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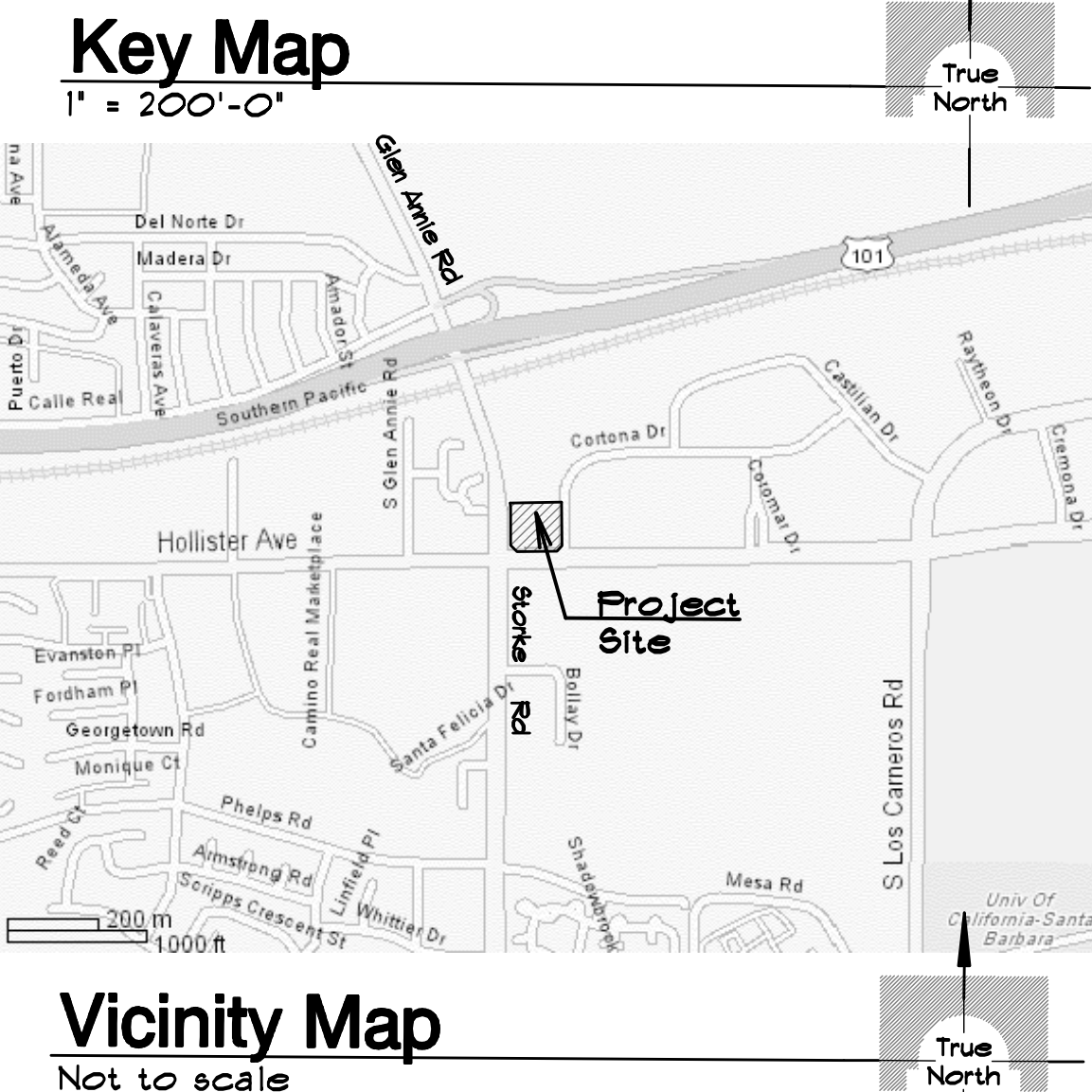
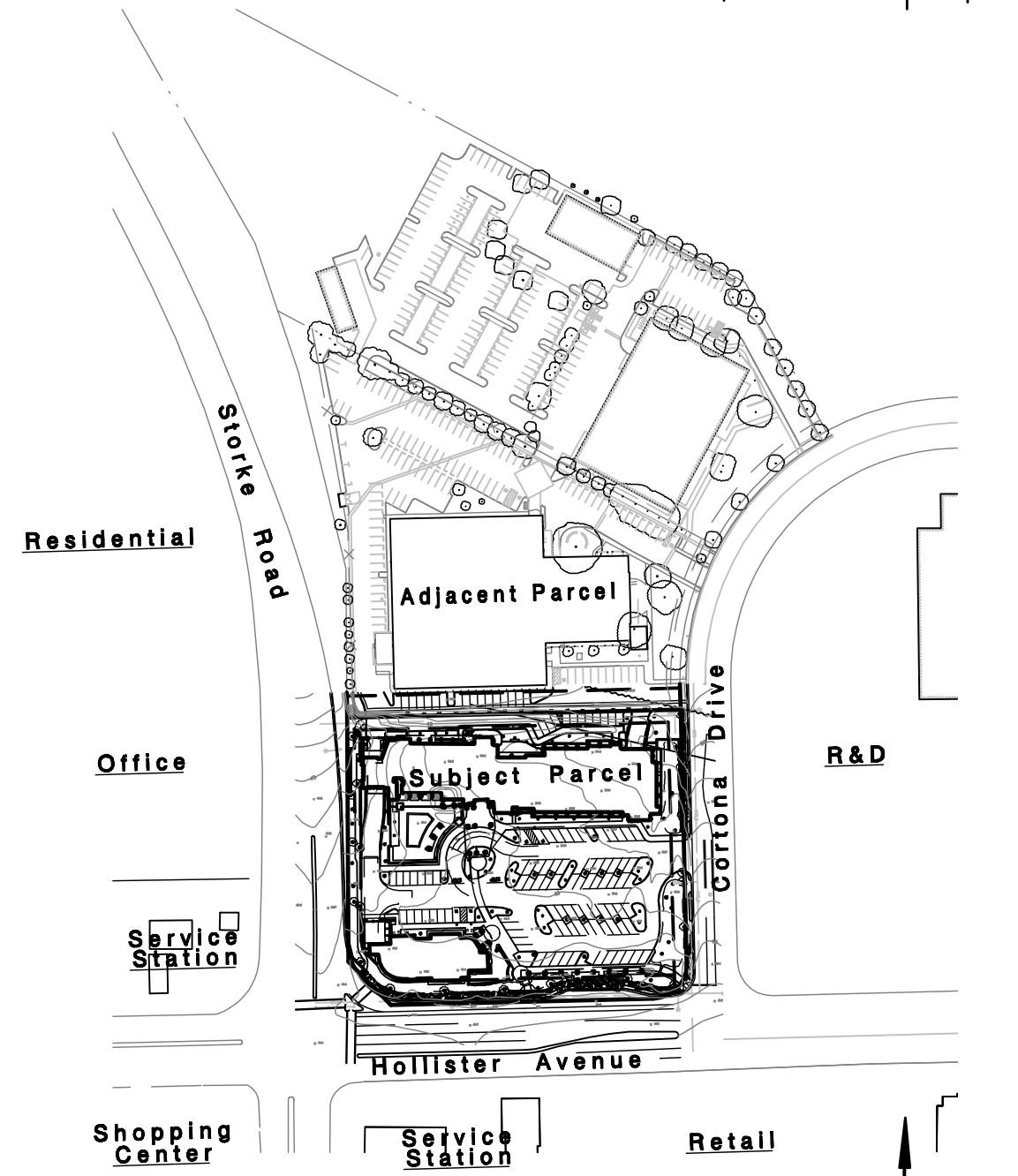
Project Description

Development of a currently vacant lot at northeast corner of Hollister Ave and Storke Rd. Development to include three-story hotel with a subterranean parking level with 54 spaces, and a one-story restaurant. Site improvements will include surface parking for 103 automobiles, porte cochere for hotel entry and pool area, outdoor dining patio for restaurant and hotel, service and trash area for all structures. Improvements will also include bus stop and shelter on Hollister.

Project changes also approved: increased square footage of all floors of Hotel, increased enclosed square footage on roof level (fourth floor), minor revisions to site layout adjacent to Hotel.

Project Statistics

	As Approved	Proposed
APN	073-140-004	073-140-004
Zoning Designation		
Existing	PI	PI
General Plan Designation	O1	O1
Site Area		
Overall Site Area:	132,858 SF.	132,858 SF.
Building Coverage:	26,400 SF.	23,536 SF.
Landscape:	23,512 SF.	23,536 SF.
Hardscape:	11,086 SF.	23,536 SF.
Permeable:	31,580 SF.	30,098 SF.
Impermeable:	45,506 SF.	43,311 SF.
Building Development Information		
Hotel		
Ground Floor	20,400 SF.	23,536 SF.
Second Floor	20,000 SF.	24,684 SF.
Third Floor	18,200 SF.	23,750 SF.
Fourth Floor	0 SF.	4,052 SF.
Sub Total	58,600 SF.	75,980 SF.
Parking Level	18,900 SF.	23,716 SF.
Total	77,500 SF.	100,000 SF.
Restaurant	6,000 SF.	6,000 SF.
Outside Dining	(1,000 SF.)	(1,000 SF.)
Total (without parking level)	65,600 SF.	81,980 SF.
Floor Area Ratio	5	6
Parking Required		
Hotel		
Space/Room	112 Spaces	102 Spaces
1 Space/Employee (10 estimate)	12 Spaces	12 Spaces
Total	122 Spaces	112 Spaces
Restaurant		
1 Space/300 SF. Dining	18 Spaces	18 Spaces
(6,000 SF. + 1,000 SF. x 3 total/300)	12 Spaces	12 Spaces
1 Space/Employee (12 estimate)	30 Spaces	30 Spaces
Total	152 Spaces	142 Spaces
Provided		
Surface on site	105 Spaces	103 Spaces
Offsite exclusive use	11 Spaces	11 Spaces
Offsite Consecutive Use	12 Spaces	12 Spaces
Parking Garage	25 Spaces	24 Spaces
Total	153 Spaces	149 Spaces
Accessible Spaces Required		
Accessible Spaces Required	6 Spaces	6 Spaces
Accessible Spaces Provided	6 Spaces	6 Spaces



Site Development Plan

1"=20'-0"

Development Plans for:

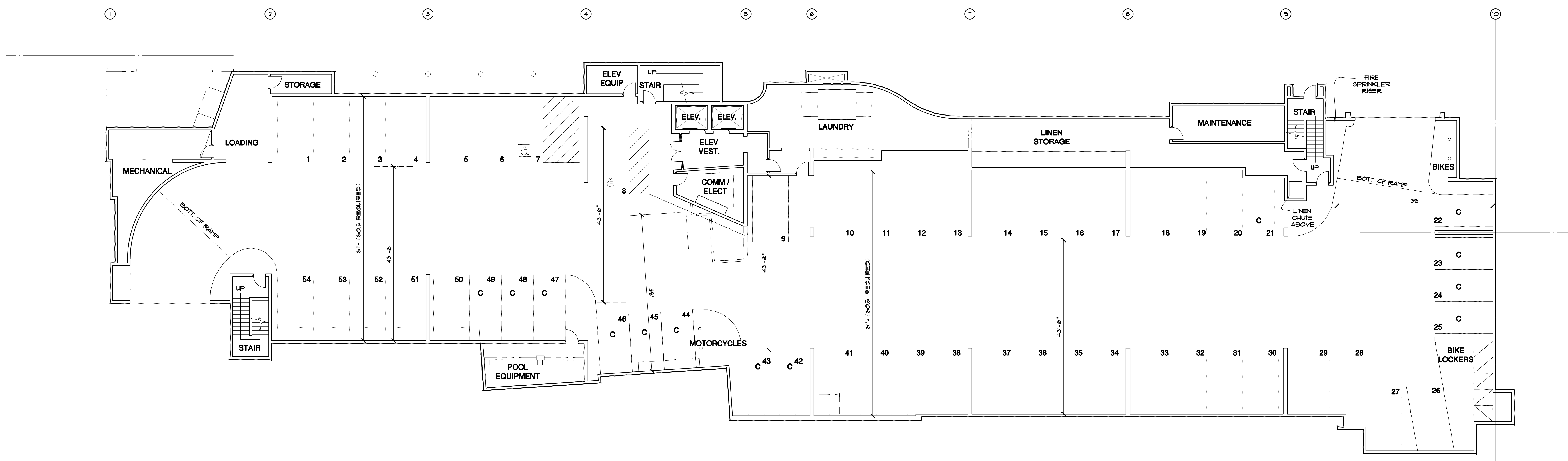
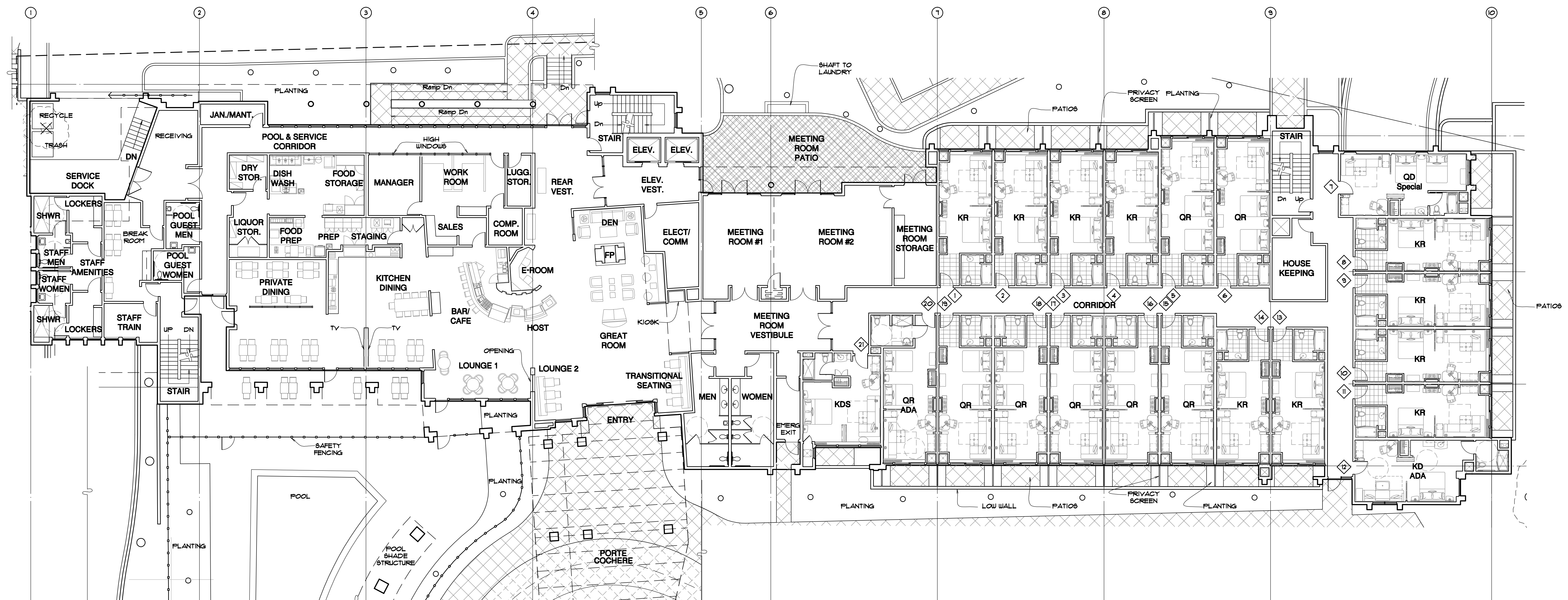
Rincon Palms

