



## DESIGN REVIEW BOARD Staff Report

Planning and Environmental Services  
130 Cremona Drive, Suite B, Goleta, CA 93117  
Phone: (805) 961-7500 Fax: (805) 961-7551  
[www.cityofgoleta.org](http://www.cityofgoleta.org)

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### AGENDA ITEM L-2

DATE: August 11, 2009  
TO: Goleta Design Review Board  
FROM: Shine Ling, Assistant Planner  
SUBJECT: 09-110-DRB; Somera Building Generator; 454 South Patterson Avenue;  
APN 065-090-013

**APPLICANT:** Ed Lenvik  
Lenvik and Minor Architects  
315 W. Haley Street  
Santa Barbara, CA 93101

### PROJECT DESCRIPTION:

This is a request for *Conceptual/Preliminary* review. The property includes three commercial/industrial buildings totaling 50,306 square feet of floor area on a 7.95-acre site in the PI zone district and within the Airport Approach Zone. The applicant proposes to install a diesel-powered emergency power generator and a trash enclosure at the rear of the building fronting Patterson Avenue. Minor changes to the southern elevation of the building to modify door and window openings are also proposed. The generator would be housed within a sound attenuation cabinet and enclosed by a CMU and plaster wall. An underground diesel storage tank would be located in the drive aisle between the building and the first row of parking spaces. The overall dimensions of the generator are 16 feet long by 6 feet wide; the overall dimensions of the enclosure walls are 25 feet long by 16 feet wide by 8.7 feet tall. The trash enclosure would be constructed of CMU and plaster walls with gates constructed of galvanized metal and would be 25 feet long by 13 feet wide by 6 feet tall. The project would result in a loss of 6 parking spaces, bringing the property's total parking space count to 366. The project was filed by Ed Lenvik of Lenvik and Minor Architects, agent, on behalf of Somera Patterson LLC, property owner. Related cases: 09-110-SCD, -LUP; 08-199-DRB.

### BACKGROUND:

The project was submitted on July 9, 2009. This is the first time the project has been before the DRB. There are no known violations on the property. The DRB approved exterior improvements to the building on January 27, 2009 (Case No. 08-199-DRB).

