



MEMORANDUM

DATE: July 28, 2009

TO: Design Review Board

FROM: Brian Hiefield, Planning Technician

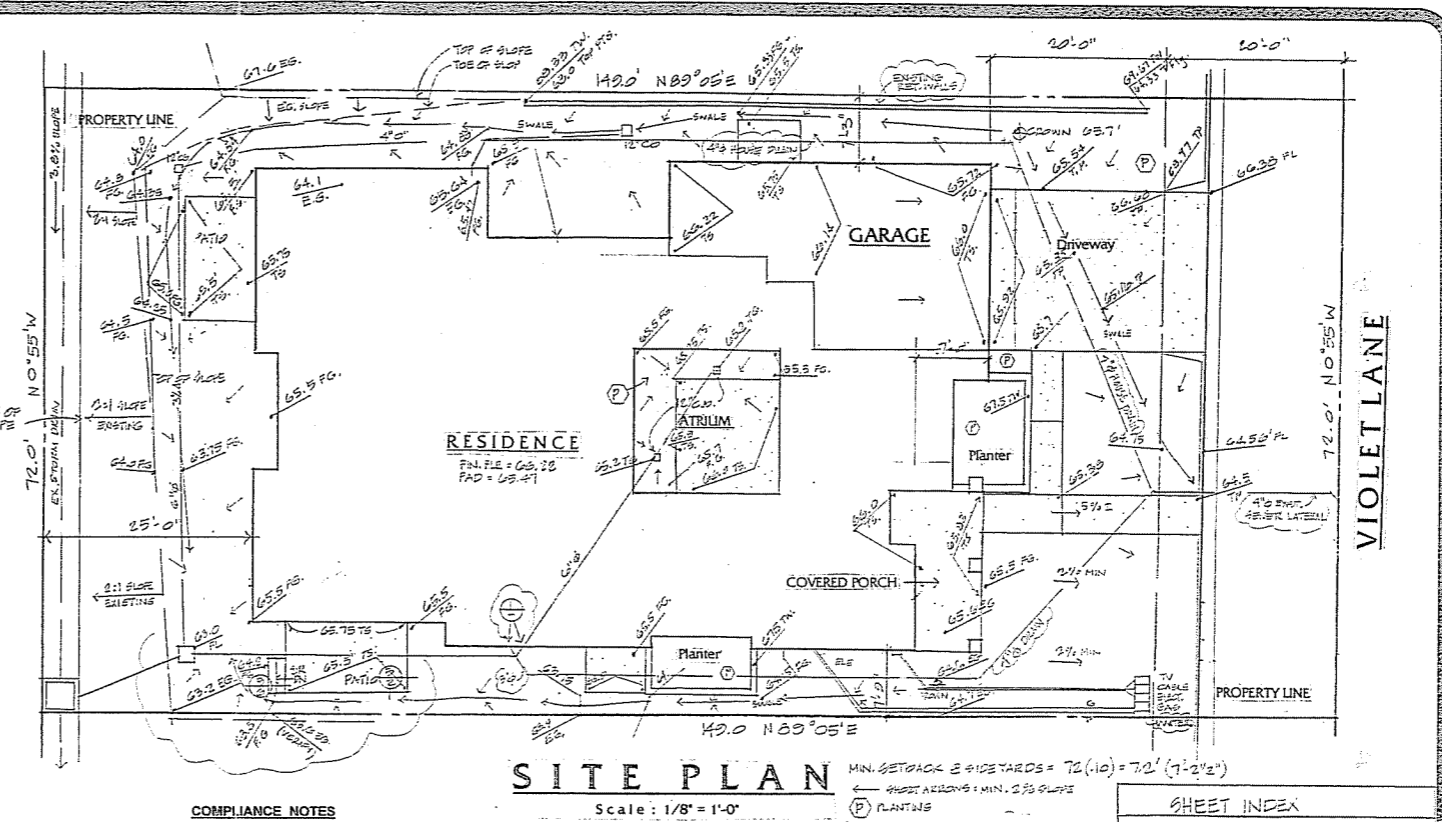
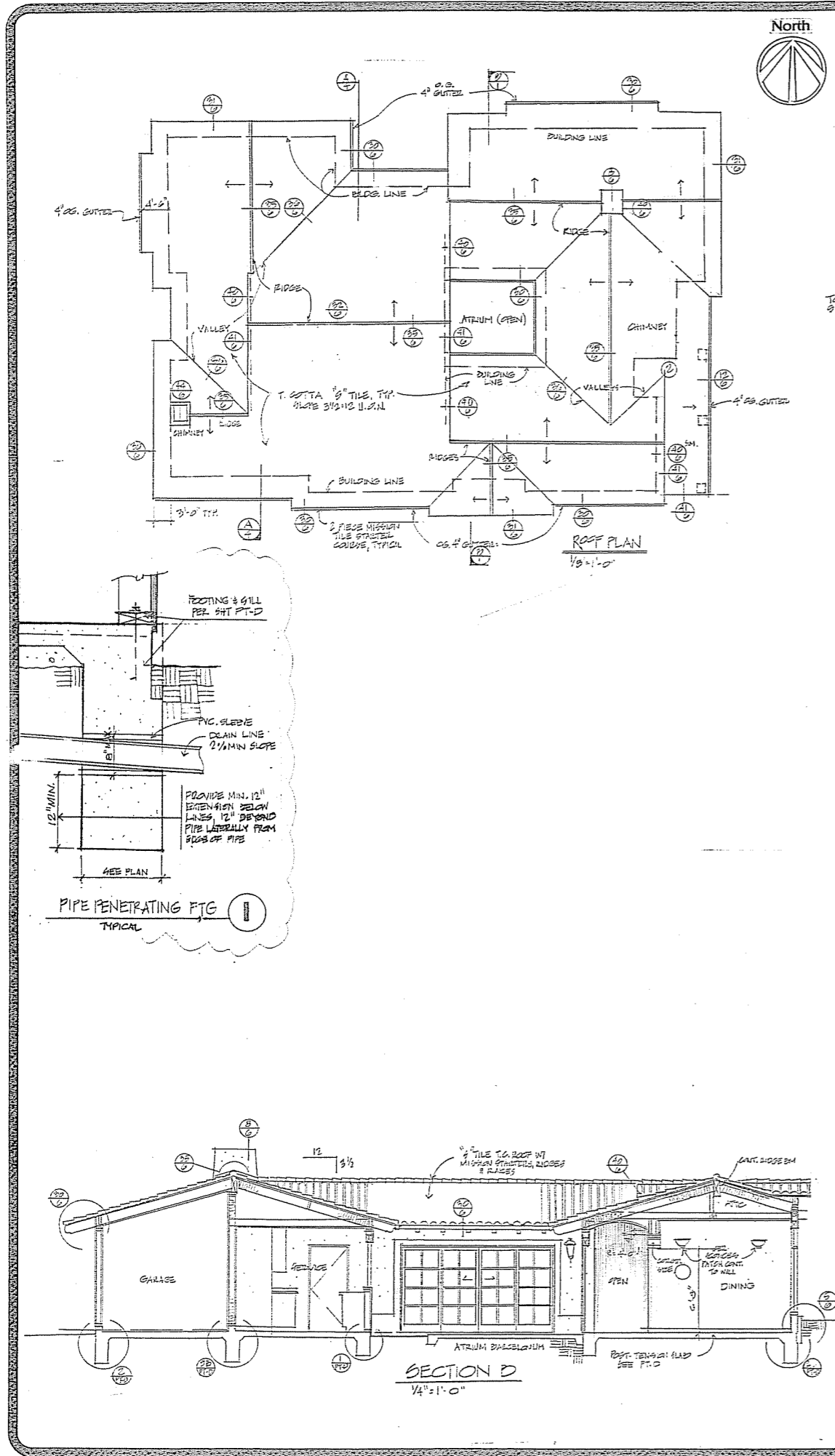
SUBJECT: DRB Meeting of 08-11-09, Item # I-2, 15 Violet Lane