Hotel and Restaurant

6868/6878 Hollister Ave Goleta, California



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Development Plans for:

Rincon Palms

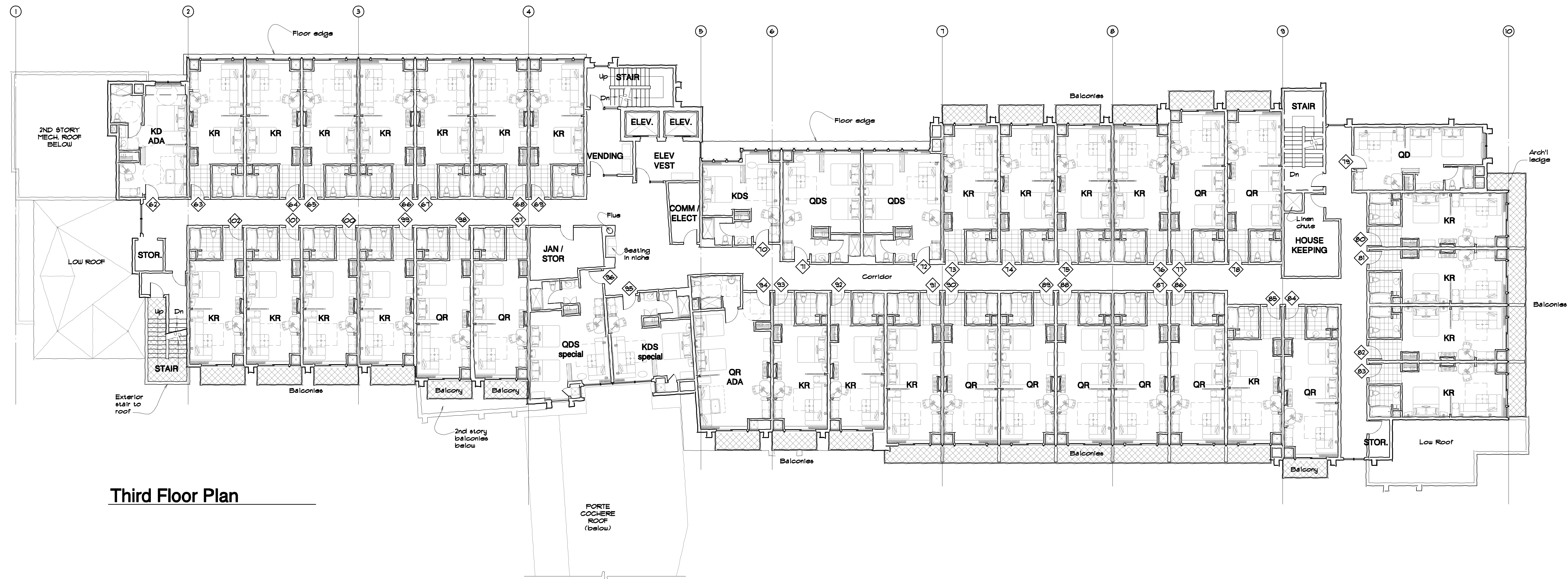
Hotel and Restaurant

6868/6878 Hollister Ave Goleta, California

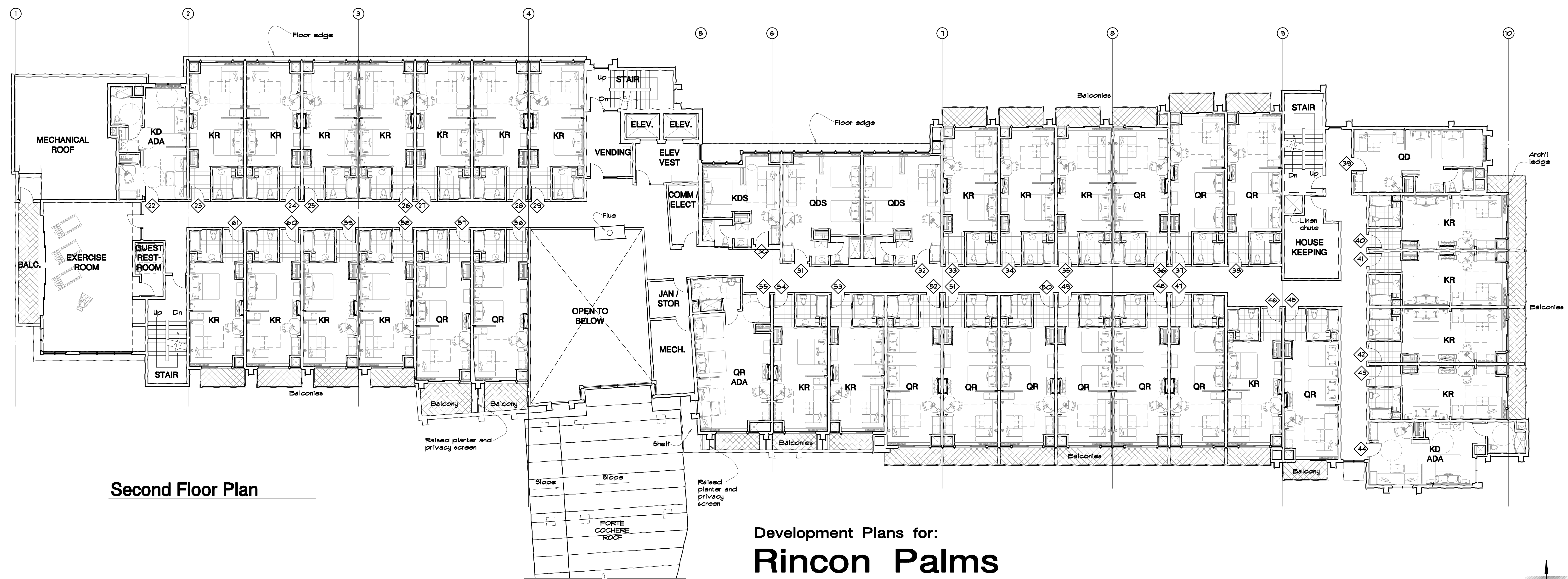


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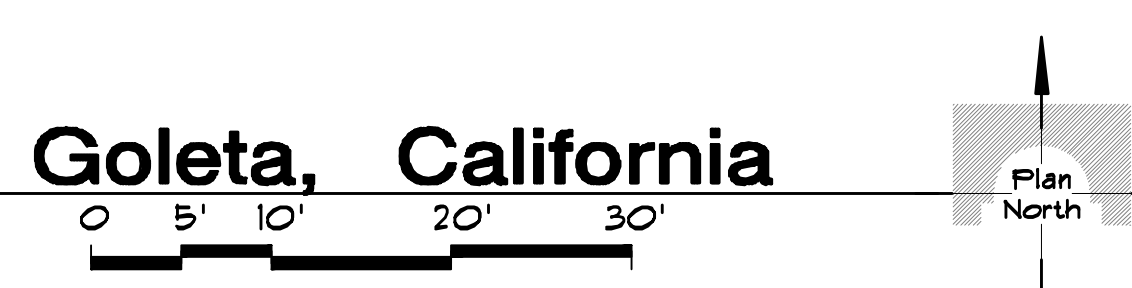