**ANALYSIS:**

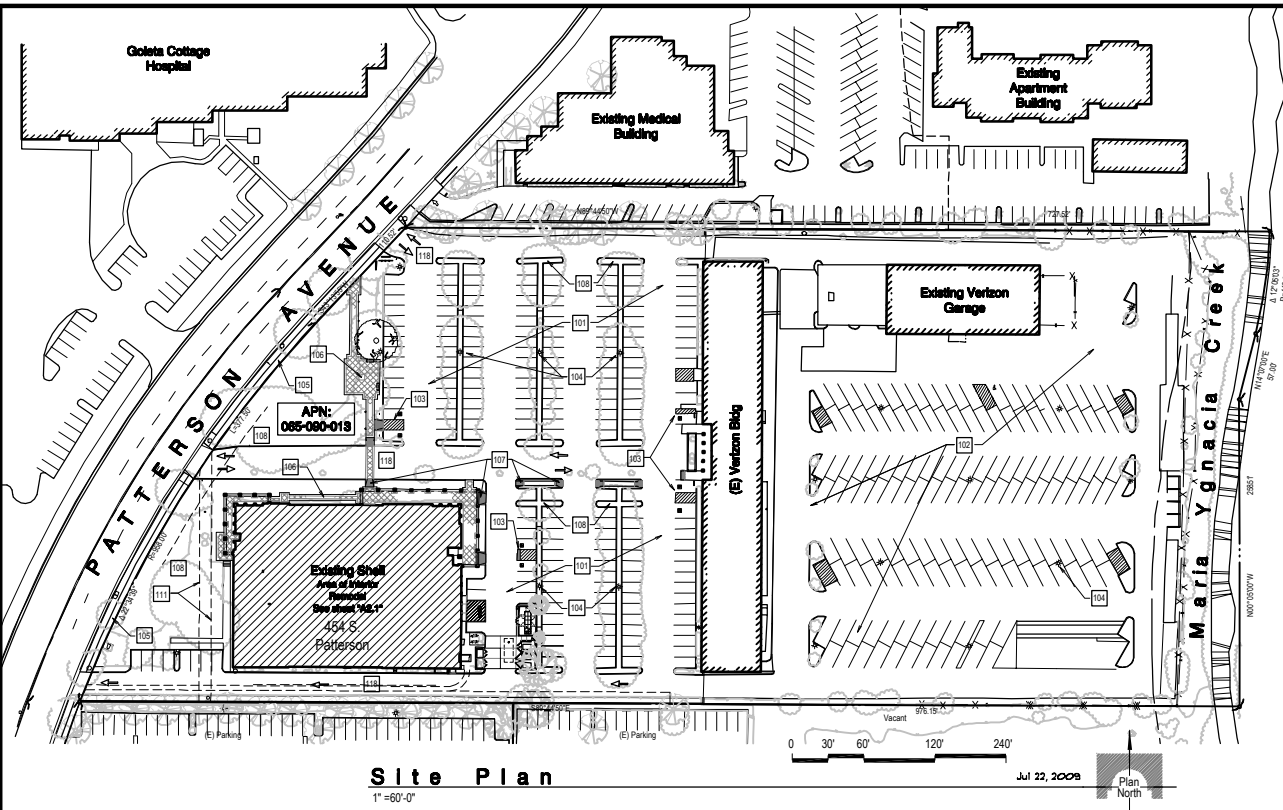
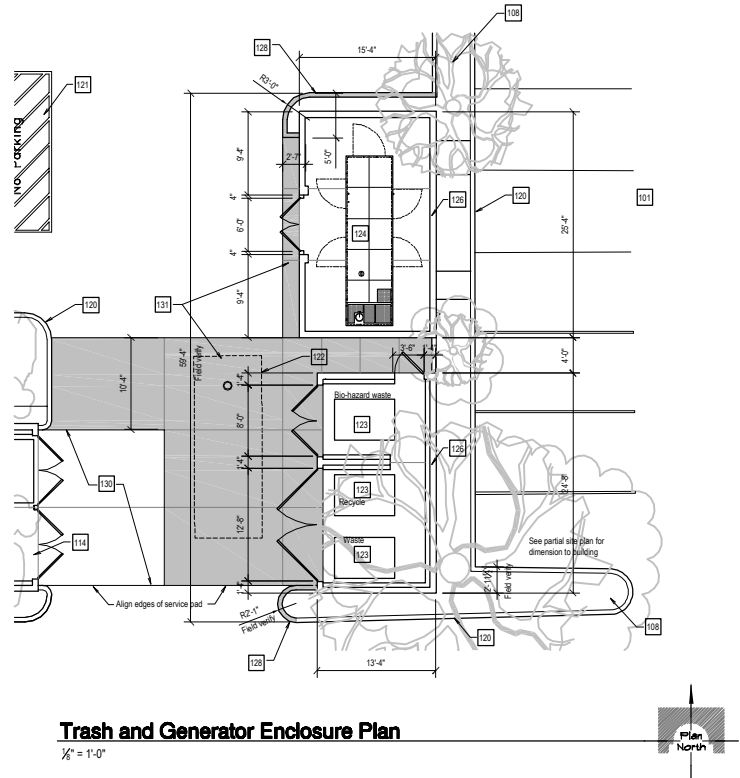
**Zoning Consistency:**

	Required	Proposed	Consistent Y/N
Front Yard Setback	45 feet from Centerline 15 feet from right-of-way	60 feet from Centerline 15 feet from right-of-way	Yes
Side Yard Setback	15 feet	Greater than 15 feet	Yes
Rear Yard Setback	15 feet	Greater than 15 feet	Yes
Building Height	35 feet maximum	17.5 feet	Yes
Building Coverage	Not to exceed 40% of the net lot area of the property	14%	Yes
Parking spaces	179 spaces	366 spaces	Yes
Landscaping	Not less than 10% of the net area of the property shall be devoted to landscaping	16%	Yes
Storage (trash)	Areas for trash or outdoor storage shall be enclosed and screened in such a manner as to conceal all trash or stored material from public view	New trash enclosure	Yes

The proposed project is consistent with the above requirements of Article III, Chapter 35, Inland Zoning Ordinance.

