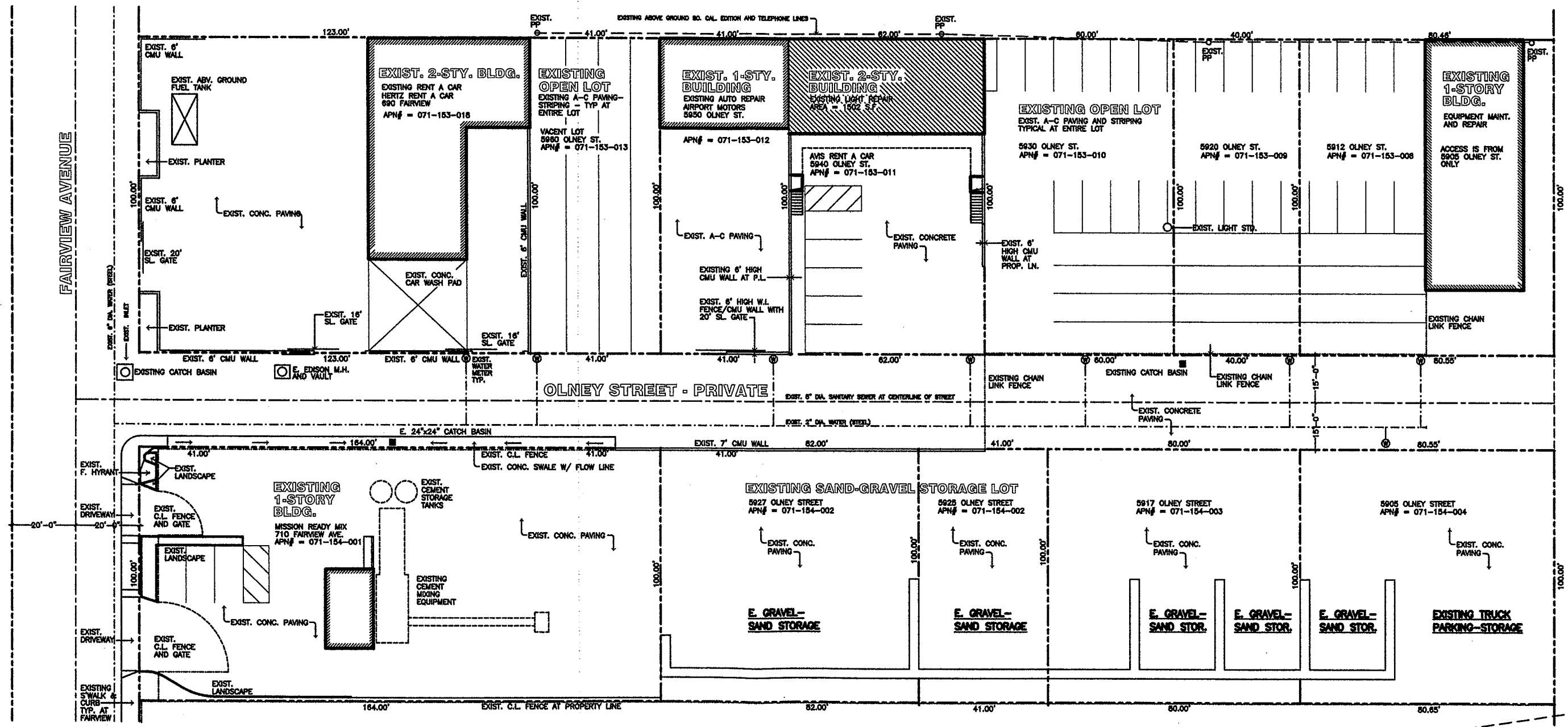
All plans, drawings, specifications and plans indicated or represented by the drawing are owned by, and the property of Chester Smith Associates, Inc. and shall remain the property of Chester Smith Associates, Inc. No part of this drawing shall be used for any other project, site or location without the written consent of Chester Smith Associates, Inc.

Chester Smith Associates, inc
 ARCHITECTURE ENGINEERING PLANNING
 11500 MARSHALLS WAY, SUITE 200, SAN JOSE, CA 95138
 TEL: (415) 435-1100 FAX: (415) 435-1101

PROPOSED CAR WASH BAYS FOR:
AVIS RENT A CAR
 5940 OLNEY STREET, GOLETA, CALIFORNIA

OWNED BY	LIS
DATE	4-14-08
REV. DATE	12-16-09
REV. DATE	
REV. DATE	

JOB NO. 0906
 SHEET NO. 1.1 OF 4



FEMA FLOOD ZONE: SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

DEFINITION: THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD.