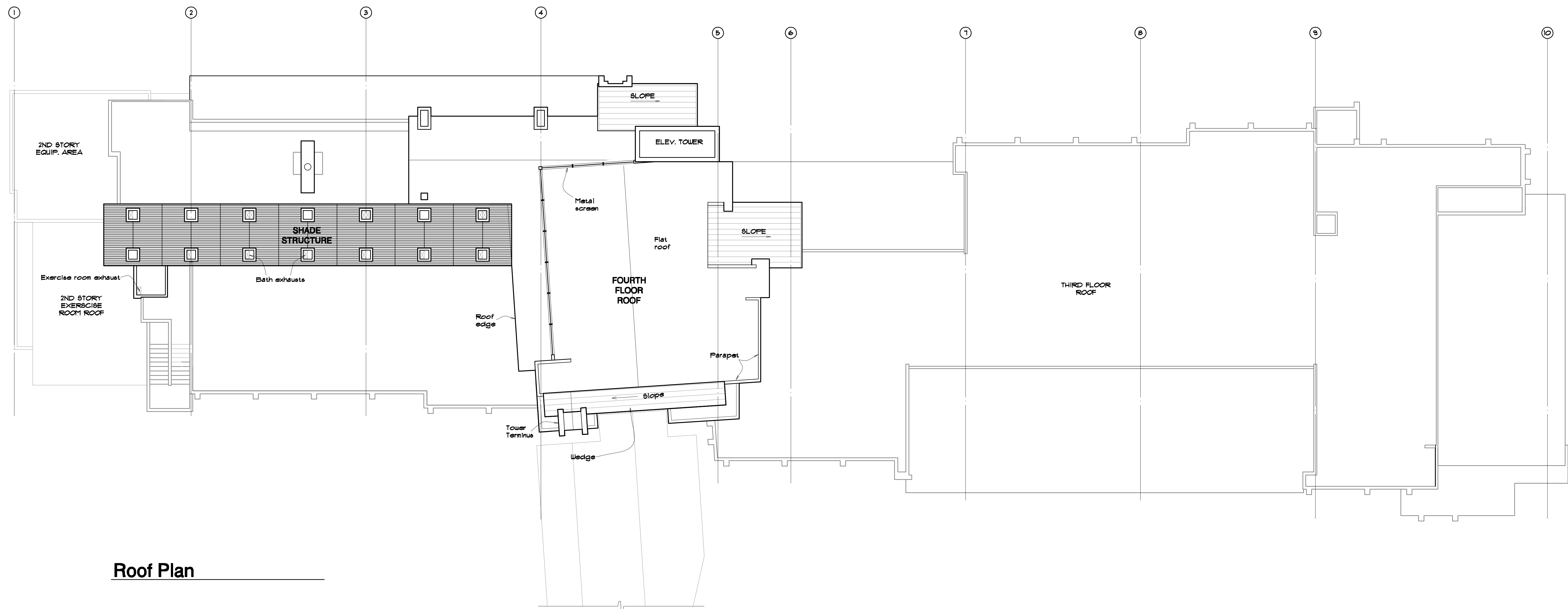
Third Floor Plan



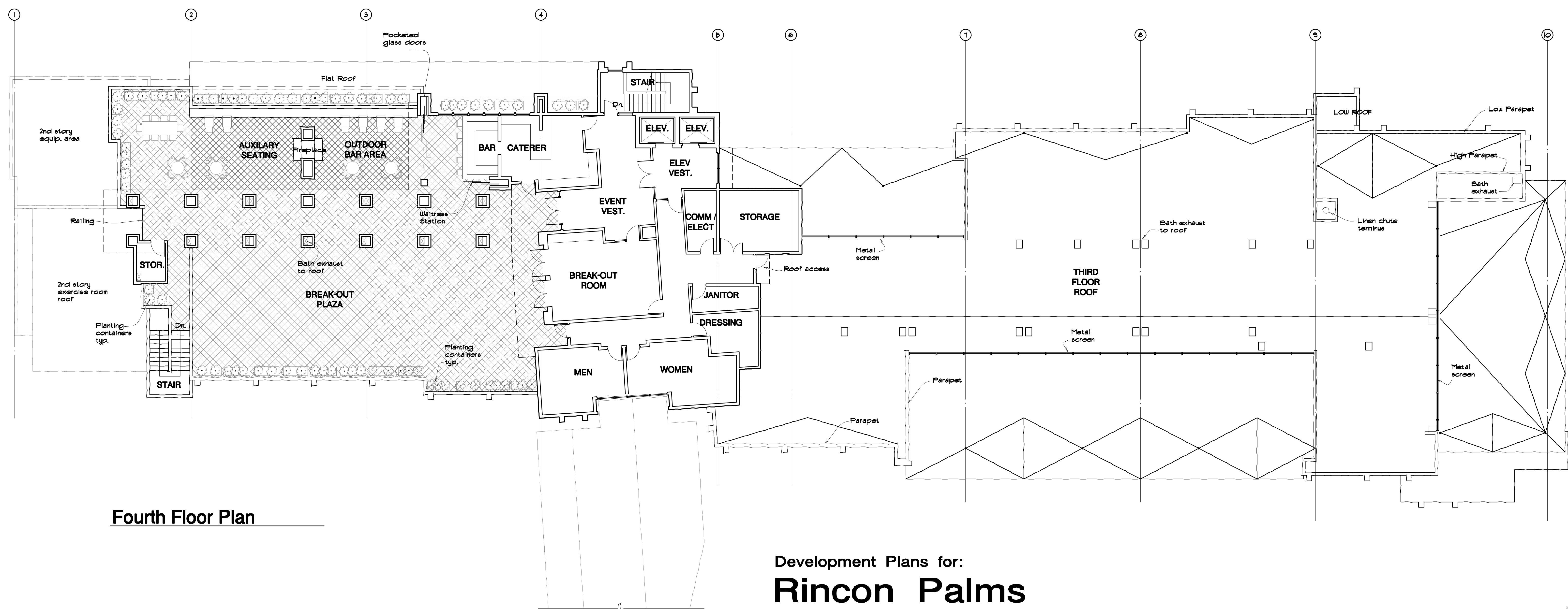
Second Floor Plan

Development Plans for:
Rincon Palms
 Hotel and Restaurant 6868/6878 Hollister Ave Goleta, California





Roof Plan



Fourth Floor Plan

Development Plans for:

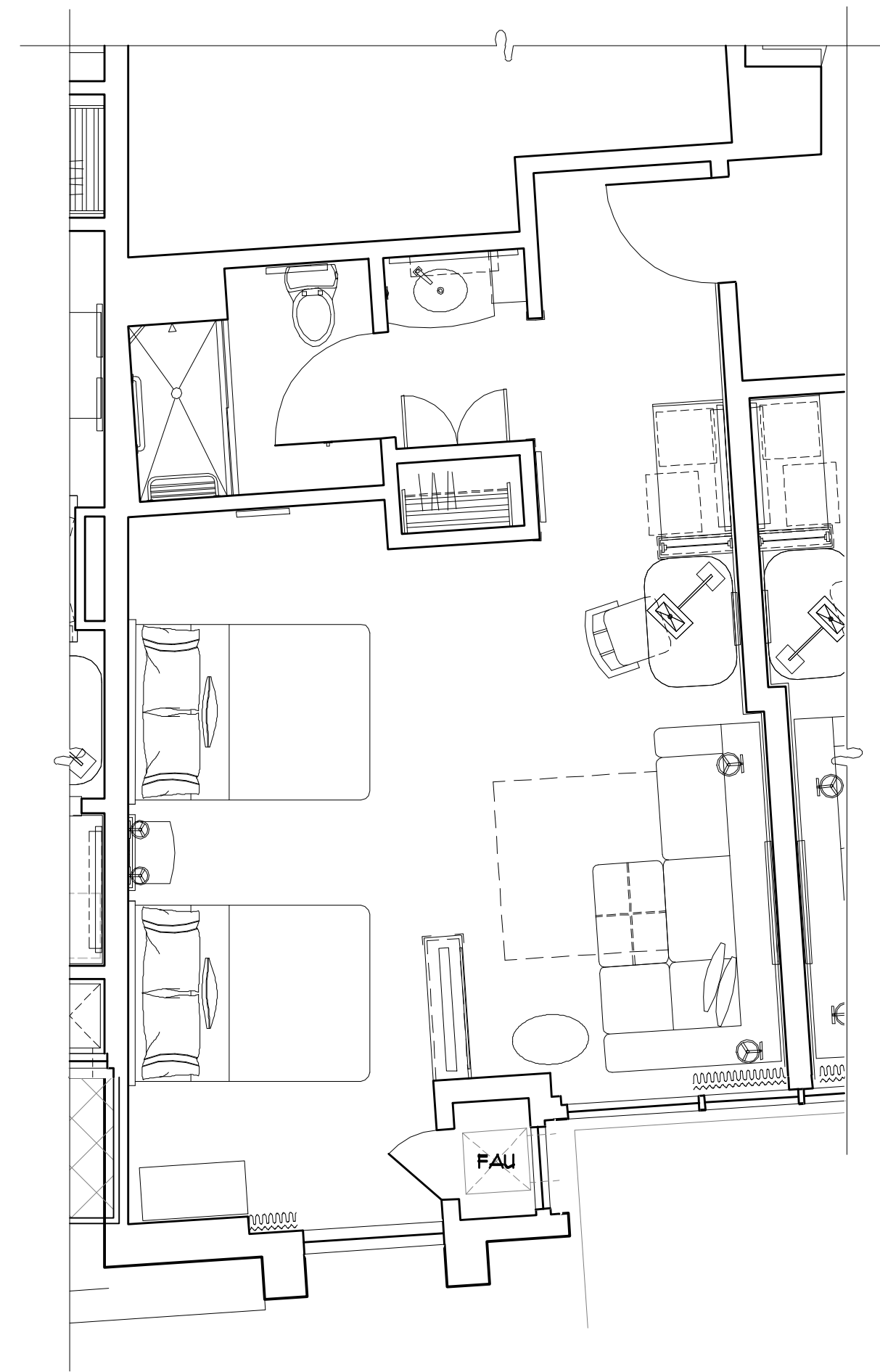
Rincon Palms

Hotel and Restaurant

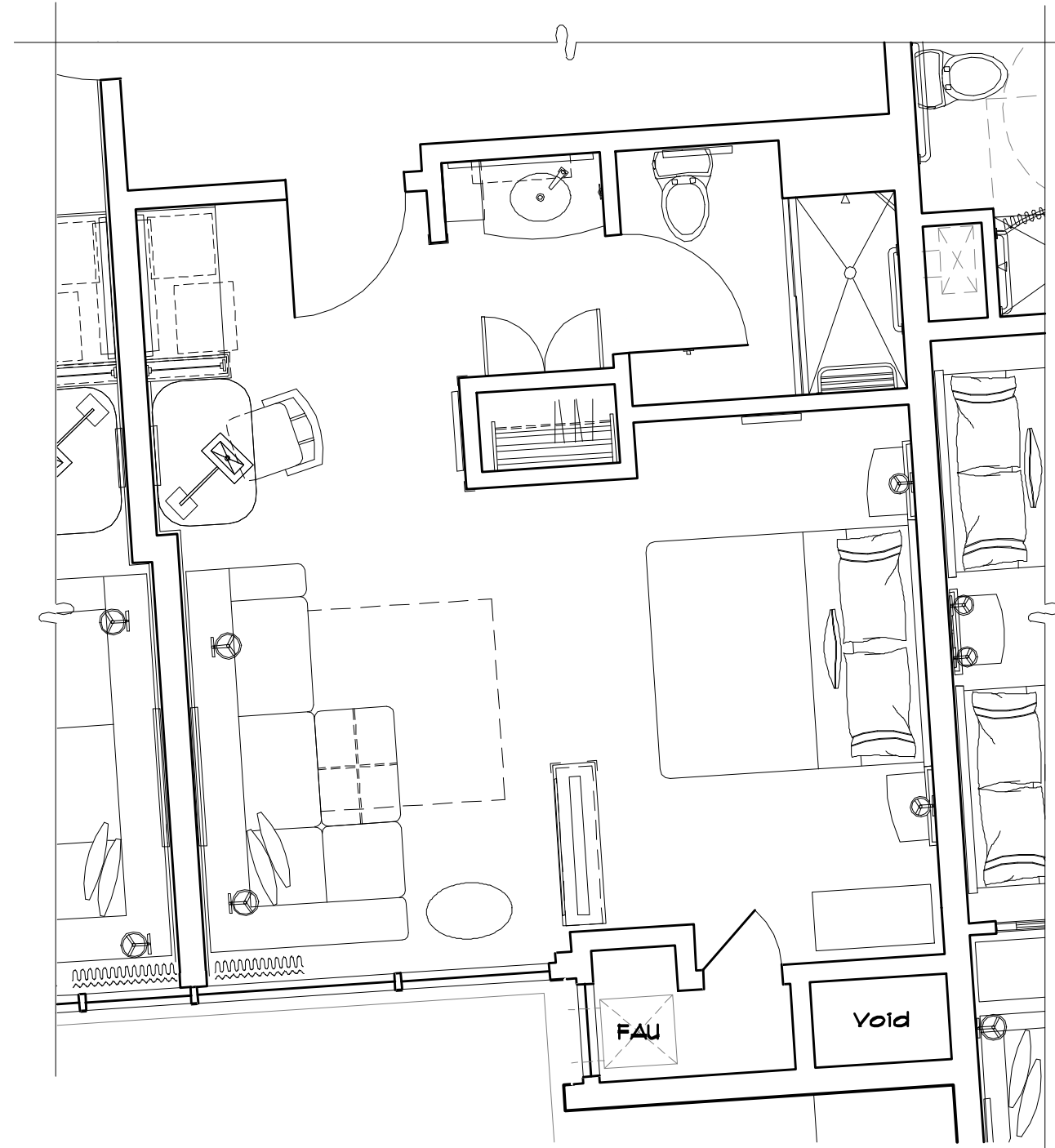
6868/6878 Hollister Ave Goleta, California