Item # I-2 on your agenda for August 11, 2009 includes Revised Final review of the exterior elevation changes proposed for the single family dwelling at 15 Violet Lane. The DRB granted Final Approval for the existing partially constructed dwelling on December 3, 2002.

The property includes a partially constructed 3,130-square foot residence and an attached 570-square foot 3-car garage on a 10,728-square foot lot in the DR-4.6 zone district. The applicant proposes to revise the originally approved exterior elevations including new doors, windows, exterior lighting, and a change to the exterior fire place. A detailed description of the changes is attached for reference. The square footage of the originally approved structure would not change. The project was filed by agent Lawrence Thompson on behalf of Jon Rand, property owner. Related cases: 02-014-DRB, 02-014-LUP.

Attachments:

- Project Plans Received July 9, 2009
- Itemized List of Exterior Elevation Revisions



COMPLIANCE NOTES

- Work shall not rely in any way upon scaling dimensions from these plans, but on stated dimensions only. Specifications shall take precedence over details, details over plan and elevation drawings.
- Where finished grades are shown adjacent to proposed finished floor elevations, such elevations shall be a minimum of 6" below the proposed finished floor, or equal to (soil) pad elevation, whichever is less.
- Minimum drainage gradient shall be 2% away from the proposed structure, and a minimum of 2% away from adjacent property lines/structures.
- The attached garage shall a) Have one hour fire resistive materials (on garage side) on all walls, ceilings, posts, and beams adjacent to or supporting the dwelling. Use 5/8" Type X gypsum board, 7/8" stucco, or other 1 hour rated materials as shown. b) Self closing, tight fitting (minimum 1-3/8" thick), solid core or solid wood, or 20 minute rated door at openings from the garage into the dwelling.
- Fire blocking shall be installed at: a) Concealed spaces of stud walls and partitions, floor and ceiling at 10'-0" maximum intervals both vertically and horizontally, b) Interconnections between concealed and horizontal spaces, c) openings around vents, pipes, ducts and chimneys, and d) at openings between attic and chimney chase for factory-built chimneys.
- Clothes dryer moisture exhaust ducts shall terminate outside the building and have a back-draft damper. Exhaust duct is limited to 14'-0" with two elbows, with this length reduced 2'-0" for every elbow in excess of the two stipulated. Minimum 4" diameter, smooth metal duct.
- All recessed light fixtures located in insulated ceilings to be IC rated.
- At least one light outlet (wall switched-controlled) shall be installed on the exterior side of outdoor entrances and exits.
- ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT ENGINEERING GEOLOGIST AND/OR PROJECT GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF REINFORCING STEEL. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- Anchor bolt size and spacing: a) Min. 5/8" diameter embedded 7" into footing and spaced 5 ft. on center maximum, or as specified or detailed if more restrictive. b) Minimum two anchor bolts per piece of sill plate and one located within 12" and not less than 7 bolt diameters or 4'-3/8" of each end of each sill plate. c) 2-1/2" x 2-1/2" x 1/2" plate washer shall be used on each anchor bolt.
- All parts of the structure shall be tied and interconnected. PLYWOOD SHALL HAVE FRAMING OR BLOCKING AT ALL EDGES OF ALL SHEETS IN SHEAR WALLS. All diaphragm and shear wall nailing shall utilize common or galvanized box nails.
- Primary kitchen lighting shall have efficacy of 40 lumens/ft (min.) and primary bath lighting to comply with Title 24.
- ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.

COMPLIANCE INFORMATION: General Requirements for New Construction

30.02 Every sleeping room shall have at least one exterior door or window approved for emergency escape/rescue, with the following minimums: net clear opening of 5.7 sq. ft. min. clear opening of 24" and width 20", and max. finished sill height of 44 inches.

30.03 All habitable rooms shall have at least exterior glazed openings with an area of at least 1/10 of the floor area for light (110 sq. ft. min.), operable exterior openings with an area of at least 1/20 of the floor area for ventilation (5 sq. ft. min.) and 13 sq. ft. or 50% of a common wall between an interior room and a room with exterior light and ventilation, when the interior room is supplied by light and ventilation by the exterior lighting room.

30.05 Provide 22" x 30" minimum attic access, where attic shown.

30.06 Glazing subject to human impact shall be min. 2 1/16" tempered glass at windows and 1/4" tempered at doors when shown at fixed or operable doors, shower and bath enclosures and windows less than 60" above the adjoining floor, at fixed points exceeding 9 sq. ft. and lower edge less than 18" above finished floor or walking surface, or where vertical edge of glass is within 24" of a door on the same plan.

30.07 Open sides of landings, decks and balconies more than 30" above adjacent grade shall have 36" minimum height guardrails and have no opening that will permit passage of a 4" diameter sphere (ISC 509).

30.08 Stairways shall have 4" minimum, 6" maximum, risers 9" minimum, stair width 36" minimum, 6'-8" minimum headroom clearance above the nose of all treads, and have one hour construction for any enclosed space below the stairs.

30.09 Provide handrail at each stairway with 4" or more rise, each with at height above nosing 34" min., 38" maximum, 1 1/4" minimum and 2" max. handgrip sectional dimension, at 1 1/2" min. clearance of handrail from wall, if handrails continuous the full length of the stairs, and d) handrails shall terminate at Newel posts or safety terminals.

30.11 Floors and landings shall not be more than 1" lower than the threshold when doors swing outward.

30.12 Halfway widths shall be 36" min.

30.13 Attic cross ventilation free ventilated area shall be 1/150 of the area of the attic ventilated, or 1/300 of attic area if vents are equally divided in upper and lower area of attic. Maximum 144 sq. in. in vents in high fire areas.

30.19 Provide 2 Upen Grade D paper between plywood shear panel and lath for ext. plaster.

30.20 Provide weep screed at the foundation plate line on all exterior wood stud walls to be sheathed. Weep screed shall be placed over 4 in. min. above grade and 2 in. min. above adjoining paving surface.

30.21 All exterior openings shall receive a minimum of six inches of Salsbut flashing in a manner to make them weathertight.