ALL SITES ON OLNEY STREET, MATHEWS AND DAILY ST. ARE LOCATED IN FEMA FLOOD ZONE - AG, DEFINED AS: FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW OF SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED.

SANTA BARBARA AIRPORT

EXISTING SITE CONDITIONS - OLNEY STREET



STATE OF CALIFORNIA BARRIERS LAWS

A. PARKING

1. NEW BUILDINGS AND FACILITIES

PARKING SPACES FOR THE DISABLED ARE REQUIRED TO BE LOCATED AS NEAR AS PRACTICAL TO A PRIMARY ENTRANCE. IF ONLY ONE SPACE IS PROVIDED IT HAS TO BE 14 FEET WIDE, LINED TO PROVIDE A 9 FOOT PARKING AREA AND A 5 FOOT LOADING AND UNLOADING AREA. WHEN MORE THAN ONE SPACE IS PROVIDED, TWO SPACES CAN BE PROVIDED WITHIN A 23 FOOT WIDE AREA LINED TO PROVIDE A 9 FOOT WIDE PARKING SPACE ON EACH SIDE OF A 5 FOOT WIDE LOADING AND UNLOADING AREA. EACH PARKING SPACE IS REQUIRED TO BE AT LEAST 18 FEET LONG.

2. PARKING SPACES FOR THE DISABLED ARE TO BE LOCATED WHERE THE DISABLED PERSON DOES NOT NEED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN HIS OWN. ACCESSIBLE PATHS SHALL BE PROVIDED FROM EACH PARKING SPACE FOR THE DISABLED TO RELATED FACILITIES. A BUMPER OR CURB IS REQUIRED IN EACH PARKING AREA TO PREVENT CARS FROM ENCRoACHING OVER THE REQUIRED WIDTH OF PATHS AND WALKWAYS. CURB CUTS AND RAMPS ARE REQUIRED AS NEEDED, BUT RAMPS MAY NOT ENCRoACH INTO ANY PARKING SPACE.

EXCEPTIONS: A. RAMPS LOCATED AT THE FRONT OF PARKING SPACES FOR THE DISABLED MAY ENCRoACH INTO THE LENGTH OF THE SPACE AS LONG AS THEY DO NOT LIMIT A HANDICAPPED PERSON'S ABILITY TO LEAVE OR ENTER HIS VEHICLE. THE MAXIMUM RECOMMENDED DISTANCE FROM THE CURB TO THE END OF THE RAMP IS INDICATED TO BE 60 INCHES.

B. WHERE AN UNREASONABLE HARSHIP IS GRANTED FOR THE SIZE OR LOCATION OF THE PARKING SPACES, EQUIVALENT FACILITATION MUST BE PROVIDED.

3. SURFACE SLOPES OF PARKING SPACES FOR THE DISABLED SHOULD BE MINIMAL, BUT ARE REQUIRED NOT TO EXCEED 2 PERCENT IN ANY DIRECTION.

4. SIGNAGE

A. EACH PARKING SPACE FOR THE DISABLED IS REQUIRED TO BE IDENTIFIED BY A PERMANENT, REFLECTORIZED SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN IS TO BE EQUAL TO A PROCLAIM ON STEEL SIGN WITH READED TEXT; TO BE A MINIMUM SIZE OF 70 SQUARE INCHES; AND IS TO BE EITHER 60 INCHES FROM THE BOTTOM OF THE SIGN TO THE SURFACE OF THE PARKING SPACE IF MOUNTED ON A POLE, OR 36 INCHES ABOVE THE SURFACE OF THE PARKING SPACE, FINISHED GRADE, GROUND OR SIDEWALK, IF MOUNTED ON A WALL. THE SIGN IS TO BE CENTERED AT THE "INTERIOR" END OF THE PARKING SPACE.

B. THE SURFACE OF EACH PARKING SPACE FOR DISABLED IS REQUIRED TO HAVE A 3 FOOT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY DISPLAYING A WHITE FIGURE ON A BLUE BACKGROUND.

C. AT THE ENTRANCE TO OFFSTREET PARKING FACILITIES, A CONSPICUOUS SIGN AT LEAST 17 INCHES BY 22 INCHES IS REQUIRED. THE LETTERING IS REQUIRED TO BE AT LEAST ONE INCH HIGH. UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING.

EXCEPTION: WHEN LESS THAN 5 PARKING SPACES ARE PROVIDED AT BUILDINGS AND FACILITIES SUBJECT TO THE REGULATIONS, THE SPACE FOR THE DISABLED NEED NOT BE RESERVED EXCLUSIVELY OR IDENTIFIED FOR HANDICAPPED USE ONLY.

NUMBER OF SPACES REQUIRED.