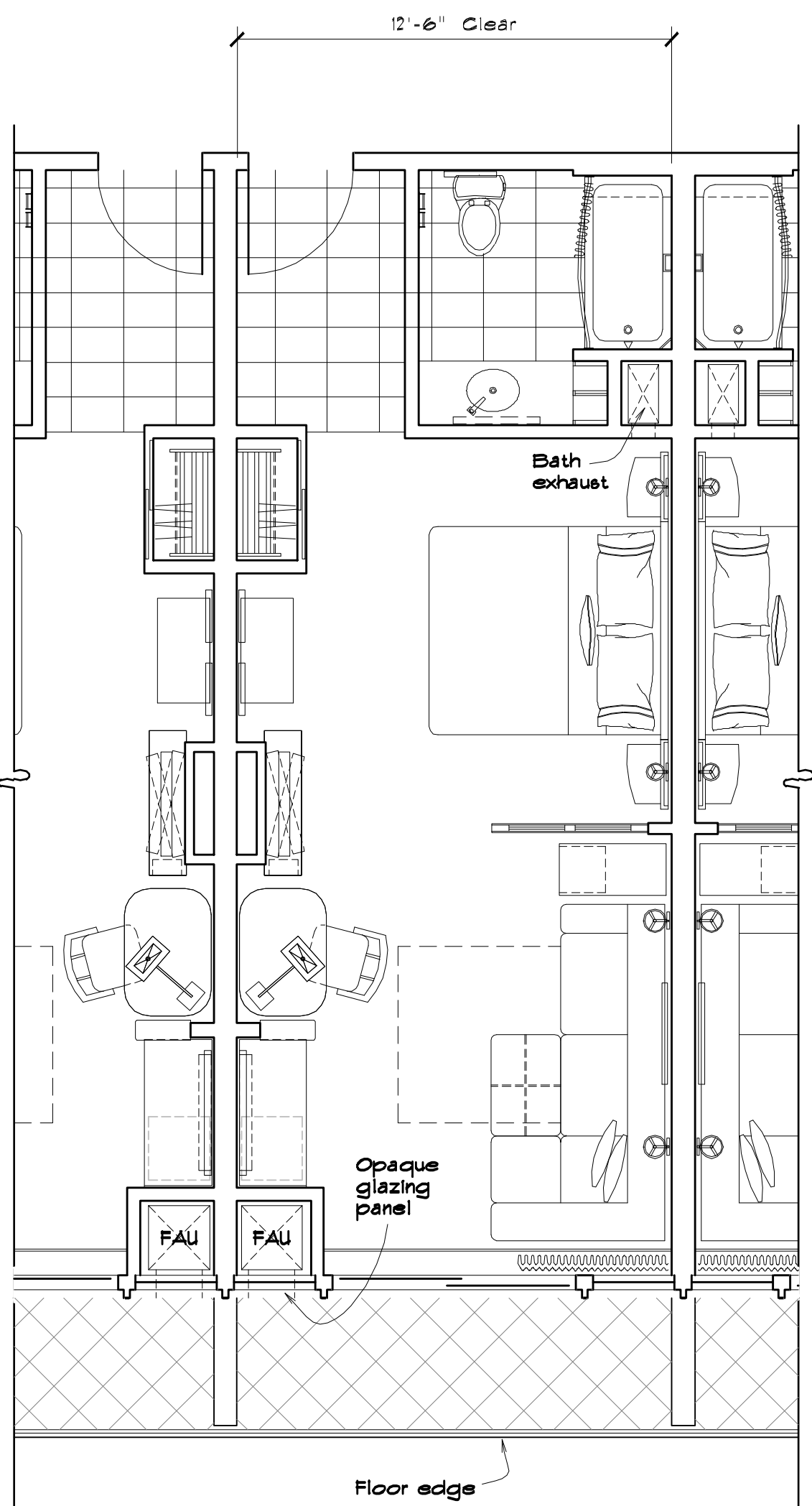
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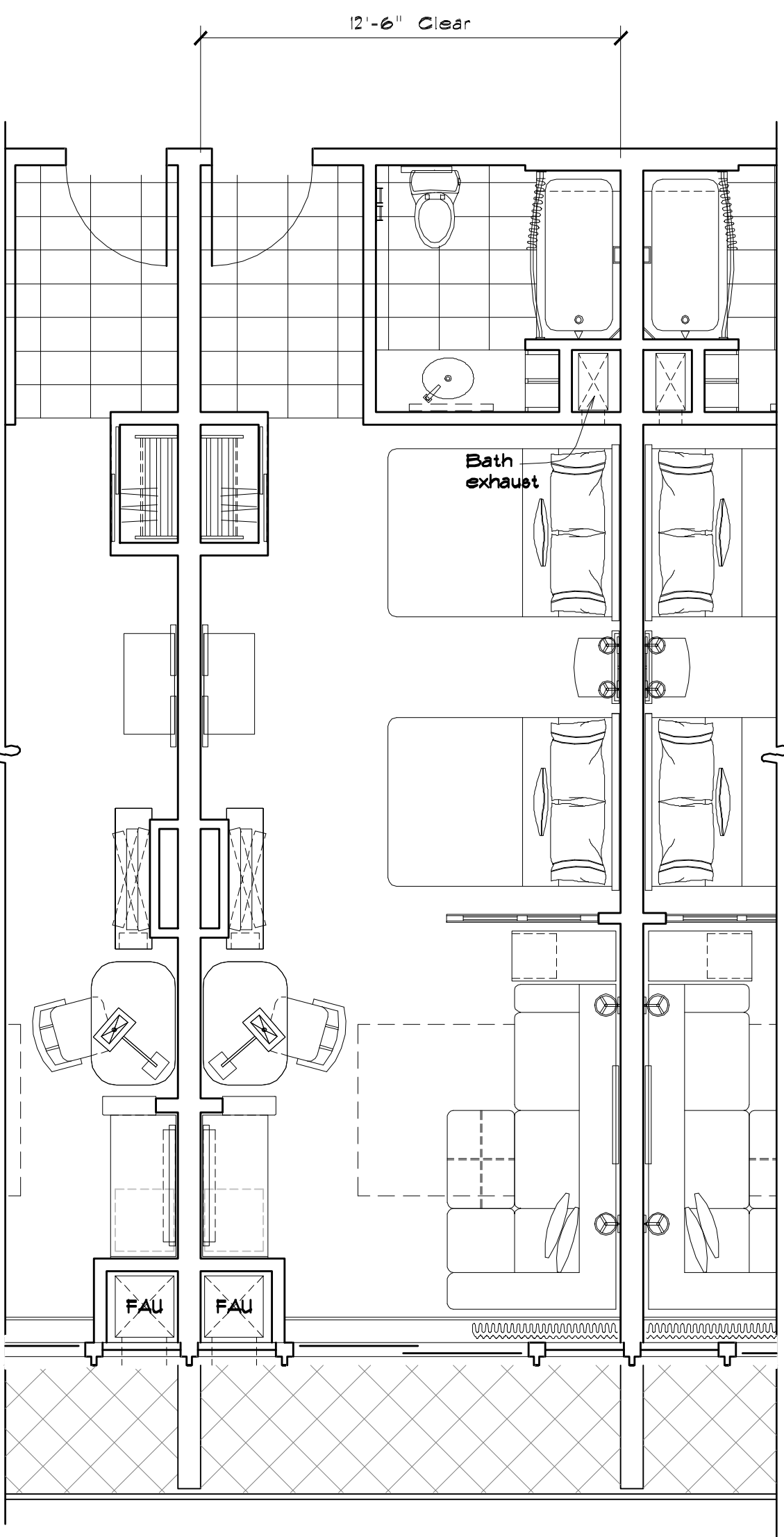
Queen Domestic Studio Special
 Typical 1
 Third Floor Room # 96



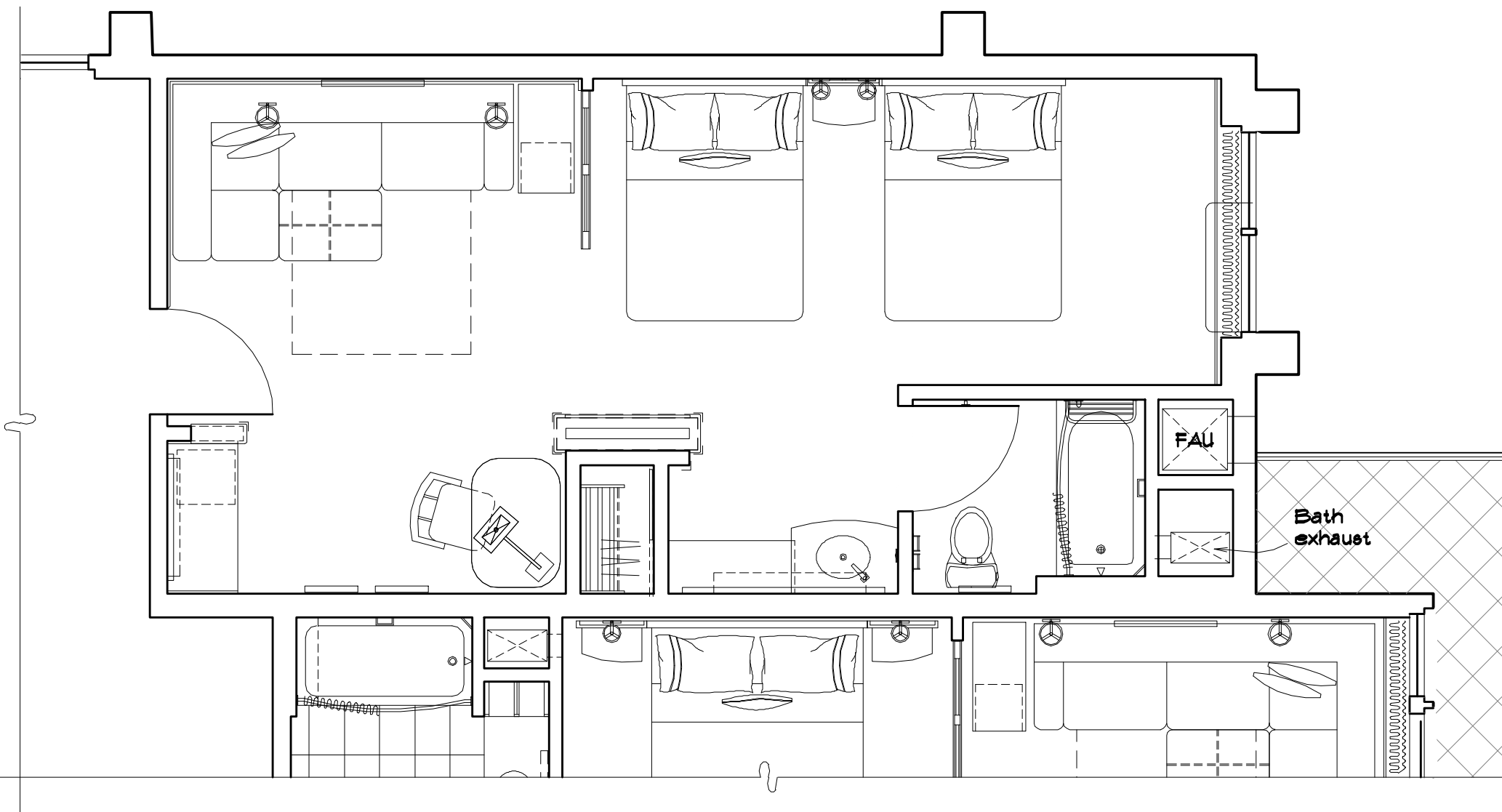
King Domestic Studio Special
 Typical 1
 Third Floor Room # 95



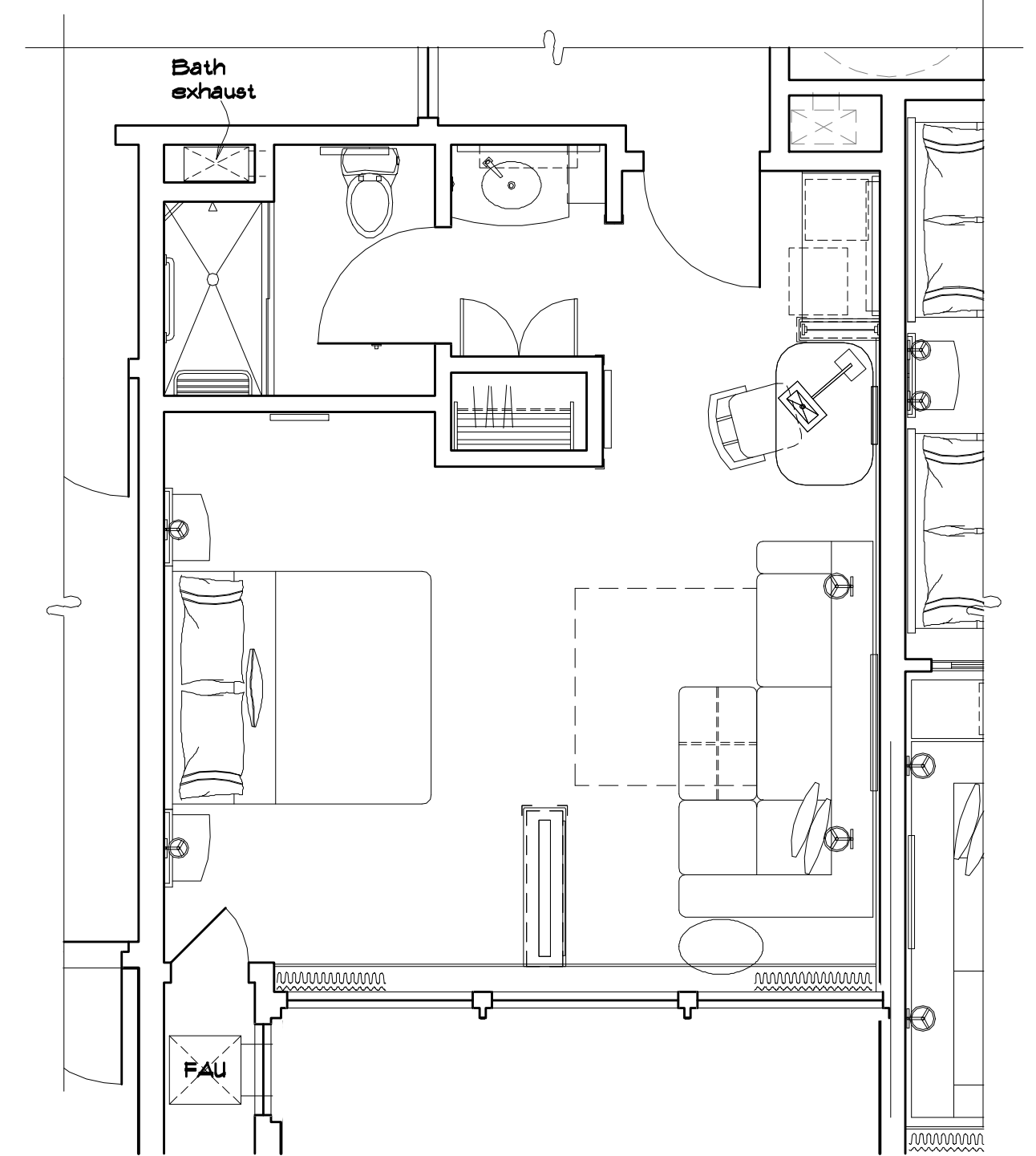
Typical King Resort
 Horizontal exterior