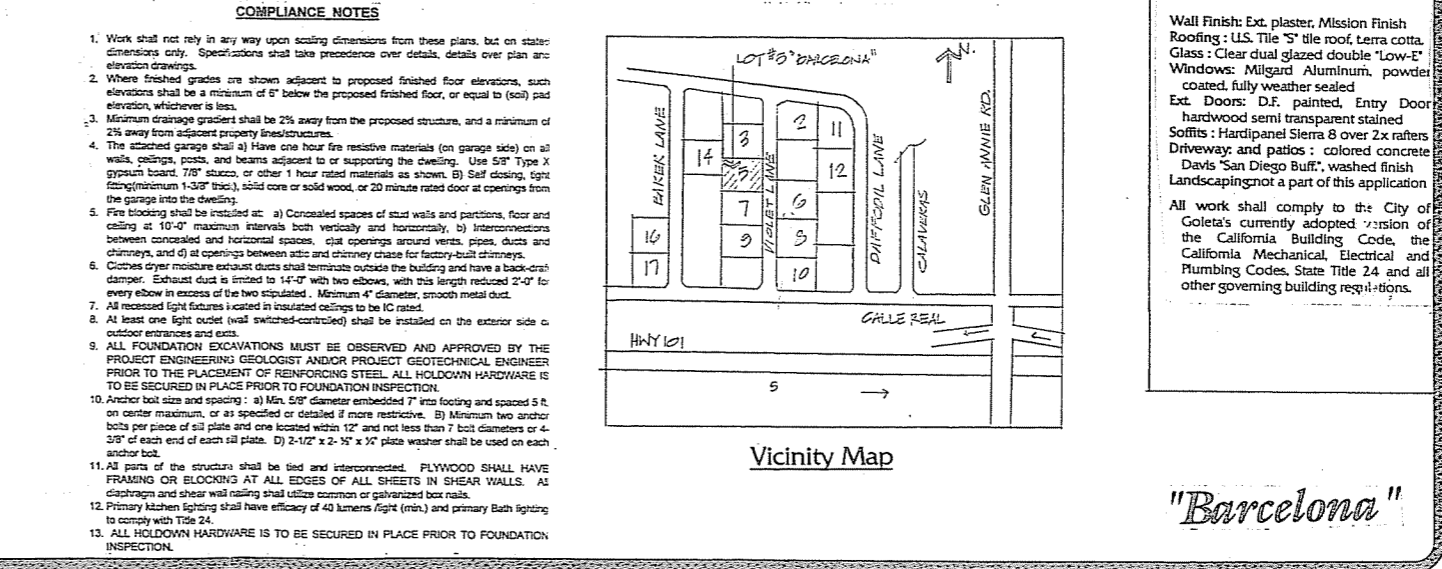
STRUCTURAL REQUIREMENTS:

40.09 Exterior barwork and planter footing concrete compressive strength shall be 2500 psi 28 days after pouring, or per specifications, whichever is greater.

40.24 Provide metal strap connections across ridge beam on rafters for all gabled roofs.

40.28 Structural welding must be done in an approved shop or require special inspection for field welding.

40.29 Special inspections shall be required by special inspectors during construction on pneumatically placed concrete and reinforcing steel, reinforced concrete exceeding 2500 psi design strength, concrete caissons poured in place, structural field welding, high lift pour walls, and structural exposed dovetail rebar or holdowns.



APPROVED:

REVISIONS:

DATE: 1/16/16

PROJECT NO. 5B-1

DATE: 1/16/16

DRAWN BY: ION RAND

CHECKED BY: ION RAND

SHEET NO. 5B-1

OF 1

Lawrence E. Thompson,
Architects, Inc.