D. CHANGES IN LEVEL

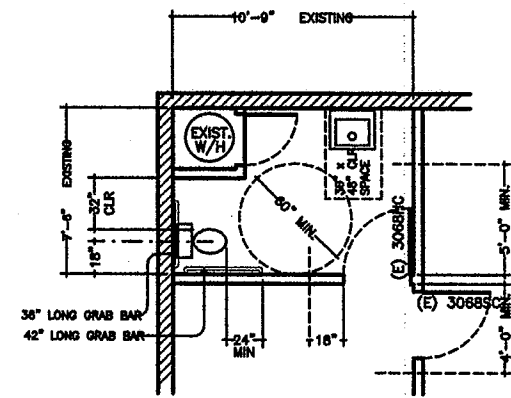
ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH NOT ALLOWED. CHANGES IN LEVEL NOT EXCEEDING 1/4 INCH MAY BE VERTICAL; CHANGES 1/4 TO 1/2 INCH HIGH ARE REQUIRED TO BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL TO 2 HORIZONTAL. WHEN CHANGES IN LEVELS DO EXCEED 1/2 INCH THEY MUST COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.

E. GRADES
WALKS WITH CONTINUOUS GRADIENTS ARE REQUIRED TO HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT LEAST EVERY 400 FEET.

F. WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60" x 60" AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48" WIDE BY 44" DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.

K. SLOPES IN DIRECTION OF TRAVEL

WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 11228.5 AS A PEDESTRIAN RAMP.



EXISTING ACCESSIBLE RESTROOM

SCALE: 1/4"=1'-0"

ACCESSIBILITY NOTES:

- ON DOORWAYS LEADING TO SANITARY FACILITIES THE SYMBOLS TO BE PROVIDED SHALL BE:
 - 12" EQUILATERAL TRIANGLE FOR MEN
 - 12" DIAMETER CIRCLE FOR WOMEN
 - 1/4" THICK, CENTERED ON THE DOOR, 60" HIGH WITH CONTRASTING COLOR
 - ROOM IDENTIFICATION IN VERBADE AND IN BRAILLE ADJACENT TO THE STRIKE SIDE OF THE DOOR.
- DOORWAYS SHALL HAVE A 32" MIN. CLEAR WIDTH AND THERE SHALL A LEVEL AREA WITH 60" CLEAR DEPTH IN THE DIRECTION OF THE DOOR SWING AND A LEVEL AREA WITH 48" CLEAR DEPTH IN THE OPPOSITE DIRECTION OF THE DOOR SWING.
- GRAB BARS AT THE WATER CLOSET:
 - ONE 42" LONG BAR AT THE SIDE CENTERED 33" ABOVE THE FLOOR
 - ONE 36" LONG BAR AT THE REAR CENTERED 33" ABOVE THE FLOOR
 - THE BAR SHALL BE 1-1/4" TO 1-1/2" IN DIAMETER WITH 1-1/2" CLEARANCE TO THE WALL.
 - BAR SHALL HAVE A 1/8" MINIMUM RADIUS ON ALL EDGES
 - BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LBS PER FT. IN BENDING, SHEAR AND TENSION.
- THE WATER CLOSET SHALL BE 17" TO 18" ABOVE THE FLOOR AND THE FORCE REQUIRED TO ACTIVATE THE FLUSH VALVE SHALL BE 5 LBS. MAXIMUM.
- LAVATORIES SHALL BE:
 - INSULATED HOT WATER AND DRAIN PIPES
 - FALICET CONTROLS AND OPERATING MECHANISM OPERABLE WITH ONE HAND AND BE OF THE TYPE NOT REQUIRING AND OPERATING FORCE EXCEEDING 5 LBS. PER FT. OR TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
 - HAVE A CLEAR SPACE GENEATH 28" HIGH BY 30" WIDE BY 8" DEEP AT THE TOP AND 8" HIGH BY 30" WIDE BY 17" DEEP AT THE BOTTOM FROM THE FRONT OF THE LAVATORY.
- TOILET ROOM ACCESSORIES:
 - MIRROR BOTTOM EDGE SHALL BE 40" MAX. ABOVE THE FLOOR.
 - TOILET TISSUE DISPENSERS SHALL BE MOUNTED WITH 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
 - OPERATING PARTS OF DISPENSING AND DISPOSAL FIXTURES - TOWELS, WASTE, COIN SLOTS, ETC. - SHALL BE WITHIN 40" ABOVE THE FLOOR.