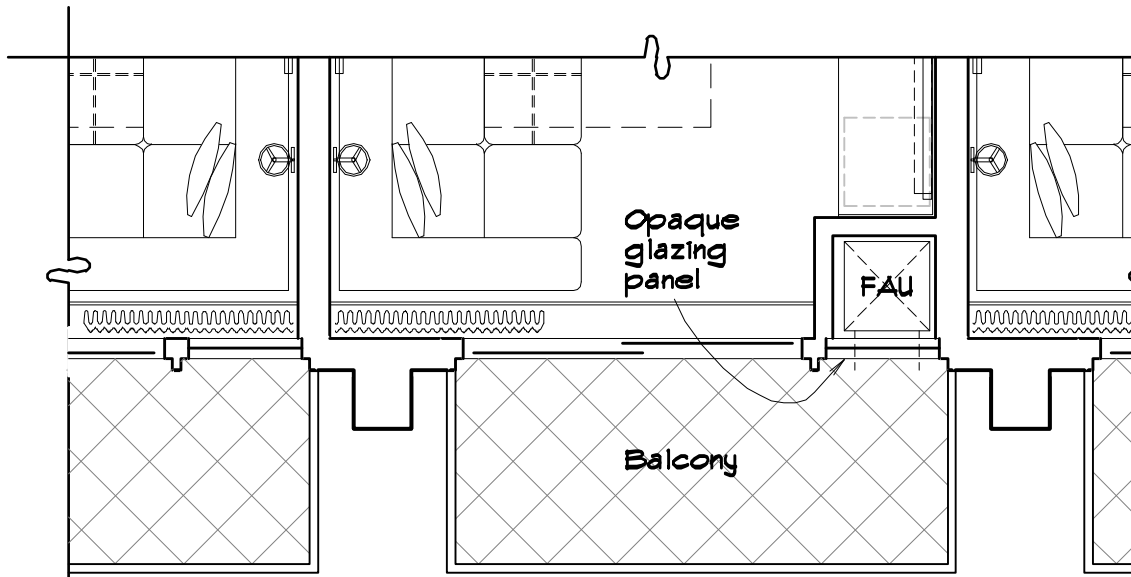
Typical Queen Resort
 Horizontal exterior



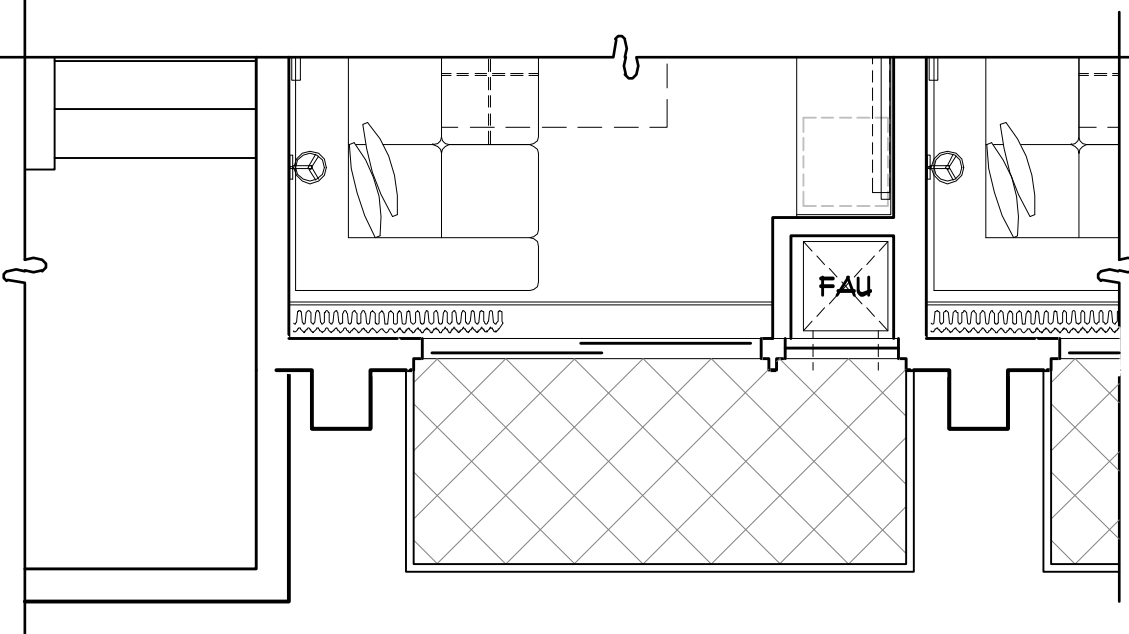
Queen Domestic Special
 Typical 3
 First Floor Room #7,
 Second Floor Room #39,
 Third Floor #19



King Domestic Studio Special
 Typical 1
 First Floor Room #21



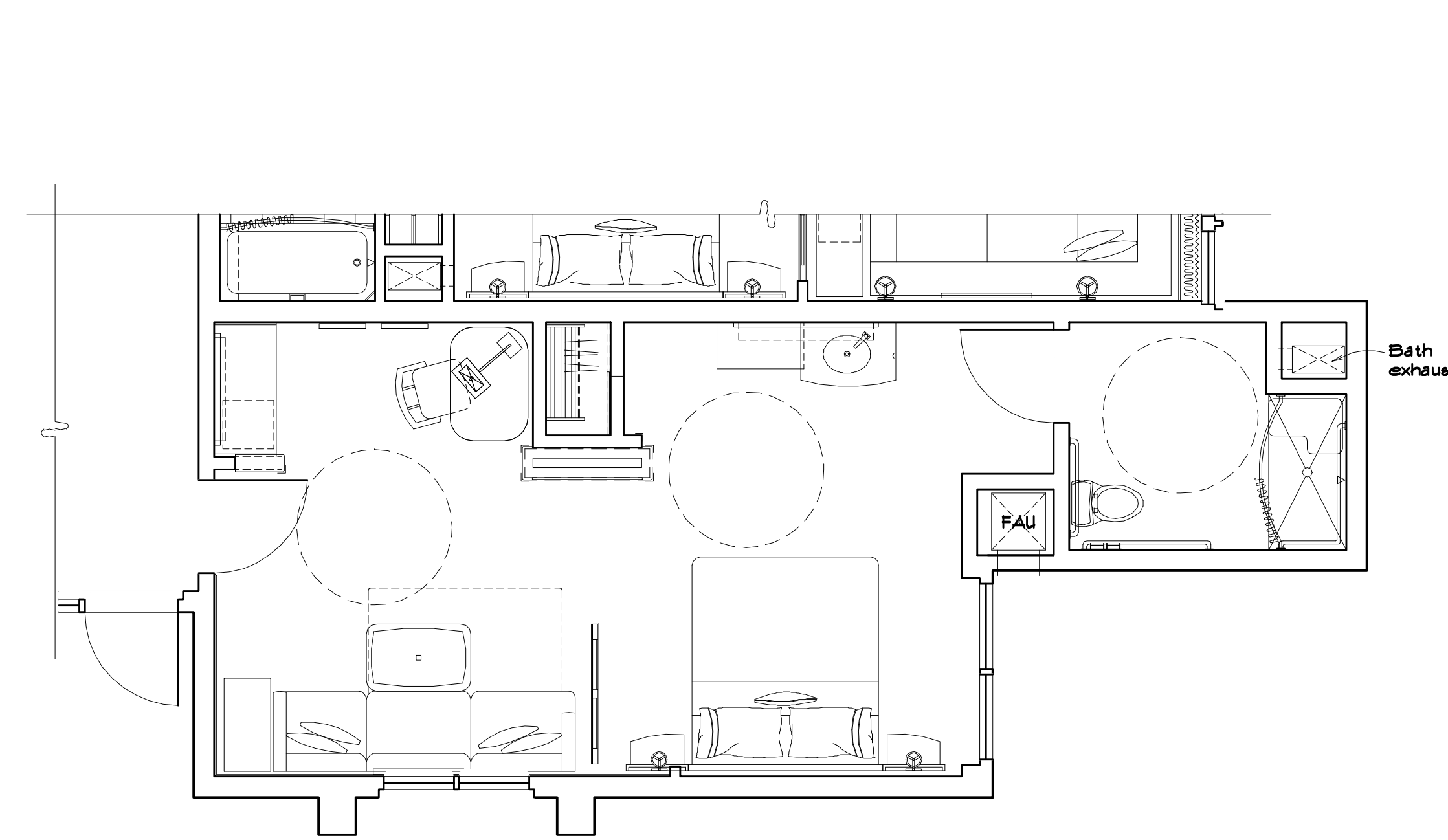
Typical King Resort
 Vertical exterior



Typical Queen Resort
 Vertical exterior

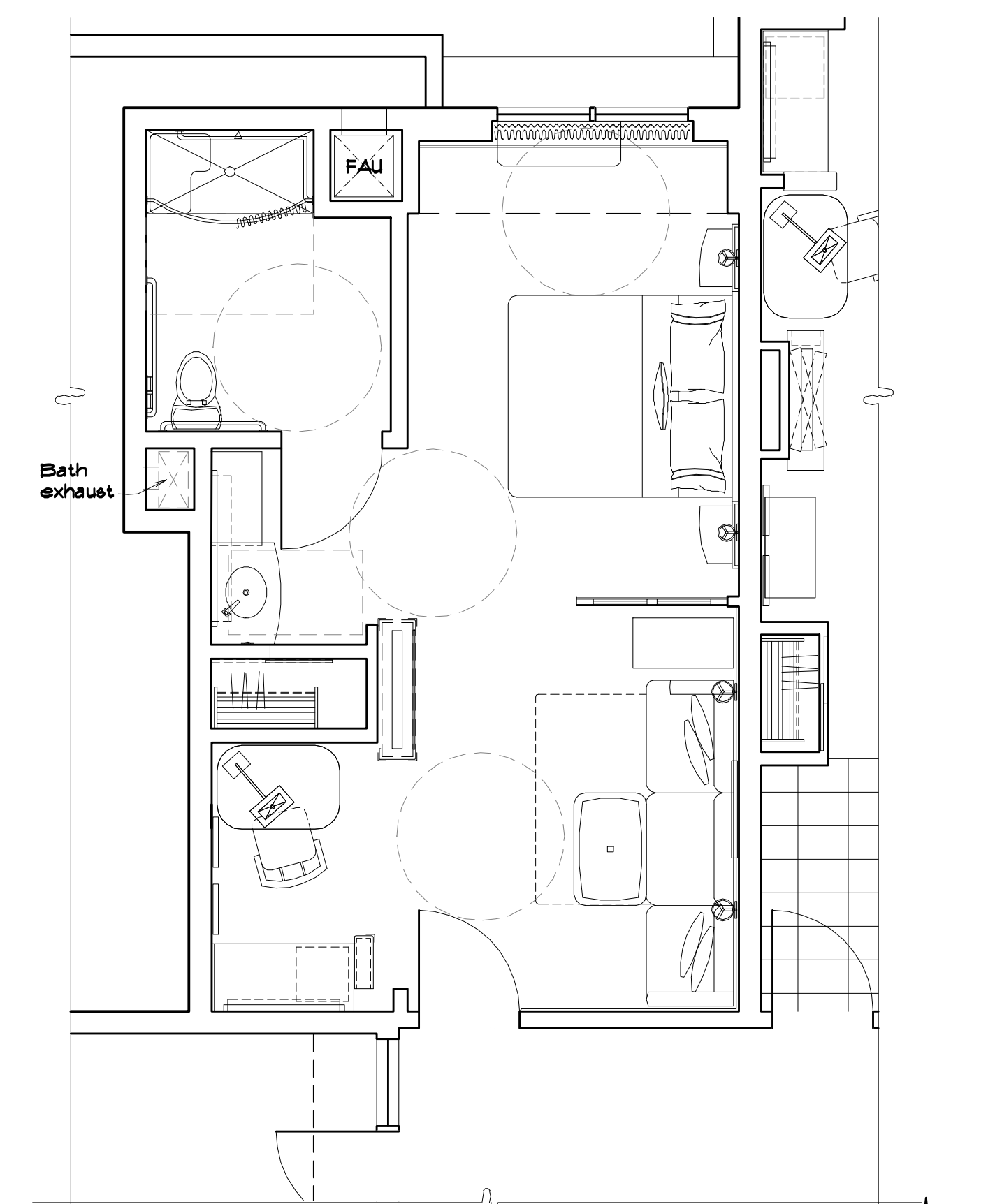
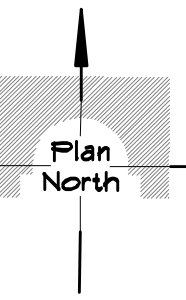
Development Plans for:
Rincon Palms
 Hotel and Restaurant 6868/6878 Hollister Ave Goleta, California