9400 Sycamore Rd. Santa Barbara, CA 93101

RECEIVED
JUL 09 2009
City of Goleta
Planning & Environmental Svcs

Residence for Mr. and Mrs.
ION RAND
15 Violet Lane, Goleta, CA. 93113

PROJECT NO. 5B-1

DATE: 1/16/16

DRAWN BY: ION RAND

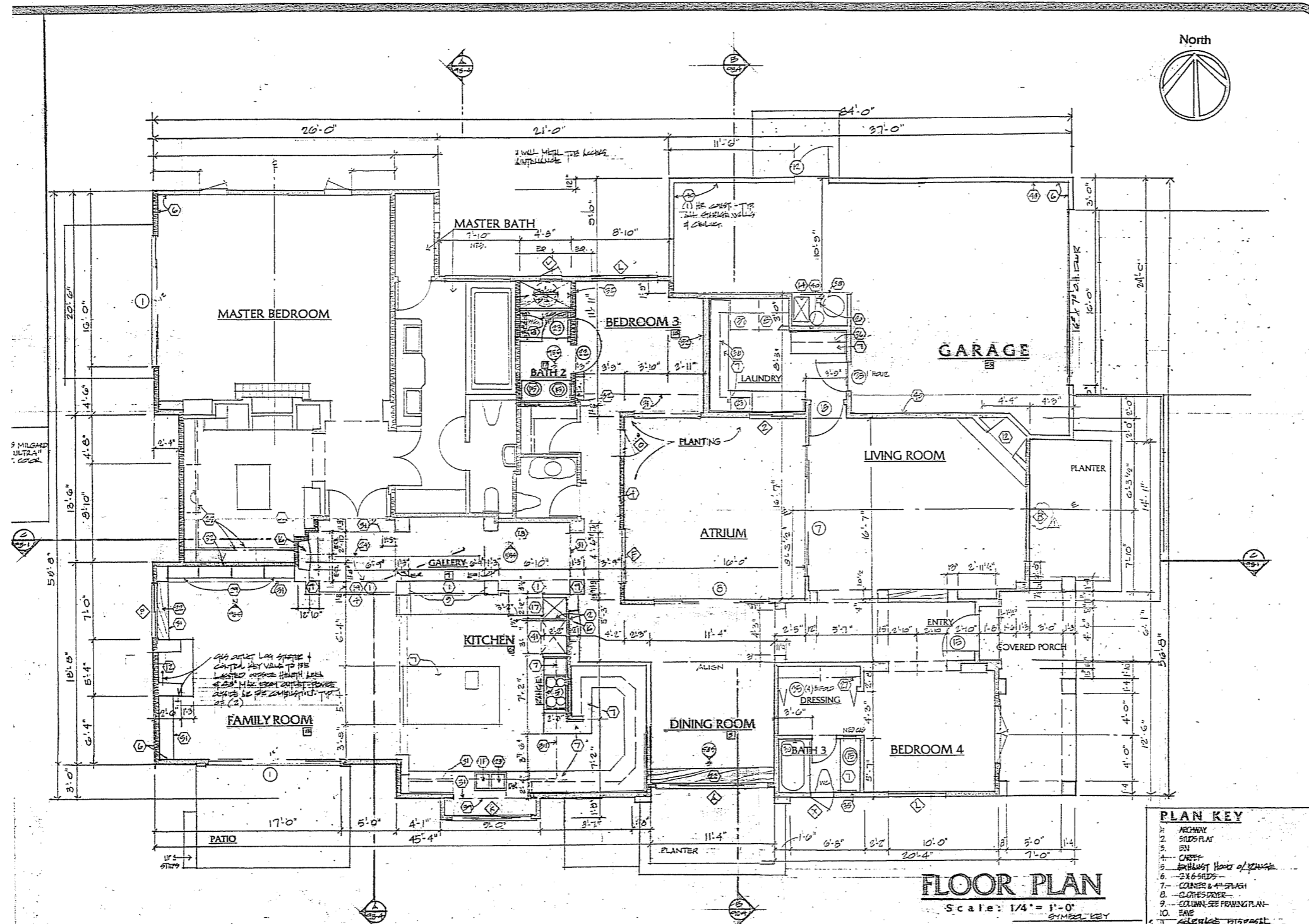
CHECKED BY: ION RAND

SHEET NO. 5B-1

OF 1

Wall Finish: Ext. plaster, Mission Finish
Roofing: U.S. Tile "S" tile roof, Terra cotta.
Glass: Clear dual glazed double "Low-E"
Windows: Milgard Aluminum, powder coated, fully weather sealed
Ext. Doors: D.F. painted, Entry Door hardwood semi transparent stained
Soffits: Hardipanel Sierra 8 over 2x4 rafters
Driveway and patios: colored concrete
Davis "San Diego Buff", washed finish
Landscaping not a part of this application

All work shall comply to the City of Goleta's currently adopted version of the California Building Code, the California Mechanical, Electrical and Plumbing Codes, State Title 24 and all other governing building regulations.



FLOOR PLAN

Scale: 1/4" = 1'-0"

SYMBOL KEY

- 1. FULLY INSULATED IN FRAME WALL
- 2. SHED WALL, IN FULL BUT INSUL, SEE SCHEDULE
- 3. INSULATED EX-FRAME WALL
- 4. ROOF NUMBER, SEE SCHEDULE
- 5. WINDOW NUMBER, SEE WINDOW SCHEDULE
- 6. ROOM NUMBER, SEE ROOM FINISH SCHEDULE

PLAN KEY

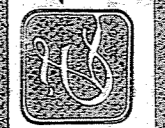
- ARCHWAY
- SHED FLAT
- BN
- CASE
- EXHIBIT HOOK OF RANGE
- 2X6 SHEDS
- CORNER & 4" FLUSH
- CLOTHES DRESSER
- COLUMN SEE FRAMING PLAN
- EAVE
- GLASS DOOR
- FRIDGE
- FLOOR DEAN, 2"
- FLUENCE
- LAUNDRY
- OVENS
- PAPER HOLDER
- CLINERY (SEE FLOORING)
- RECREATION PUMP
- RESIDENT FLOORING
- SEMI WINDOW HOOK, LEDGE
- SHED
- SHED ABOVE (16'0" x 24'0")
- SHEDS
- SHEDS, FULL OUT
- TWO POLES AND SHELF
- POLE AND TWO SHELVES
- FULL HEIGHT SHELVES (7'10")
- SHOWER
- SOFTLY ABOVE
- SHEDWALL, 2X6 FULL SHEDGED SHEDS
- ATC ACCESS DOOR (SEE SCHEDULE)
- SINK
- TOILET
- TOILET RACK
- TOILET CABINET
- WATER
- WATER HEATER
- FACE OF WALL AS GRADE
- ONE HOUR WALL 5/8" TYPE X DRINK WALL 5/8"
- REFRIGERATOR
- APPLIANCE "GRANITE"