B. WALKS AND SIDEWALKS

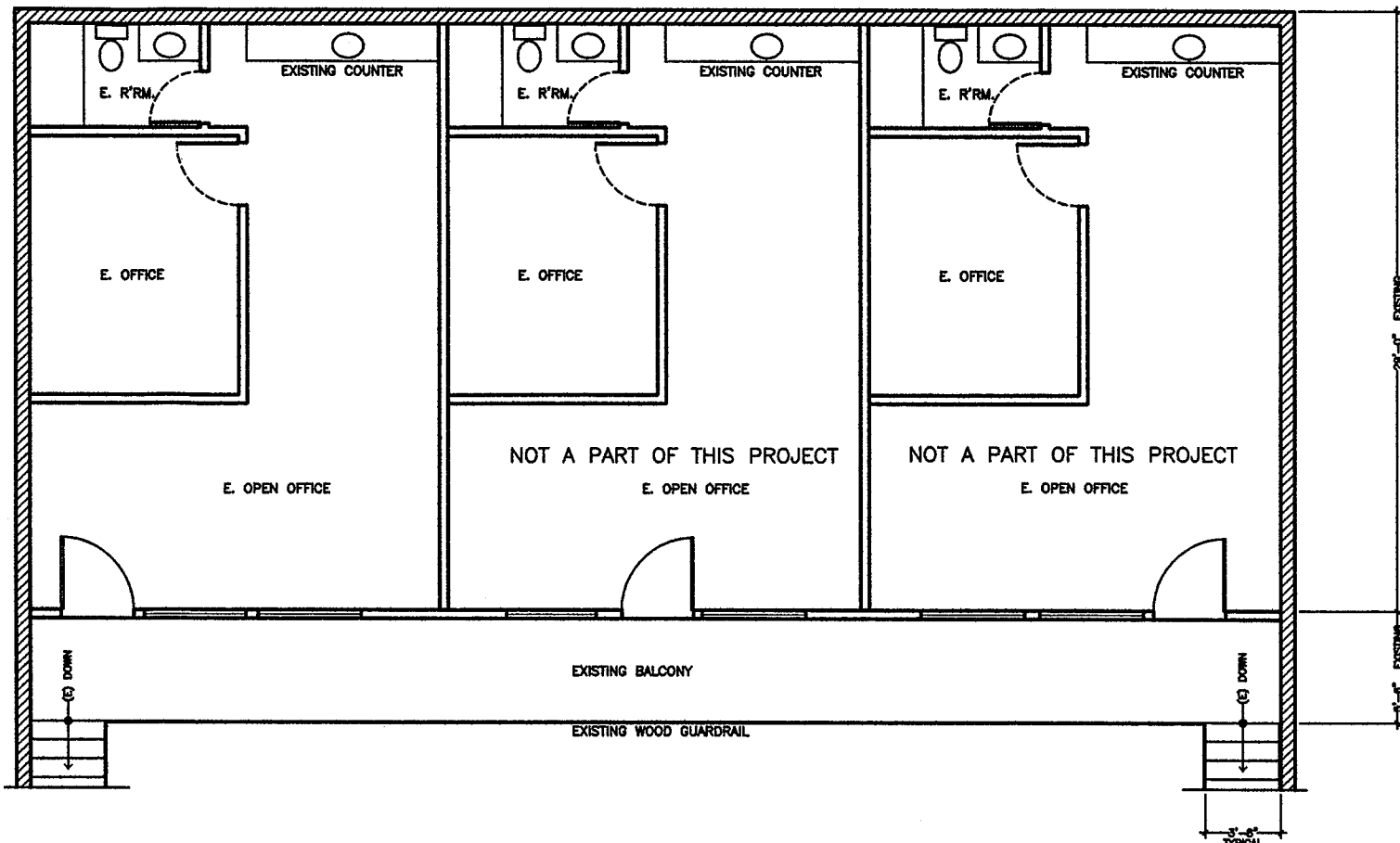
1. NEW AND EXISTING BUILDINGS AND FACILITIES TO DETERMINE WHICH WALKS AND SIDEWALKS MUST COMPLY WITH THE REGULATIONS, REVIEW THE SPECIAL REQUIREMENTS FOR EACH OCCUPANCY TYPE. IT IS ASSUMED THAT ALL PUBLIC WALKS AND SIDEWALKS ARE INTENDED TO BE INCLUDED UNLESS EXEMPTED THROUGH AN APPEAL. PRIVATE WALKS AND SIDEWALKS ARE REQUIRED TO BE ACCESSIBLE IF THEY LEAD TO BUILDINGS AND FACILITIES REQUIRED TO BE ACCESSIBLE. PRIVATE WORK MUST ALSO APPEAL FOR AN EXEMPTION.

2. WALKS AND SIDEWALKS SUBJECT TO THE REGULATIONS ARE REQUIRED TO HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH. A WALK OR SIDEWALK IS CLASSIFIED AS A PEDESTRIAN RAMP WHEN THE SLOPE IN THE DIRECTION OF TRAVEL EXCEEDS 1 VERTICAL TO 20 HORIZONTAL. SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.