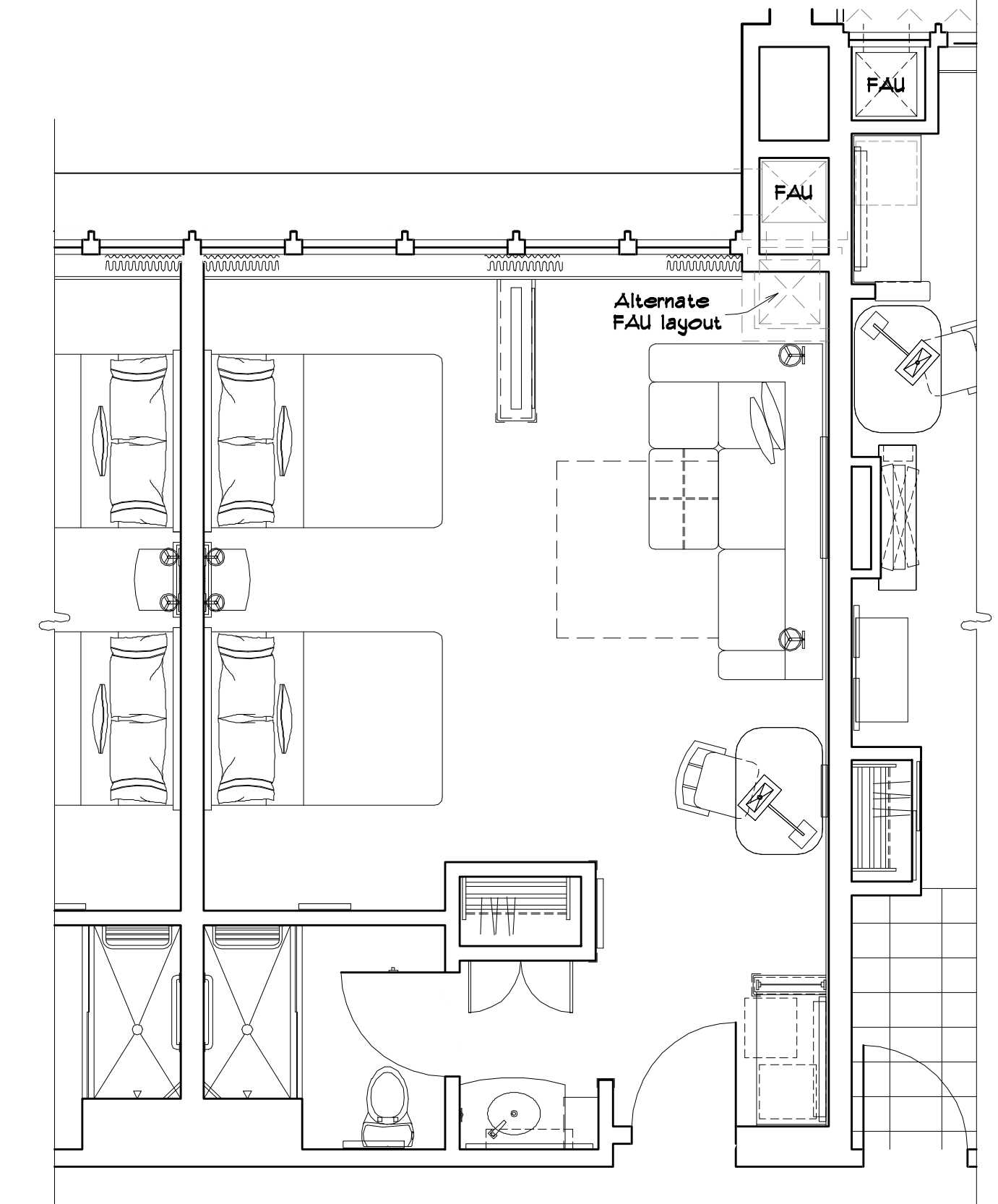
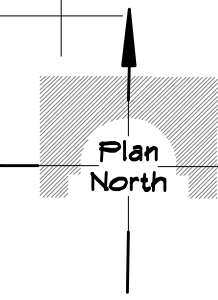
Accessible King Domestic A

Typical 2
First Floor #12
Second Floor Room #44



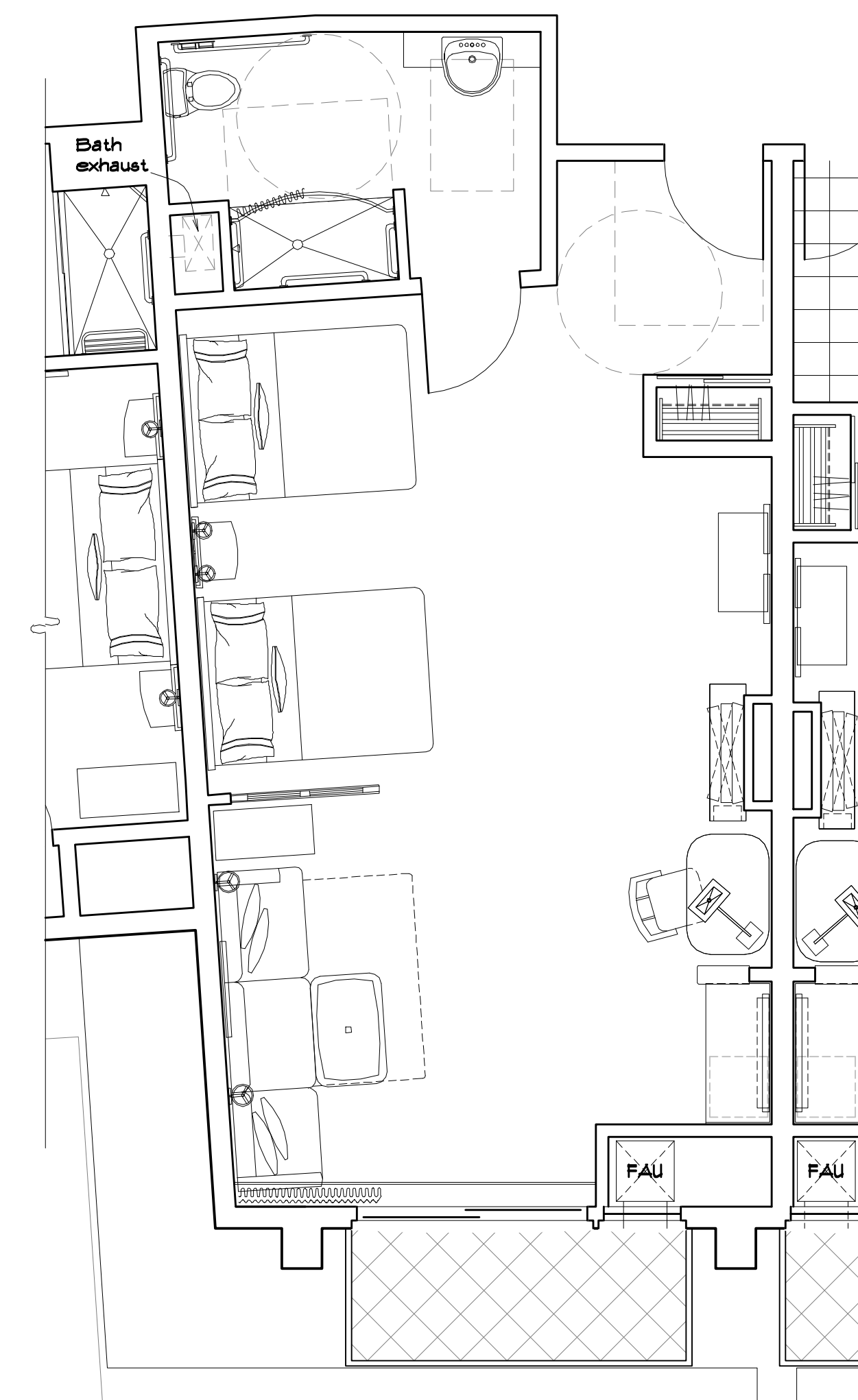
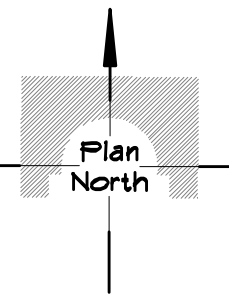
Accessible King Domestic B

Typical 2
Second Floor Room #22
Third Floor #62



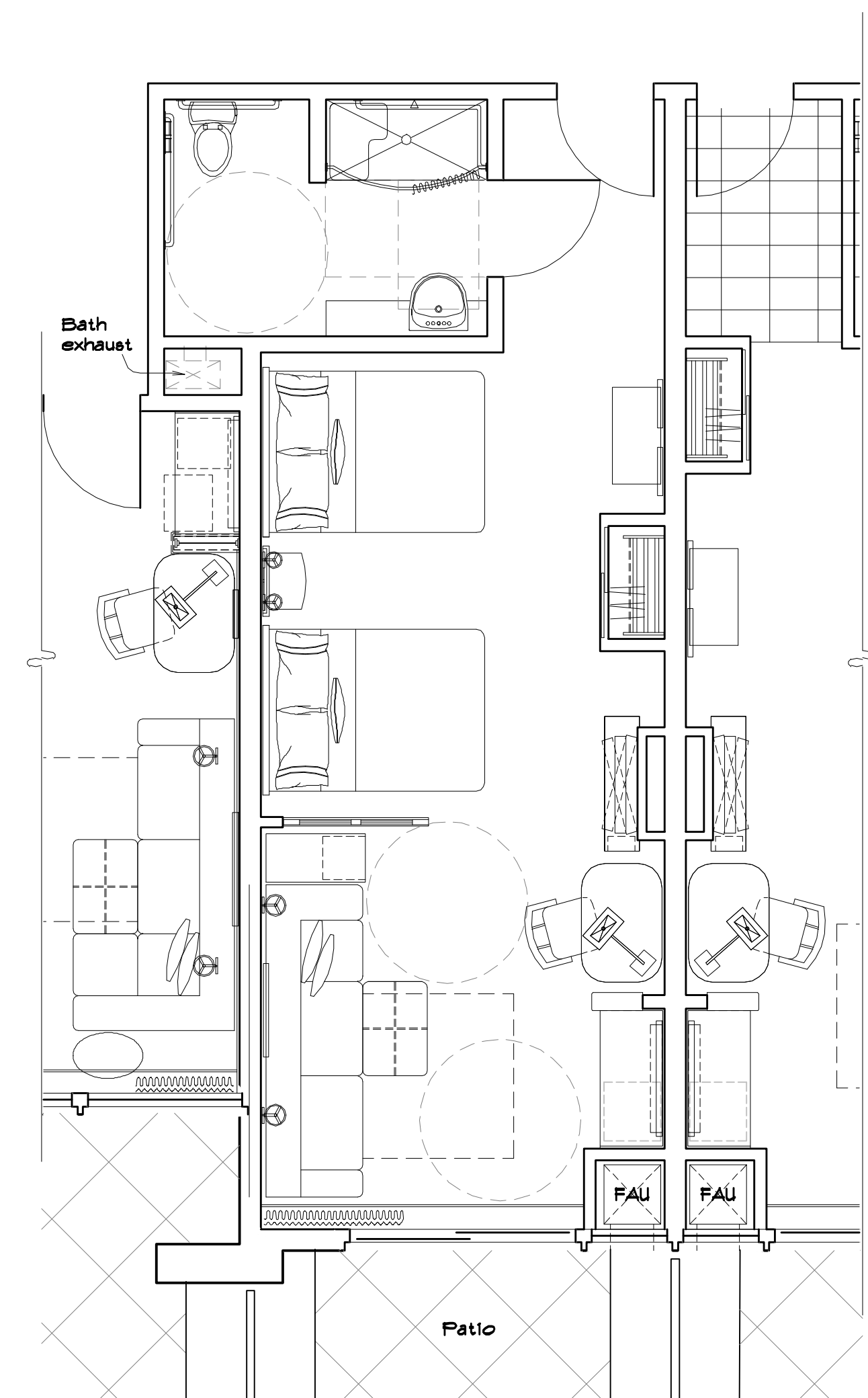
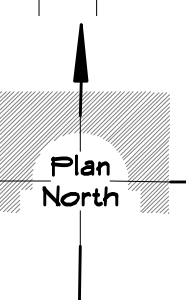
Queen Domestic Studio

Typical 4
Second Floor Room #31, #32,
Third Floor #11, #12



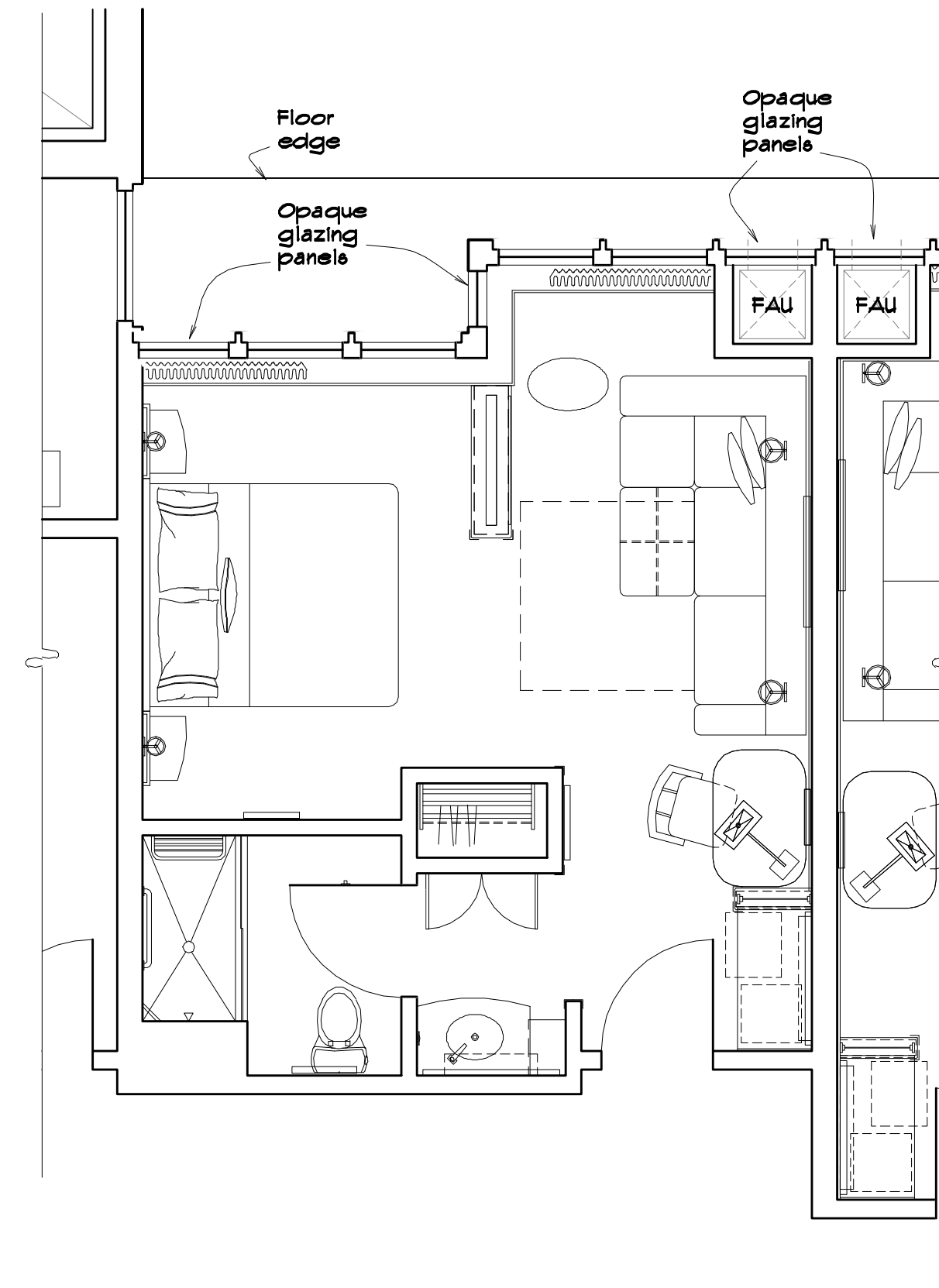
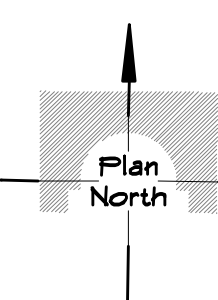
Accessible Queen Resort A