**ATTACHMENTS:**

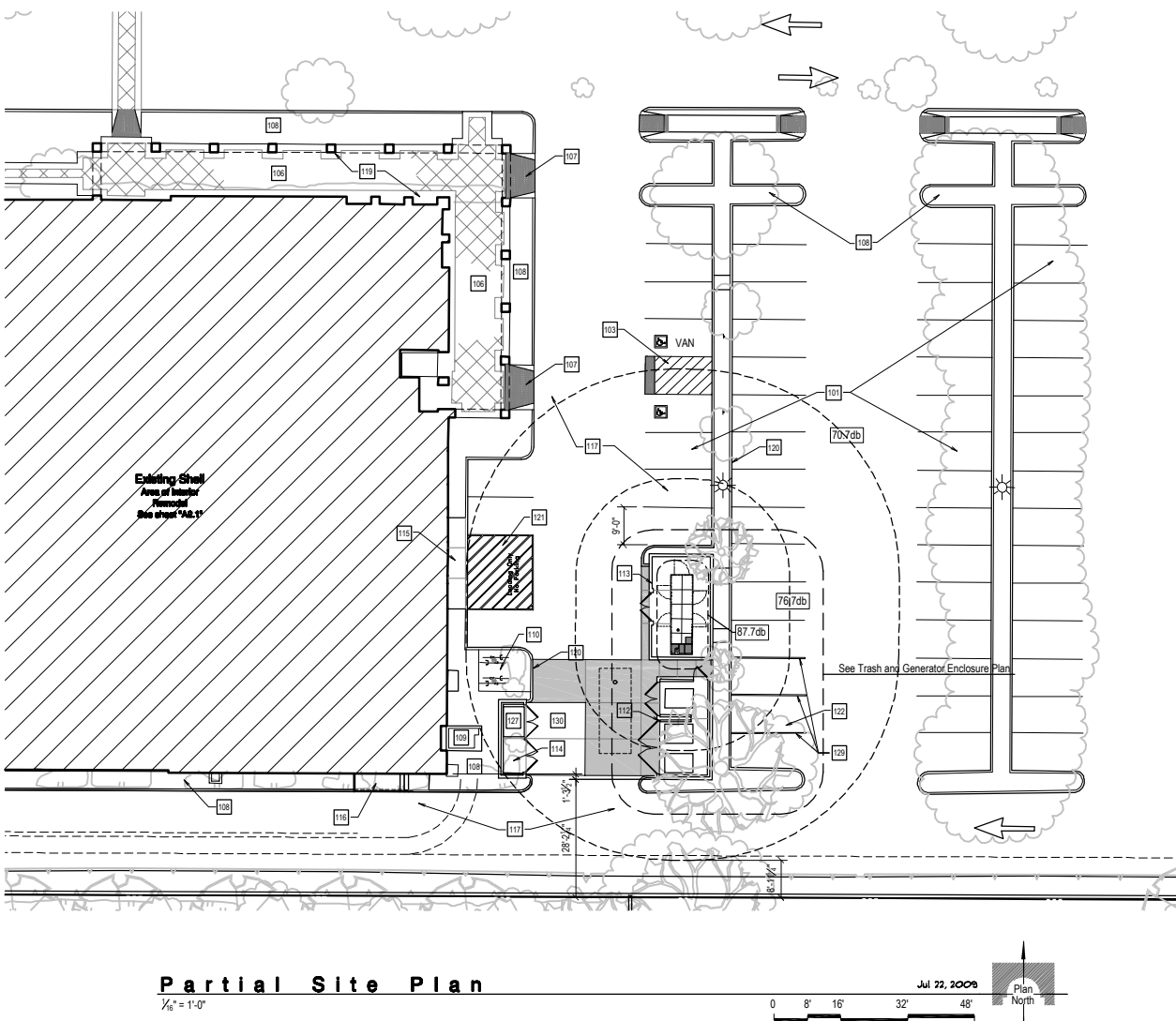
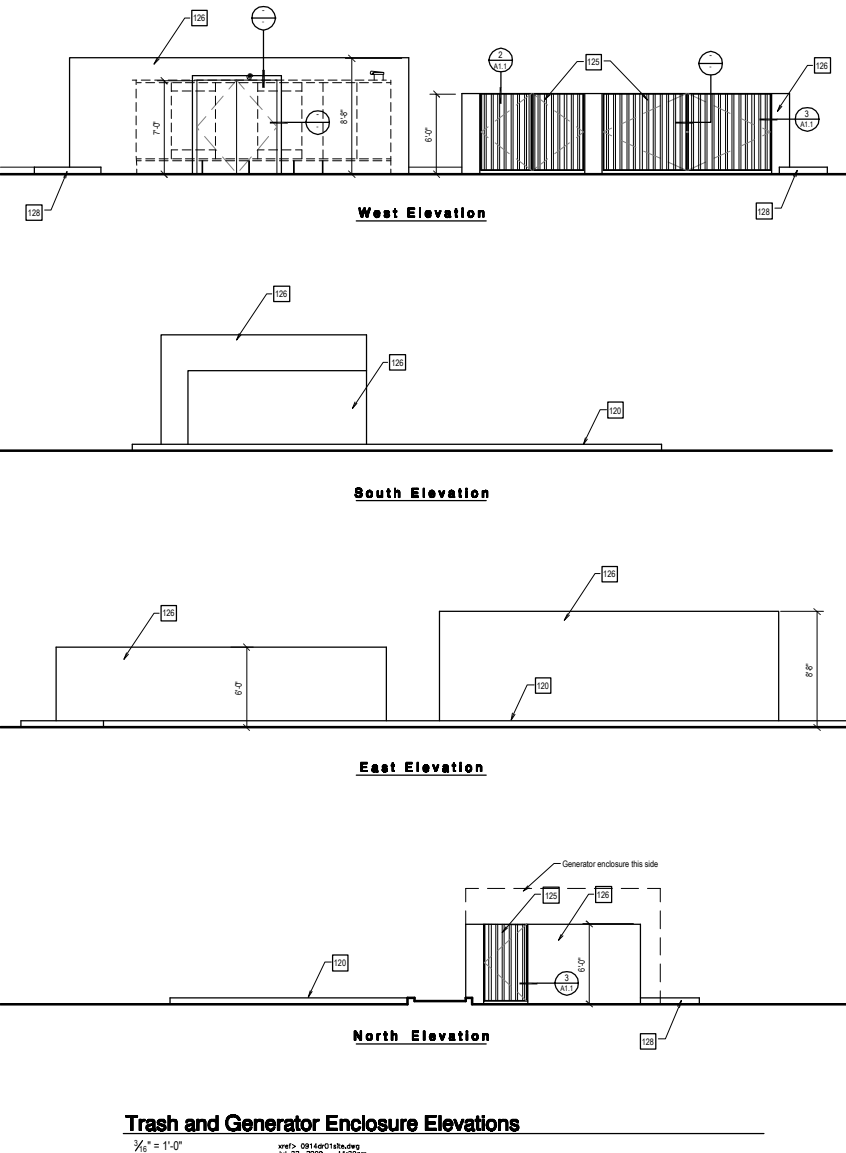
- Reduced 11" x 17" copies of site plans and elevations.