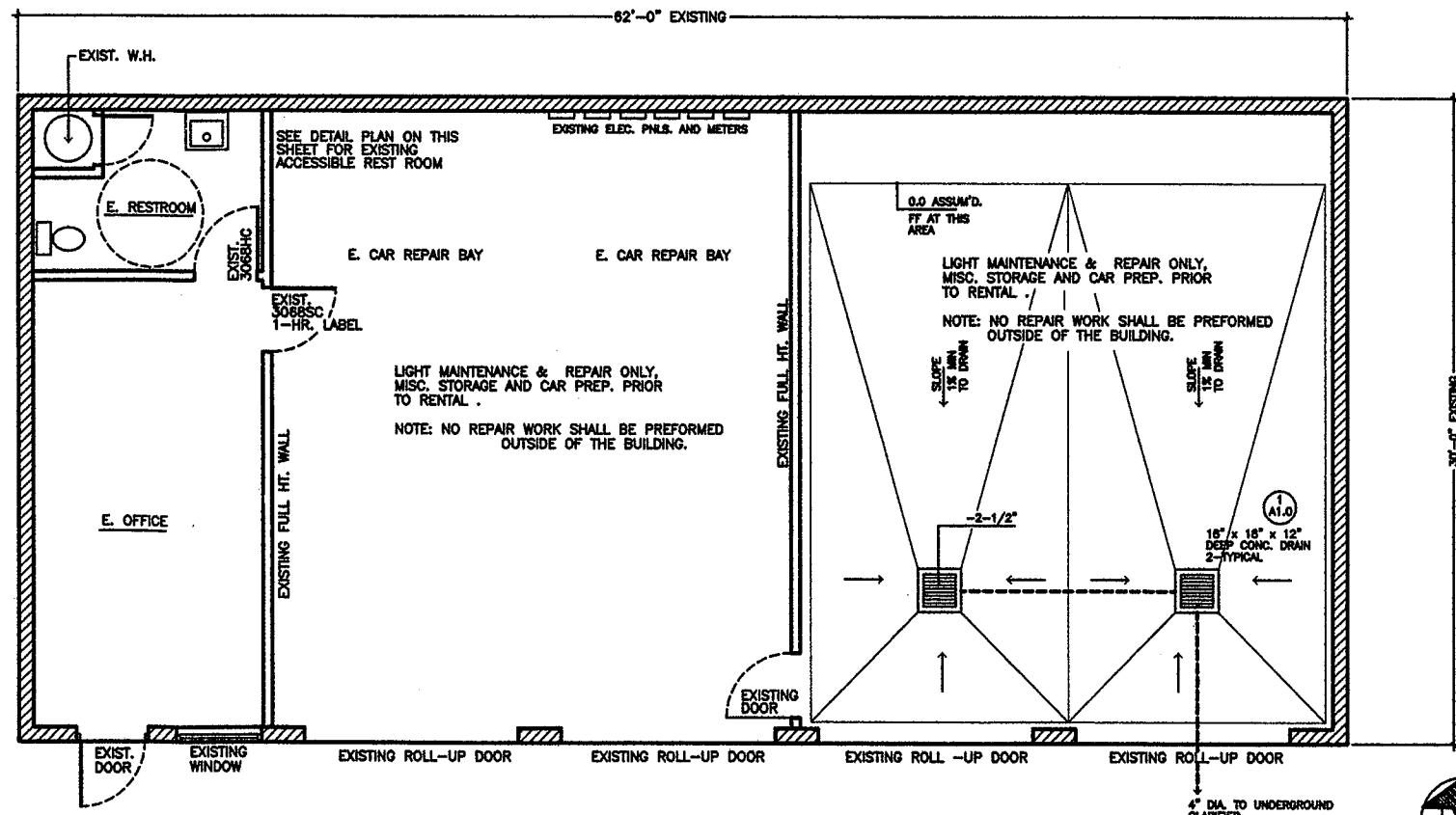
A. WIDTH
A MINIMUM WIDTH OF 48 INCHES IS REQUIRED. HOWEVER, 36 INCHES WILL BE ALLOWED IF THE ENFORCING AGENCY GRANTS AN UNREASONABLE HARSHIP DUE TO RIGHT-OF-WAY RESTRICTIONS, NATURAL BARRIERS, OR OTHER EXISTING CONDITIONS.