Typical 2
Second Floor Room #55
Third Floor #34



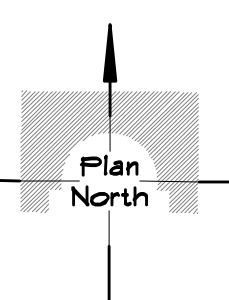
Accessible Queen Resort B

Typical 1
First Floor Room #20



King Domestic Studio

Typical 2
Second Floor Room #30,
Third Floor #10



Development Plans for:

Rincon Palms

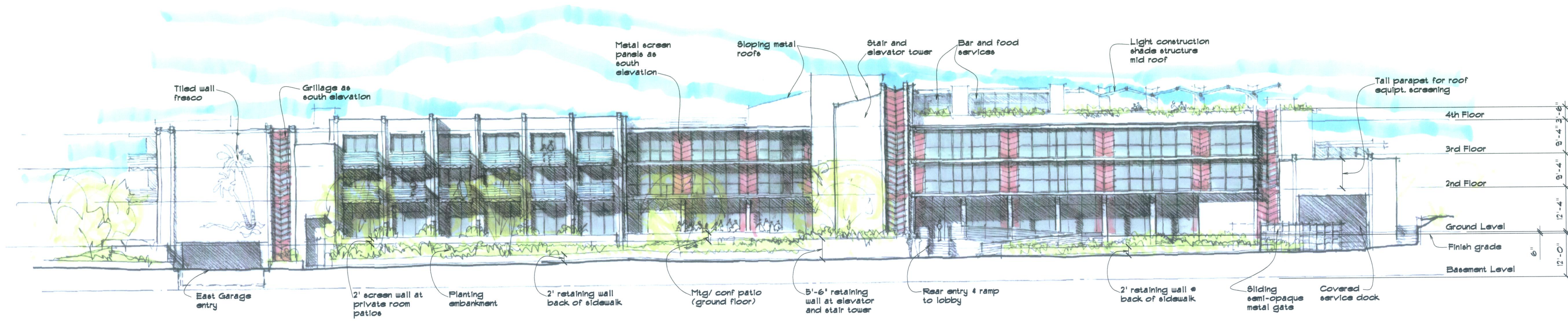
Hotel and Restaurant

6868/6878 Hollister Ave Goleta, California



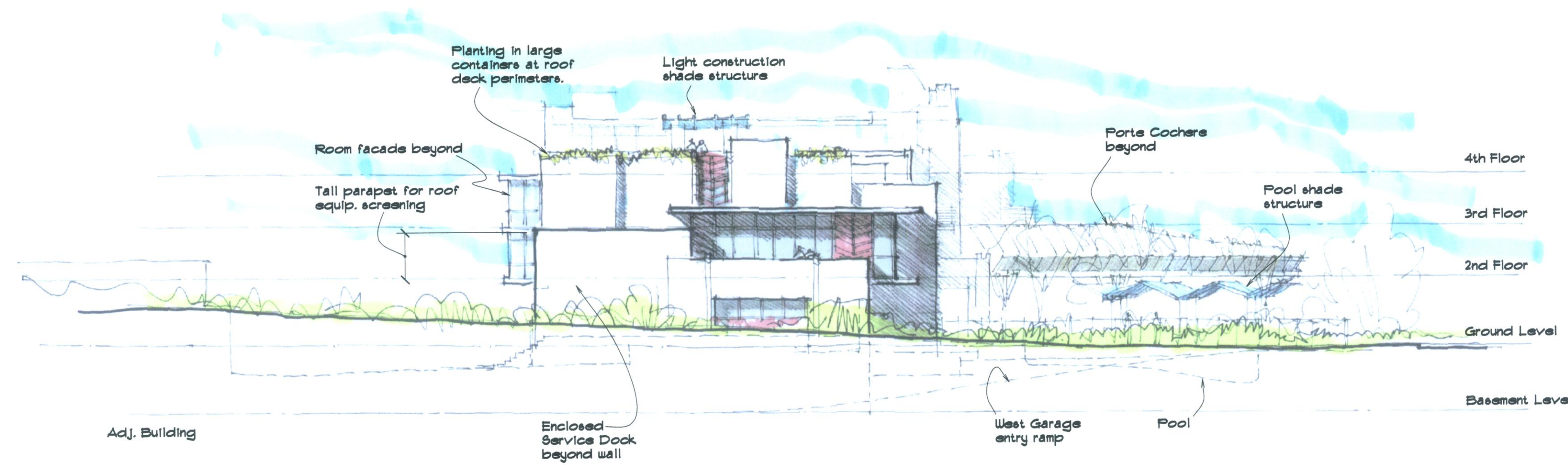
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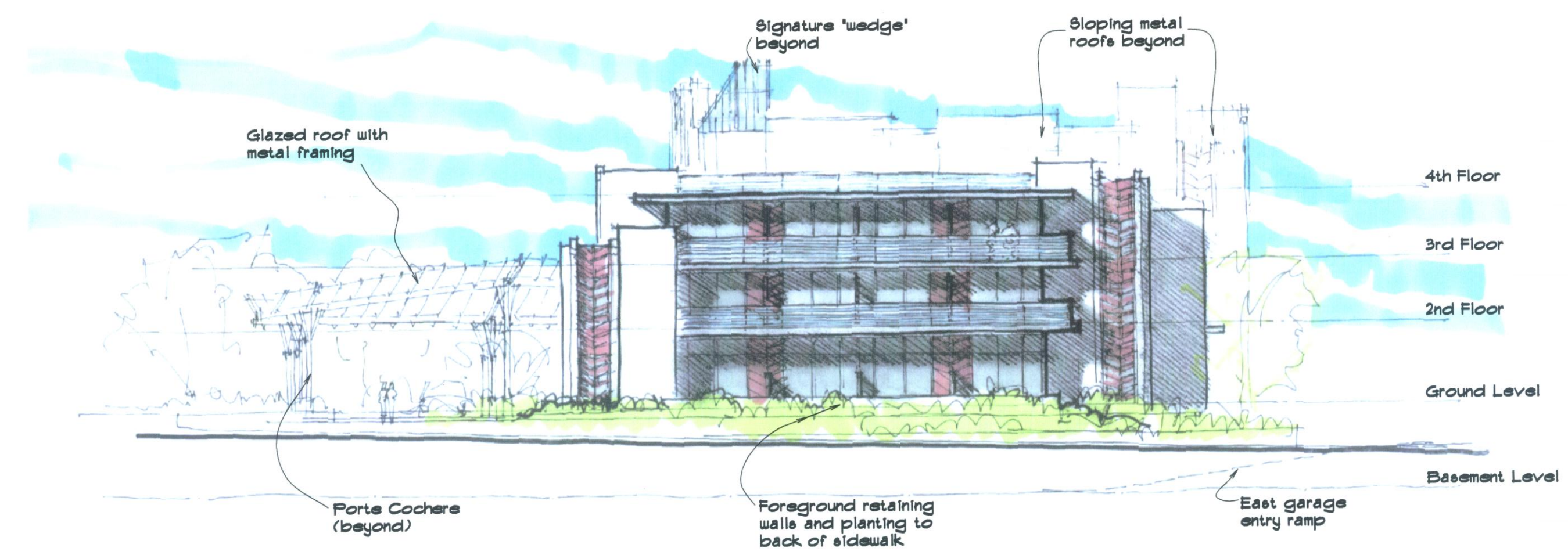
North Elevation

1/8" = 1'-0"



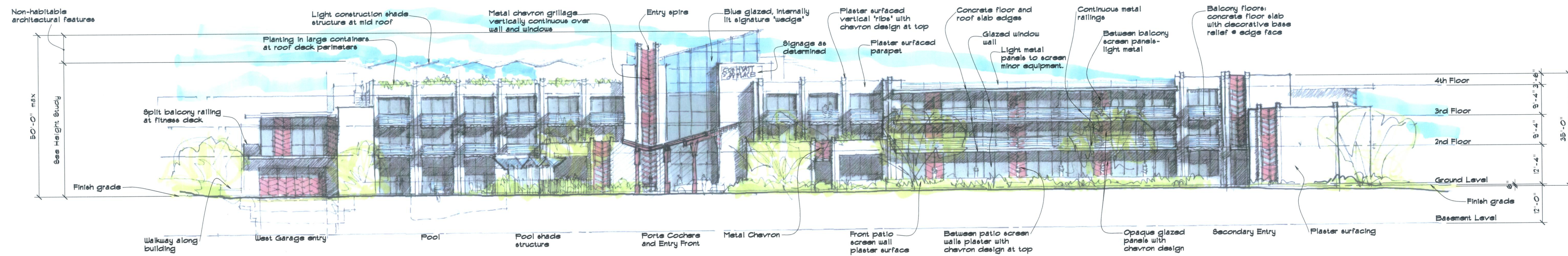
West Elevation (Storke Road)

1/8" = 1'-0"



East Elevation (Cortona Drive)

1/8" = 1'-0"



South Elevation (Hollister Avenue)

1/8" = 1'-0"

Development Plans for:

Rincon Palms

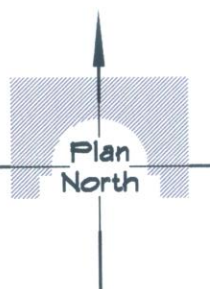
Hotel and Restaurant

6868/6878 Hollister Ave Goleta, California

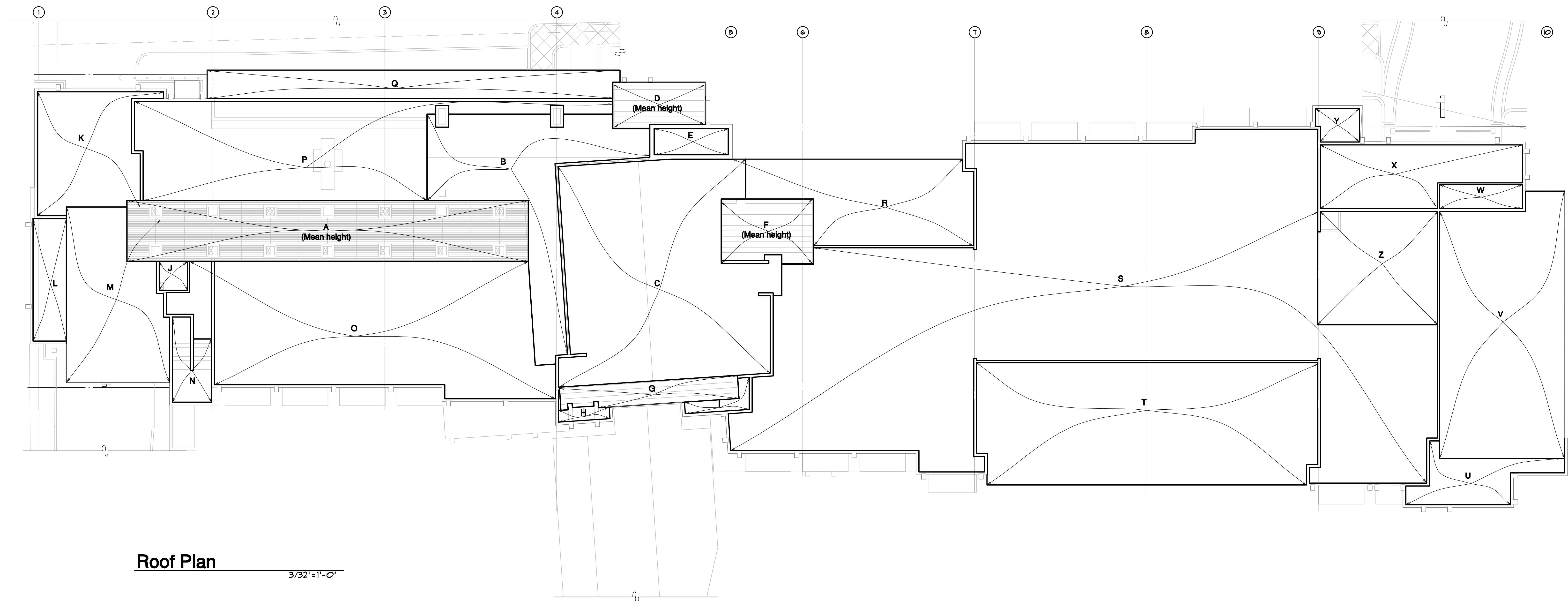


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0 8' 16' 32' 48'



Sheet 7



Roof Plan

3/32"=1'-0"

WEIGHTED AVERAGE HEIGHT CALCULATION SUMMARY

METHOD #3 HEIGHT STUDY STATISTICS

Allowed 35 ft.