## Keynotes

- 101 (E) parking
- 102 (E) service vehicle parking
- 103 (E) Accessible parking
- 104 (E) Site lighting
- 105 (E) sidewalk
- 106 (E) Concrete flatwork
- 107 (E) Curb ramp
- 108 (E) Planter
- 109 (E) Electrical Transformer
- 110 (E) bike parking
- 111 (E) Easement for storm drain
- 112 (N) trash enclosure
- 113 (N) Generator enclosure
- 114 (E) Enclosure
- 115 (N) Concrete flatwork
- 116 (N) Concrete stair, landing and railing
- 117 (E) A.C. paving
- 118 (E) Driveway
- 119 (E) Arcade
- 120 (E) Concrete curb
- 121 (N) Loading area striping
- 122 (N) underground fuel storage tank
- 123 (N) 4 yard bin
- 124 (N) Emergency generator
- 125 (N) Painted metal decking gates framed with galvanized 3x2 angles. Match (E)
- 126 (N) CMU and plaster wall. Texture and color to match (E)
- 127 (N) 7'-1" x 5'-0" x 5'-0" tall Securall exterior storage unit
- 128 (N) 6' concrete curb to match (E) and as required
- 129 Restripe as required
- 130 (E) Service pad
- 131 (N) Extended service pad

Revisions		
Date	#	Remarks
04-17-09	1	Plan check response # 2



## Site Plan Notes:

- All ADA and CBC required exterior features, i.e. paths of travel from public way, from accessible parking and between buildings on the same site, accessible parking, directional and entrance (both parking driveway and building entrance) signage, etc. were approved and constructed under separate permit # 6397-8400 issued by the City of Goleta and dated 06-02-09
- Align new trash enclosure with the existing trash enclosure so the extended service pad has straight edges.
- 