B. SURFACE
SURFACES ARE REQUIRED TO HAVE THE FOLLOWING SLIP-RESISTANCE:
A. SURFACES WITH A SLOPE OF LESS THAN 6 PERCENT GRADIENT ARE REQUIRED TO BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
B. SURFACES WITH A SLOPE OF 6 PERCENT OR GREATER ARE REQUIRED TO BE SLIP RESISTANT.

C. CROSS SLOPES
CROSS SLOPES CAN NOT EXCEED 1/4 INCH PER FOOT EXCEPT A 1/2 INCH PER FOOT CROSS SLOPE WILL BE ALLOWED IF THE ENFORCING AGENCY GRANTS AN UNREASONABLE HARSHIP DUE TO LOCAL CONDITIONS. THE CROSS SLOPE SHALL NOT BE INCREASED TO A MAXIMUM OF 1/2 INCH PER FOOT FOR DISTANCES NOT TO EXCEED 20 FEET.



EXISTING UPPER FLOOR PLAN



EXISTING LOWER FLOOR PLAN

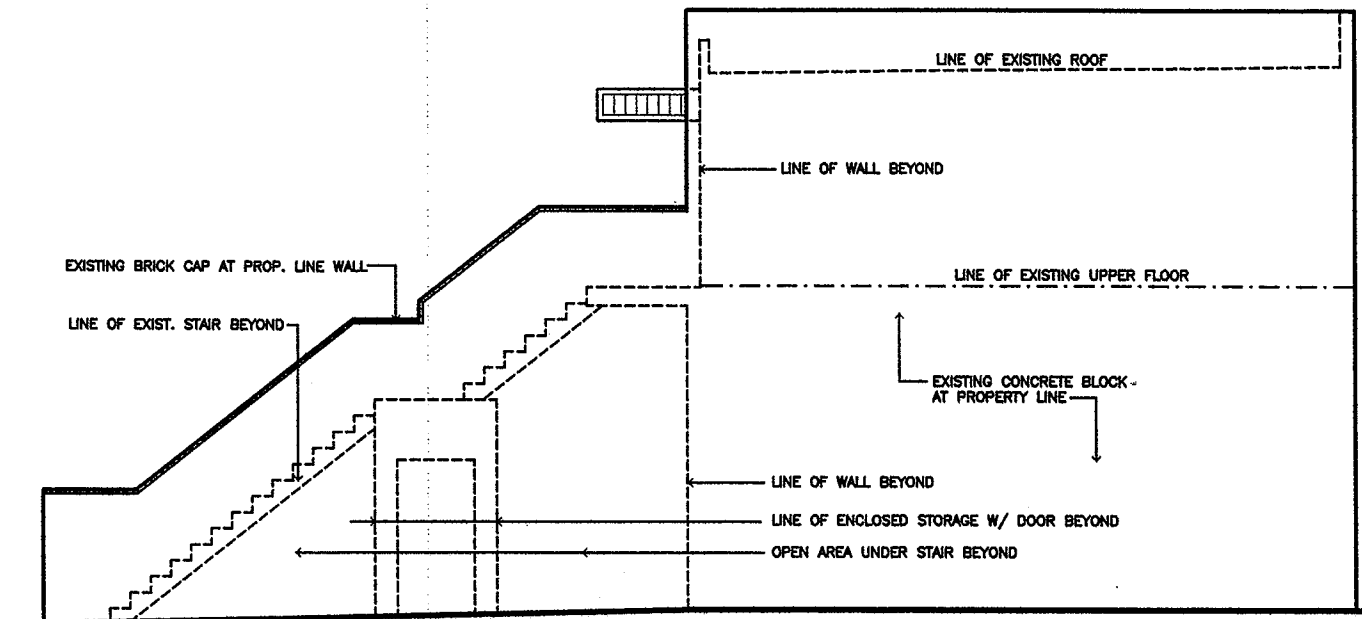
All Plans, Specifications and Notes shall be subject to interpretation by the Architect. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Architect shall not be responsible for any delays or costs incurred by the Contractor due to failure to obtain such permits and approvals.

Chester Smith Associates, inc
 ARCHITECTURE ENGINEERING PLANNING
 1100 MANHATTAN
 NEW BRUNSWICK, NEW JERSEY 08901
 TEL: 908-833-8888
 FAX: 908-833-8889
 WWW: WWW.CHESTERSMITH.COM