Hardware Key (below symbol)

- B Bypass Sliding Door
- C Door Closer
- 10b or Dull Brass
- D Dead Bolt
- F Bifold Door
- H Hold Open Wall hook
- L Lever Latch
- O One Hour Label Rated
- P Pocket Door
- R 20 Min. Label Rated
- S Stop w/wall-fir. hook
- T Thumb latch Bed or bath slide
- W Weatherstrip
- X Smoke Seal W/strip
- Y Security Hinge
- Z Door Bottom Closure

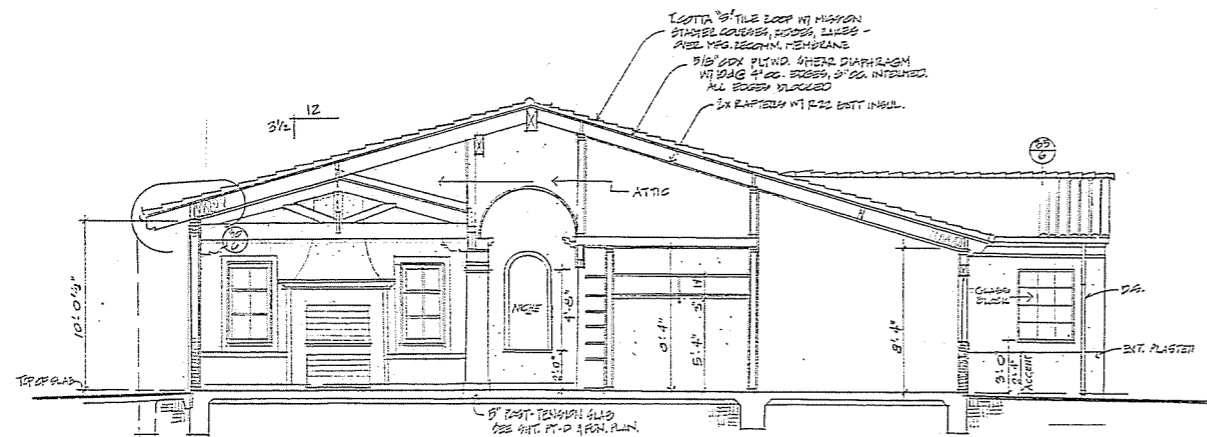
"Barcelona"

APPROVED:
DATE: 11/12/93
PROJECT NO. 93113
DRAWN BY: J. Thompson
CHECKED BY: J. Thompson
SHEET NO. 5B-3