## Partial Site Plan

Design Development  
July 8, 2009

Date	Job Number
Drawn By	Checked by
Sheet	of Sheets

A1.0



**315 West Haley Street  
Santa Barbara, CA 93101**  
(805) 963-3357 Fax (805) 963-2785  
A California Corporation

consultant



**Strategic Facilities Planning**  
5 Knoll Vista  
Atherton, CA 94027  
650.854.8937

Revisions		
Date	#	Remarks

Fen

Cottage Health System  
Mr. Ron Biscaro  
VP for Project Management  
P.O. Box 689  
Santa Barbara, CA 93101

### Interior Improvements for

**PDL Core Lab**  
Cottage Hospital  
Pacific Diagnostic Laboratories  
154 S. Patterson Ave.  
Boleta, CA 93111

## Site Details

Design Development

July 8, 200

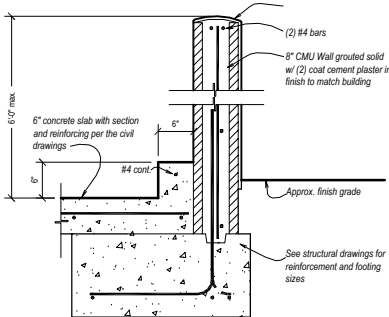
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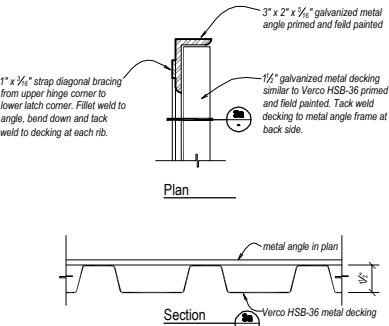
## A1.1

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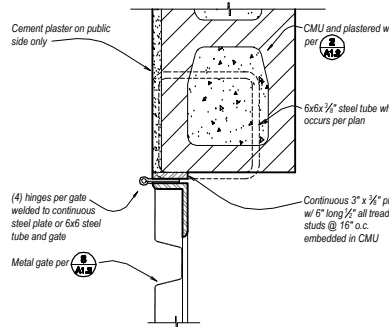
**1 Trash Enclosure Wall**

**A1.1** 1" = 1'-0"



## 2 Gate Detail

**A1.1** 3" = 1'-0"



### 3 Gate Hinge Detail

**A1.1** 3" = 1'-0"

Elevation Notes:

1. All windows are new. See window schedule on sheet A2.3 for types and sizes.
2. All (E) exposed brick will be resurfaced with either (N) 3/4" cement plaster or 3/4" paper backed metal lath over (E) brick or (N) 3/4" cement plaster or 3/4" paper backed metal lath or an additional layer of grade D' paper or 1/2" DensGlass gypsum sheathing as manufactured by Georgia Pacific or approved equal over metal framing

LENVIK & MINOR  
ARCHITECTS

ARCHITECT

NO. C-5986

STATE OF CALIFORNIA

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Santa Barbara, CA 93101  
(805) 963-3357 Fax (805) 963-2785  
A California Corporation

Consultant

Revisions	
Date	Remarks
03-20-09	Plan check response
05-18-09	Structural Revisions After Plan Check
07-14-09	Opening revisions

Client

Somera Patterson, LLC  
c/o Somera Capital Management  
115 West Canon Perido  
Santa Barbara, CA 93101  
Ph: (805) 681-0144