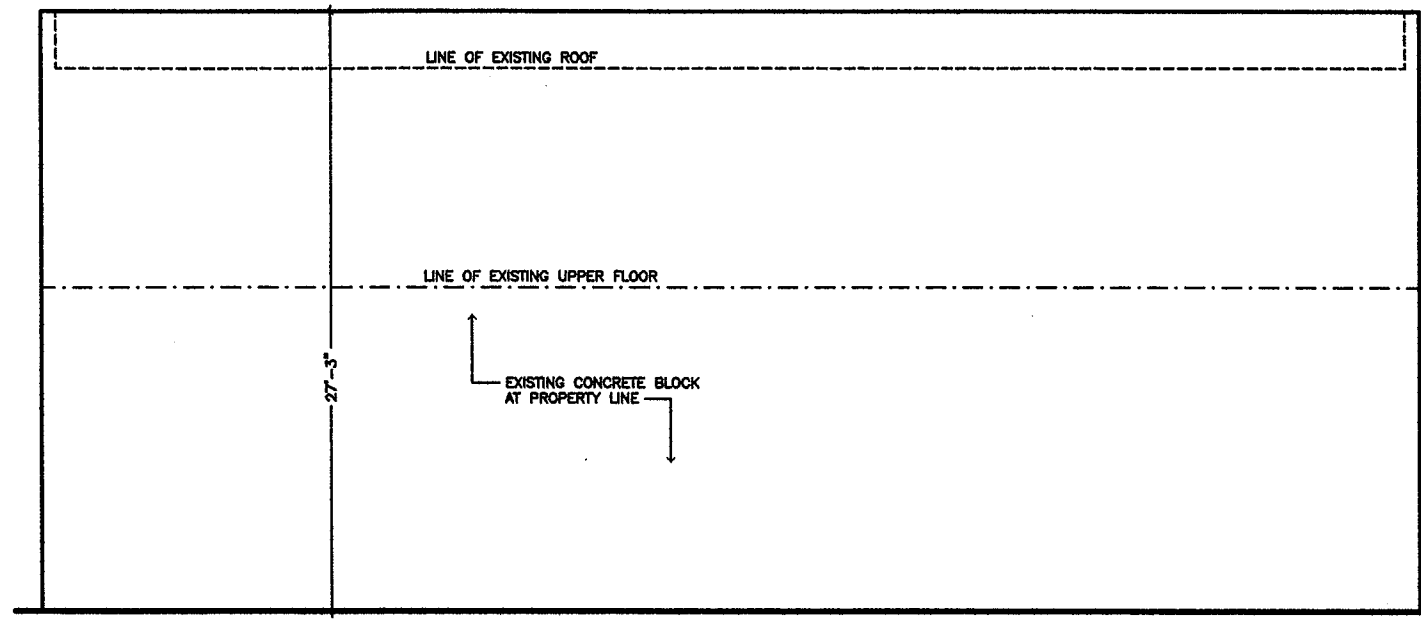
OWNER BY	LUS
DATE	4-14-09
REV. DATE	
REV. DATE	
REV. DATE	

A PROPOSED CAR RENTAL, LIGHT REPAIR AND PARKING FOR:
AVIS RENT A CAR
 5940 OLNEY STREET, COLETA, CALIFORNIA
 95906
 SHEET NO. 2.0
 OF 4