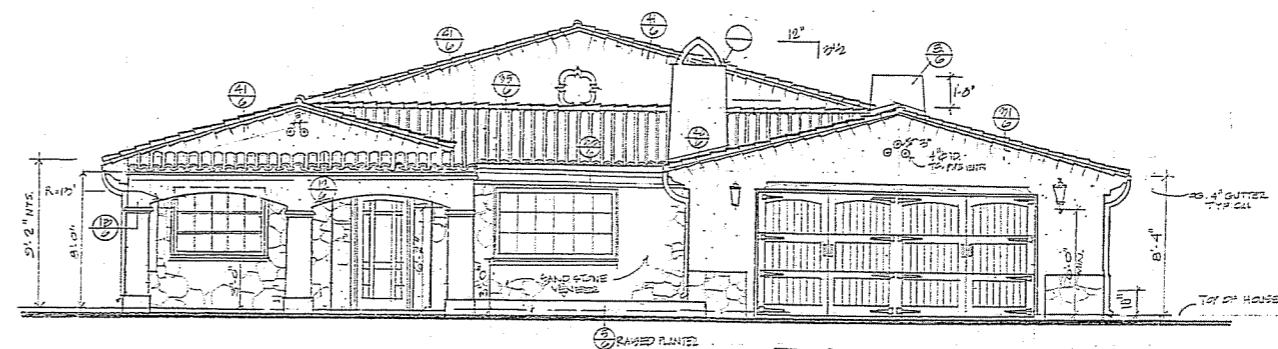


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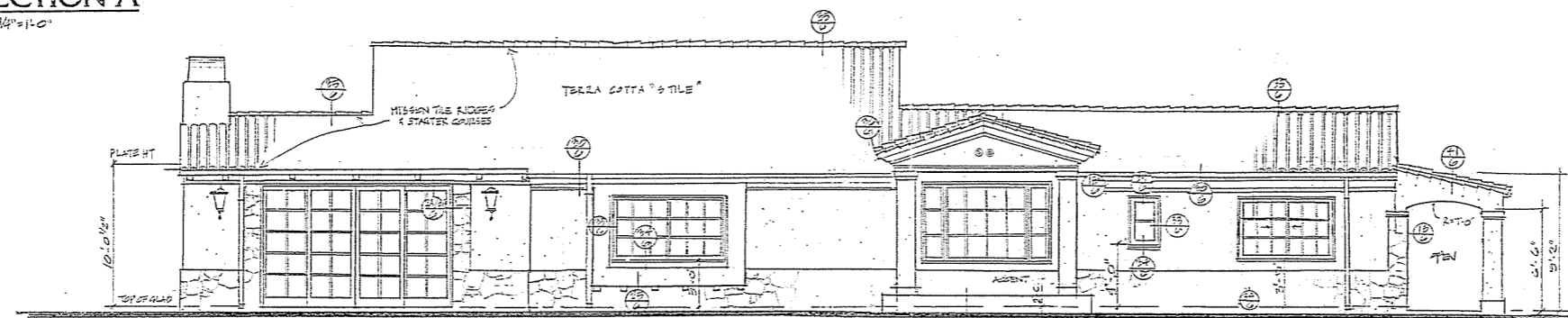
Residence for Mr. and Mrs.
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15 Violet Lane, Goleta, CA 93113



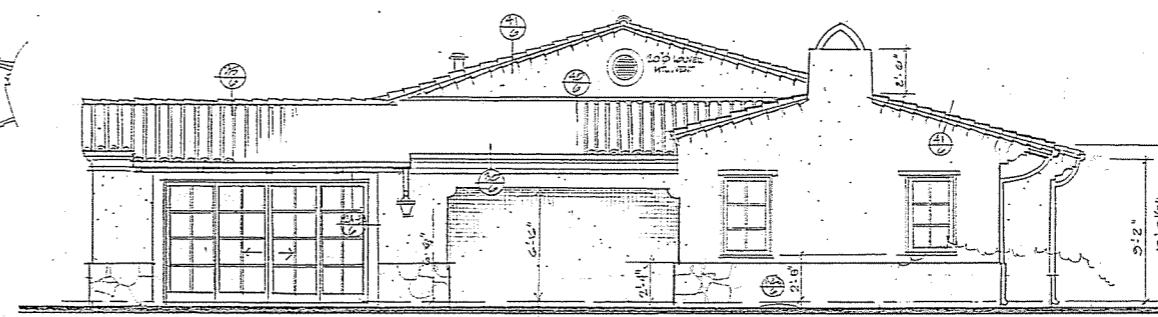
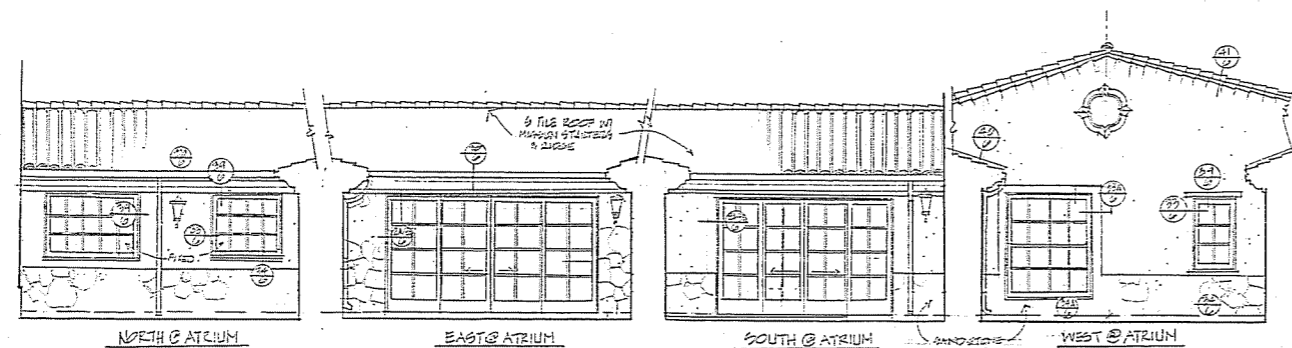
SECTION A
Scale: 1/4" = 1'-0"