Remodel  
Existing Office Building  
454 S. Patterson Ave  
Goleta, CA 93111

APN: 065-090-013

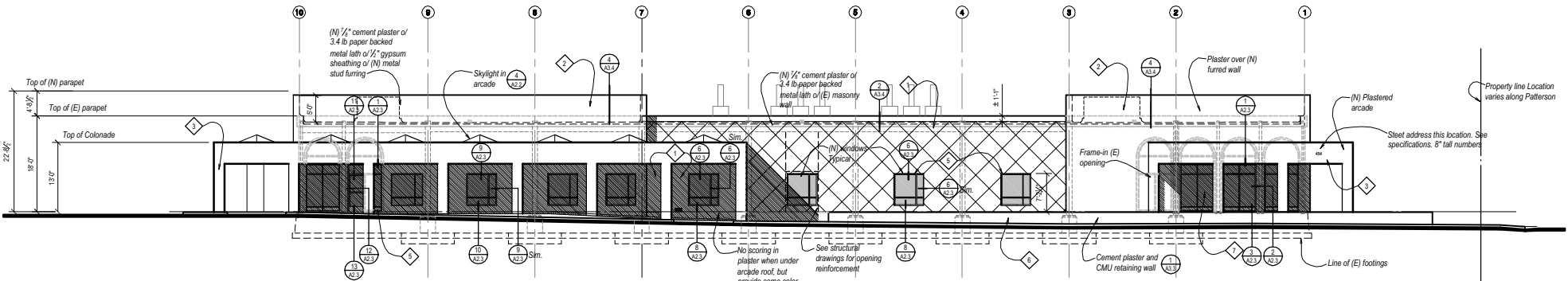
Exterior Elevations

Structural Revisions  
After Plan check  
May 18th, 2009

Date	Job Number
05-18-09	0819
Drawn By	Checked by
MLL & TLB	EAL
Sheet	of Sheets

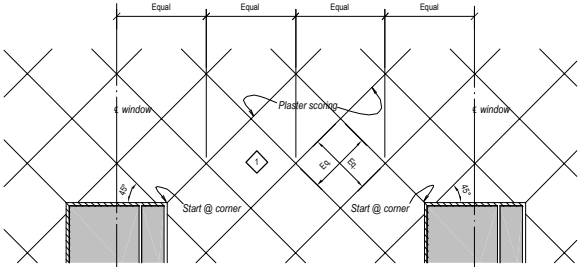
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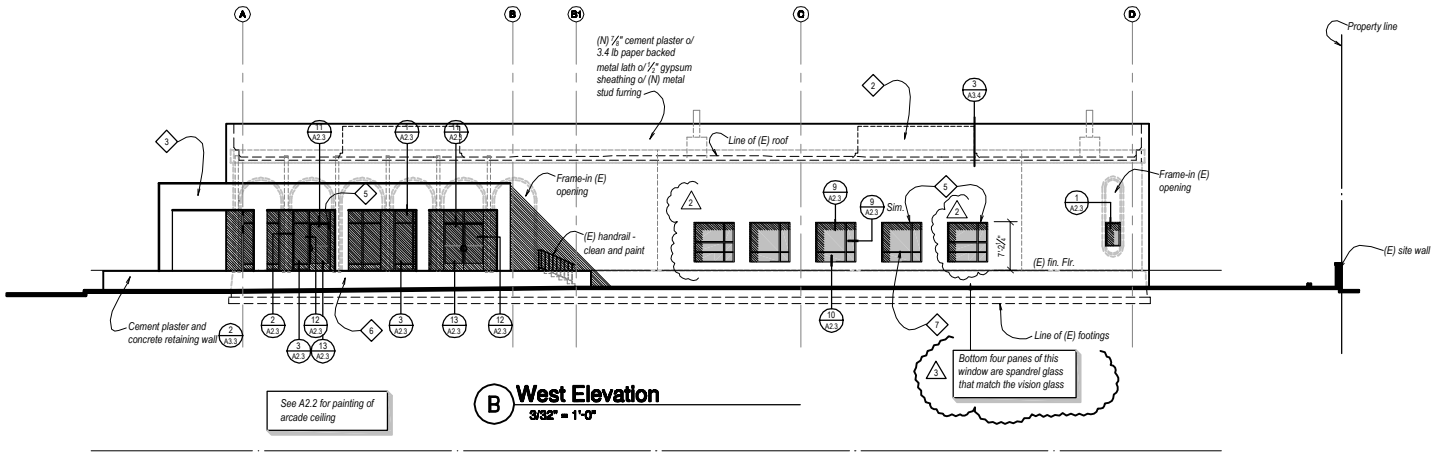


A North Elevation  
3/32" = 1'-0"

See A2.2 for painting of arcade ceiling



Plaster Score Pattern  
1/4" = 1'-0"



B West Elevation  
3/32" = 1'-0"

See A2.2 for painting of arcade ceiling

Exterior Colors

- 1 CL 2965 D "That Green"  
Scored exterior wall, trash gate
- 2 CL2603W "Numinous"  
Exterior wall, roof screen, flush service man door and frame
- 3 CL2911W "Tree Bark"  
Arcade
- 4 CLC 1206D "Neutron"  
Arcade ceiling
- 5 CL 3175A "Lead"  
Door and window frames
- 6 CL 2933M "Salsify"  
Low wall and trash enclosure
- 7 Versalux "Green"  
Glazing

Consultant

Revisions		
Date	#	Remarks
03-20-09		Plan check response
05-18-09	1	Structural Revisions After Plan Check
07-14-09	2	Opening revisions