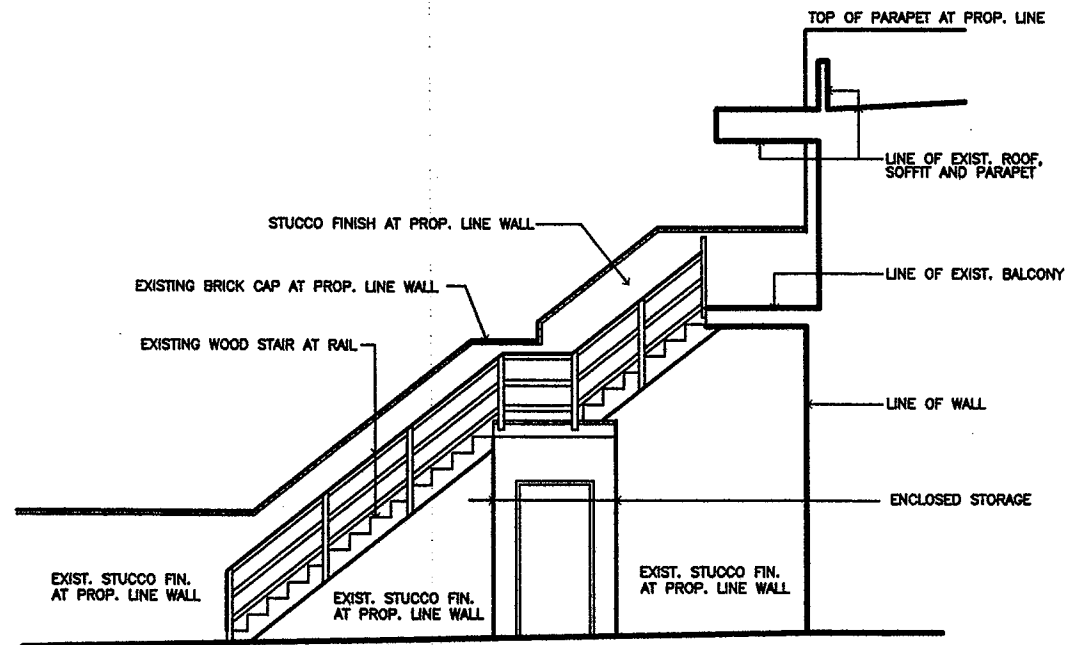




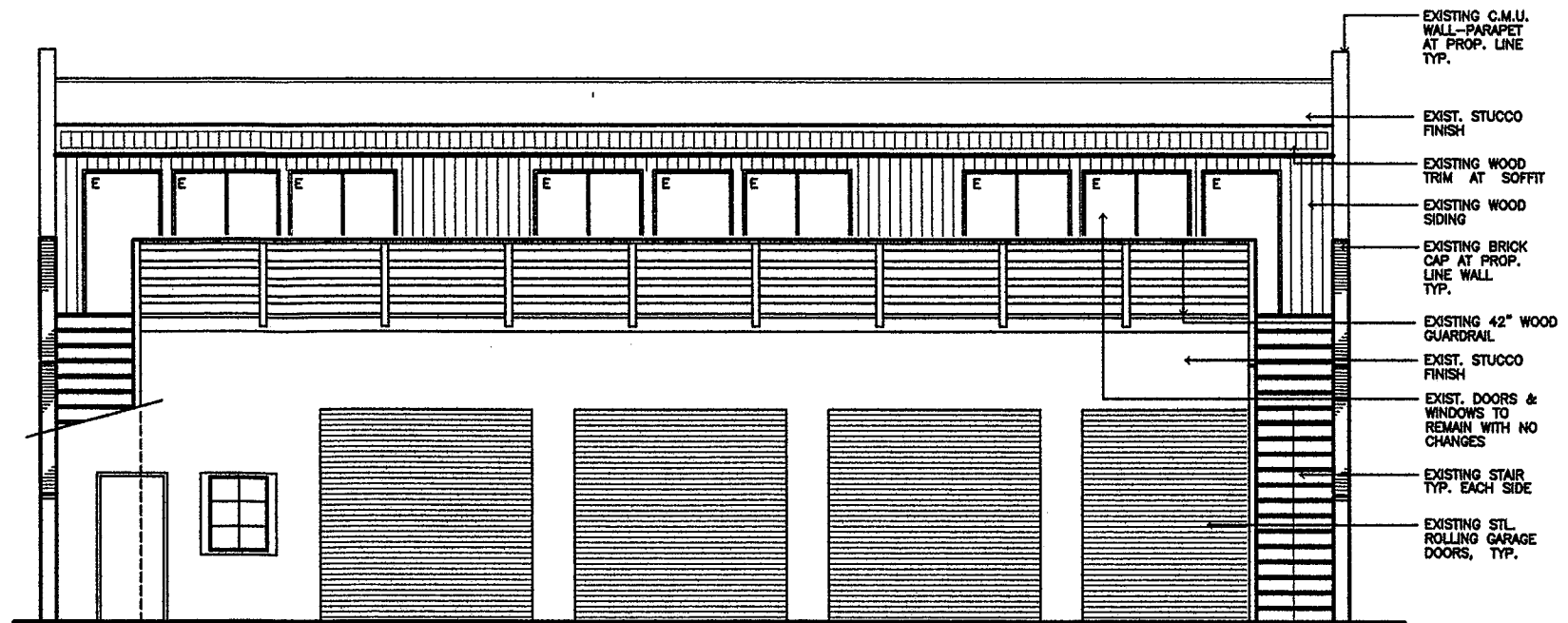
EAST ELEVATION
WEST ELEVATION SIMILAR - OPPOSITE



NORTH ELEVATION



PARTIAL ELEVATION AT STAIR



SOUTH ELEVATION

All plans, sections, elevations and plots indicated or represented by this drawing are made by and for the property of Chester Smith Associates, Inc. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Chester Smith Associates, Inc.

Chester Smith Associates, Inc.
 ARCHITECTURE ENGINEERING PLANNING
 1100 MANHATTAN, SUITE 700
 SAN FRANCISCO, CALIFORNIA 94108

AVIS RENT A CAR
 PROPOSED CAR PREP. AND WASH BAYS FOR:
 5940 OLNEY STREET, GOLETA, CALIFORNIA

DATE	4-14-00
REV. DATE	
REV. DATE	
REV. DATE	

DRAWN BY: LIS
 SCALE: 1/4"=1'-0"
 SHEET NO. 3 OF 4