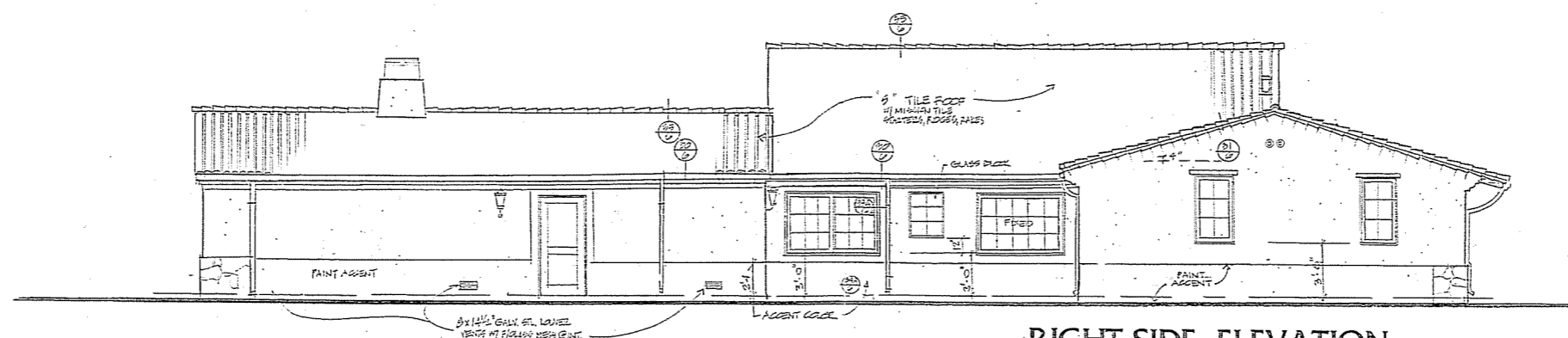
FRONT ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"



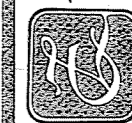
REAR



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

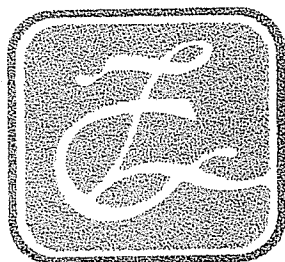
"Barcelona"

Lawrence E. Thompson,
Architects, Inc.



Residence for Mr. and Mrs.
ION RAND
15 Violet Lane, Goleta, CA 93113

PROJECT NO.
DATE:
DRAWN BY:
CHECKED BY:
SHEET NO.
5B-4
OF



Lawrence Thompson Architects, Inc.
Architecture & Site Planning

RECEIVED

JUL 28 2009

Brian Hiefield, Planner
 City of Goleta
 Cremona Drive
 Goleta, CA. 93117

July 28, 2009
 Re: Rand Residence, 15 Violet Lane, Goleta

City of Goleta
 Planning & Environmental Svcs.

EXTERIOR ELEVATION REVISIONS FROM ORIGINAL PERMIT DESIGN

Dear Brian,

The following is a summary of design related changes at the exterior of the Residence from the originally approved drawings from 2002:

Overall Changes to Exterior:

1. The overall structure will be retained, with some plan changes in most rooms, and fewer windows. Some windows will have higher sills and lower head heights in most locations. Several doors and wall sections will be closed off.
2. Specify new tile roof, S-tile with traditional Mission tile at ridges, eave/rake.
3. Provide stone veneer wainscot at base of walls, except at north elevation, as shown.
4. Many eaves eliminated, affecting all elevations, with decorative OG plaster mouldings in lieu of projecting overhangs.
5. Delete all skylights
6. All doors and windows to be replaced with true divided lite products, superior quality to existing

East (Front) Elevation

1. Introduce stone wall finish full height at selected walls this exterior elevation.
2. Garage doors to be carriage style, not "paneled".
3. Relocate Living Room window 20 inches south
4. Pair of doors at Bedroom #4 to be 6 x 4 fixed window
5. Vent at upper gable at west of Atrium to be quatrefoil faux window

Left Side (South) Elevation :

1. Revise Bedroom #4 Window to have higher sill, allowing stone wainscot full height below.
2. Cut back gable at Dining area, and develop pediment above window height as accord to length of the otherwise east-west eaves.

Rear (West) Elevation :

1. Add corbels each side recess at north of Family Room. Provide access color this recess.
2. Windows at Family Room re-sized and relocated
3. Four foot retaining walls added at drainage channel along west property line to allow yard to reduce slope and gain more available use. Low three foot walls added at west of existing retaining walls, north and south property lines to provide needed retention

Exterior Changes Rand Residence, July 28th, 2009, p.2Right Side (North) Elevation:

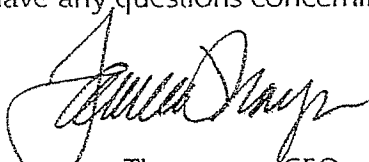
1. Delete sliding glass door and large window at Garage: add solid 3'-0 x 6'-8 door.
2. Revise East window master Bath, and window at Bath #2 to have fixed glass block
3. Delete Projecting seat window at Master Bed, and add two 2'-5 x 5'-0 casement fixed windows
4. Sliding door at Bedroom #3 to become a venting window as shown
5. Wainscot most of this wall a paint "splashband", same height as adjoining stone wainscot.

ATRIUM :

1. North Wall: Revise sliding Door at Bedroom #3 to become a 5'-0 wide fixed window
2. Lower sill height at Gallery window at West Elevation.

Please indicate if you have any questions concerning this list. Thank you.

Sincerely,



Lawrence Thompson, CEO