Client

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Existing Office Building  
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Goleta, CA 93111

APN: 065-090-013

## Exterior Elevations

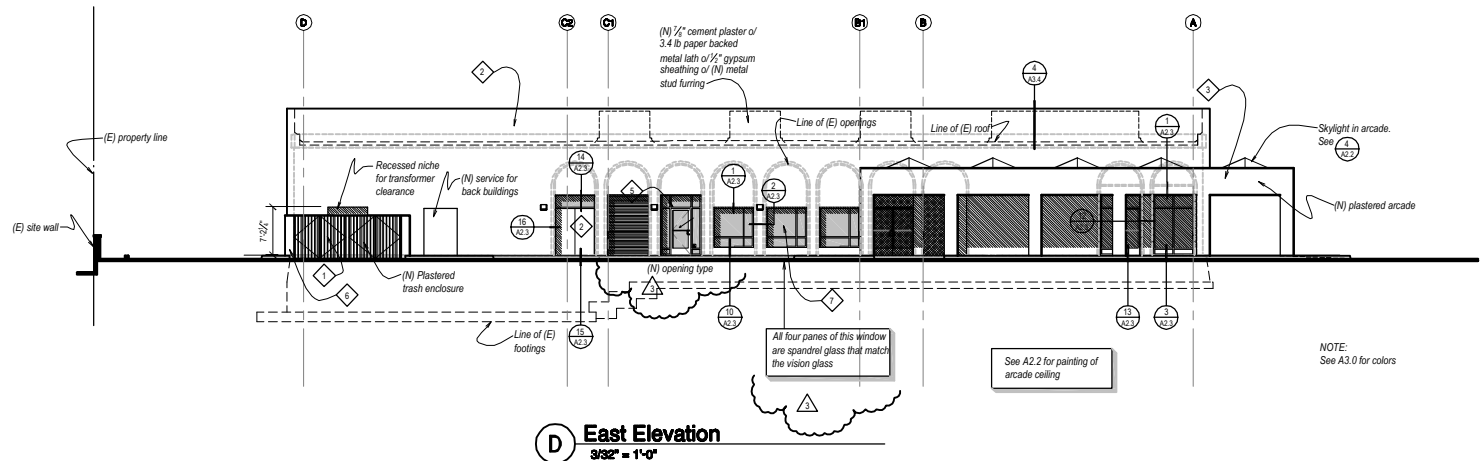
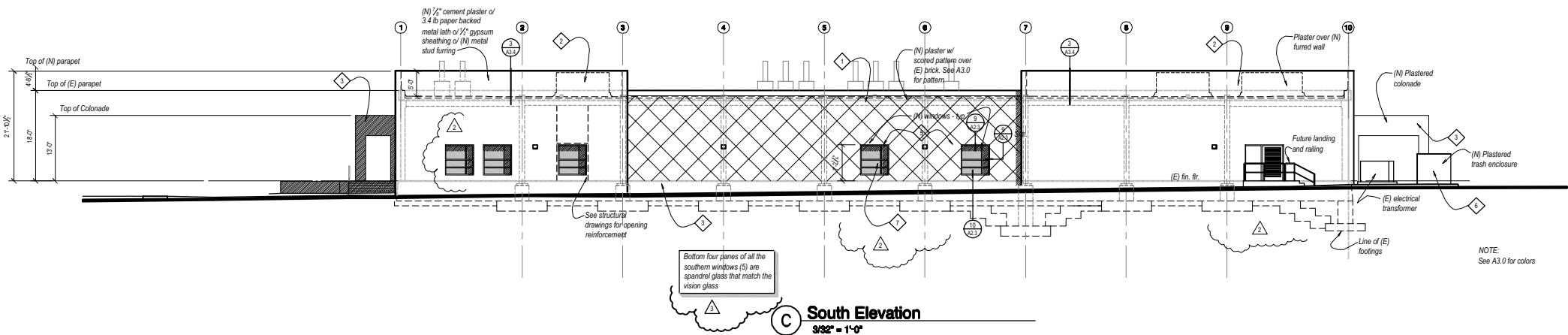
Structural Revisions  
After Plan check

May 18th, 2009

Date 05-18-09	Job Number 0819
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Sheet	of Sheets

A3.1

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NOTE:  
Original plans indicate windows at the two existing openings to the right of grid line C1. Revise framing as required for the revised openings shown above. Provide a credit for the two windows originally indicated on the bid documents.