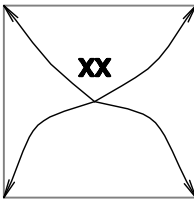
Substantially conforming
(110% of allowed)

38.5 ft.

Actual

Area	Specific Area Size (a)	% Area to total Area (b)=a/d	Specific Area Height (c)	Specific Height as proportional to total height (bxc)
A	1290.00	5.05	44.6	2.25
B	1044.00	4.09	44.8	1.83
C	2190.00	8.57	43.6	3.74
D	215.00	0.84	39.3	0.33
E	152.00	0.60	46.6	0.28
F	300.00	1.17	40.6	0.48
G	213.00	0.83	50	0.42
H	38.00	0.15	43.1	0.06
I	51.00	0.20	43.1	0.09
J	43.00	0.17	35.6	0.06
K	617.00	2.42	27	0.65
L	215.00	0.84	17.4	0.15
M	801.00	3.14	37.9	1.19
N	147.00	0.58	30.9	0.18
O	2278.00	8.92	35.6	3.18
P	1621.00	6.35	39.4	2.50
Q	610.00	2.39	35.8	0.85
R	864.00	3.38	32.1	1.09
S	7286.00	28.53	35.6	10.16
T	2168.00	8.49	32.1	2.72
U	271.00	1.06	25.8	0.27
V	1669.00	6.53	32.1	2.10
W	105.00	0.41	35.6	0.15
X	564.00	2.21	44.6	0.98
Y	74.00	0.29	28.8	0.08
Z	716.00	2.80	35.6	1.00
Total height (d)	25542.00			
Total percent		100.00		
Weighted average height (sum a-z)				36.78

LEGEND



ROOF AREA WITH SPECIFIC HEIGHT FROM FINISH AVERAGE GRADE

1) FROM PERIMETER PARAPET WHEN AREA PARAPETED.

2) MEAN HEIGHT WHEN AREA SLOPING.

Development Plans for:

Rincon Palms

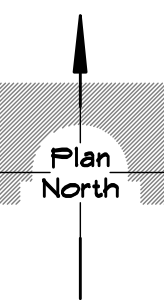
Hotel and Restaurant

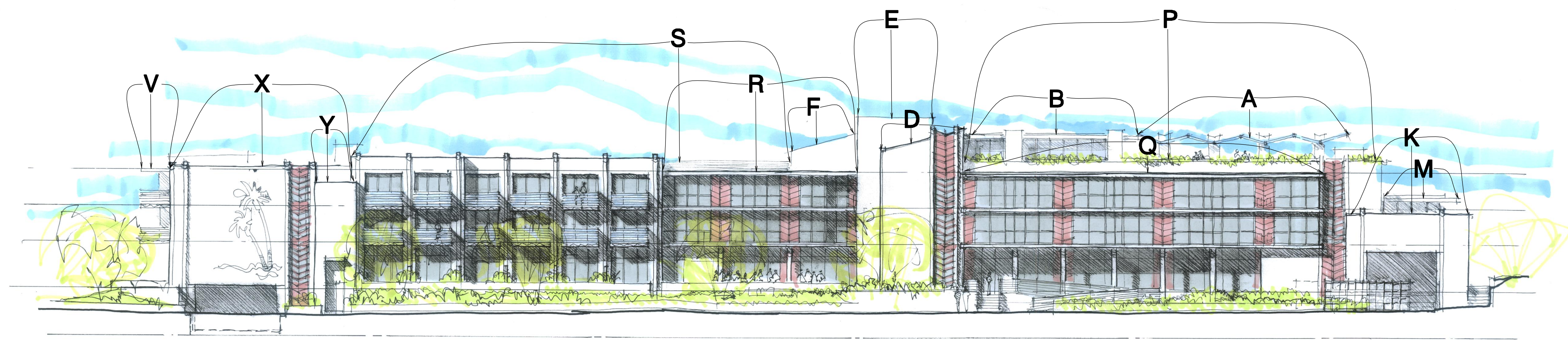
6868/6878 Hollister Ave Goleta, California



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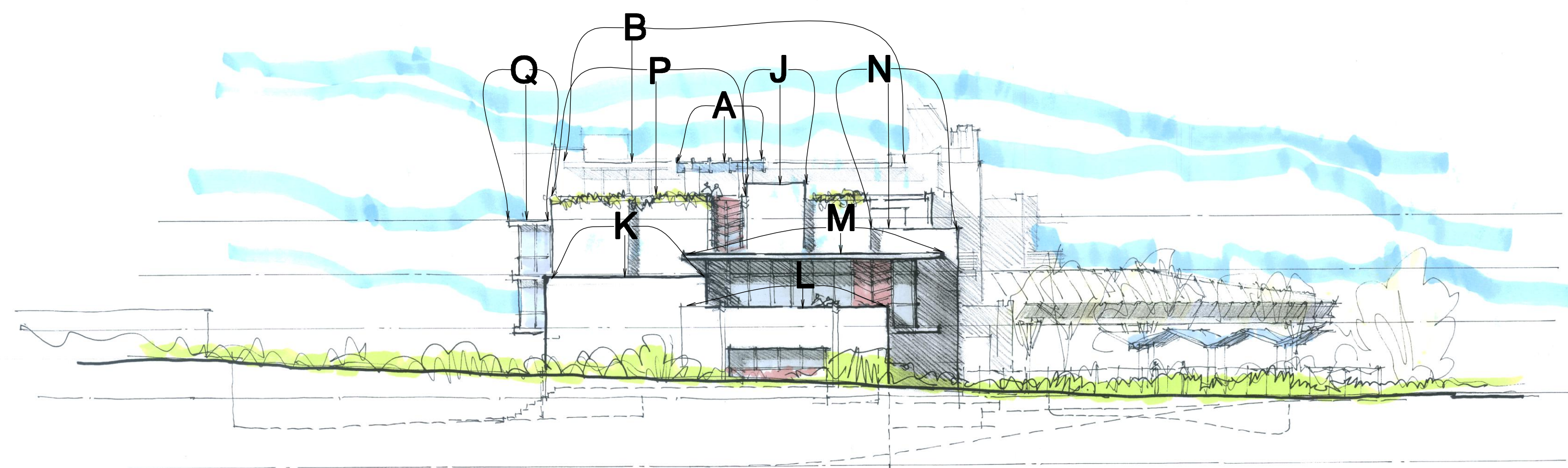
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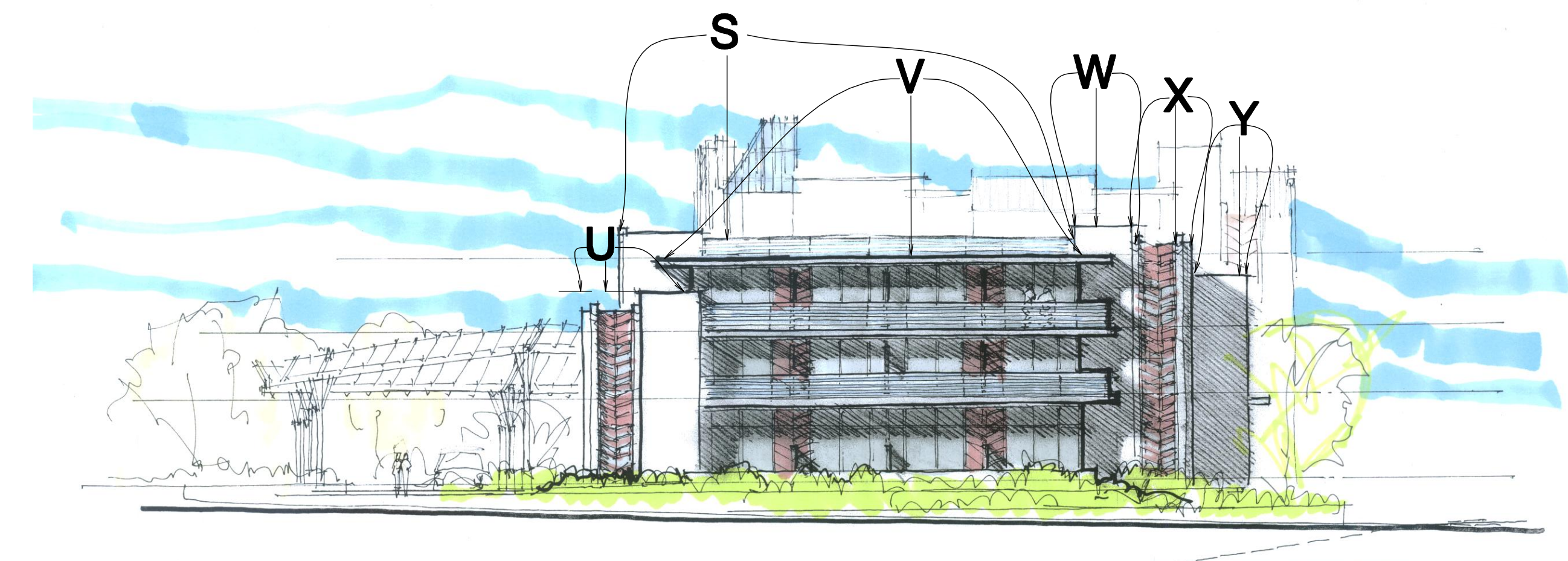
North Elevation

$\frac{1}{8}" = 1'-0"$



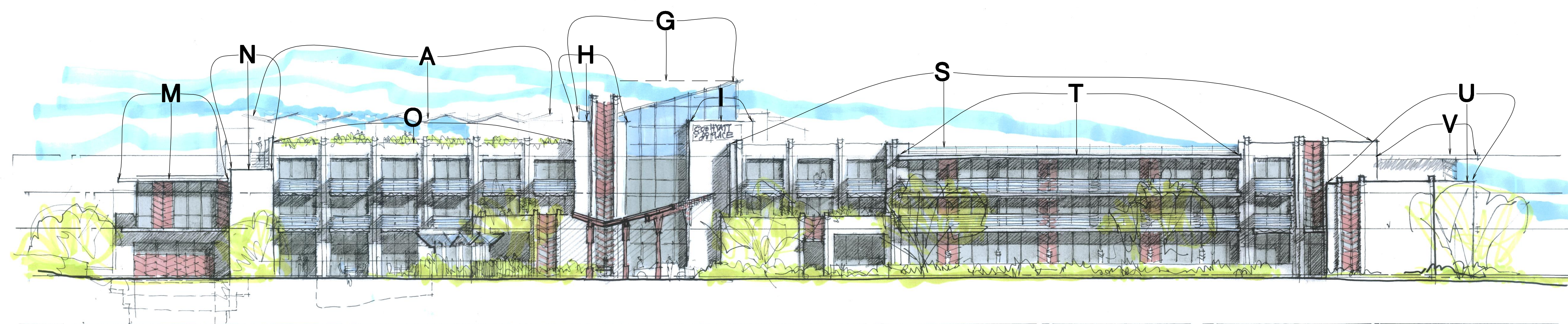
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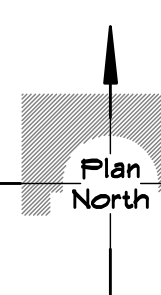
Hotel and Restaurant

6868/6878 Hollister Ave Goleta, California



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0 8' 16' 32' 48'



GRADING NOTES

- ALL GRADING SHALL CONFORM TO CITY OF GOLETA GRADING ORDINANCE NO. 4477 AND STANDARDS PERTAINING THERETO, THESE CONSTRUCTION PLANS, AND THE FOUNDATION EXPLORATION FOR THE PROJECT.
- PRIOR TO EARTH MOVING, A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF GOLETA PUBLIC WORKS DEPARTMENT AND A ROAD EXCAVATION AND ENCRoACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF GOLETA PUBLIC WORKS DEPARTMENT.
- ALL FILL AREAS SHALL BE CLEARED OF ALL VEGETATION, INCLUDING ROOTS AND ROOT STRUCTURES, AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL. ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE PROJECT AND TRANSPORTED TO A SUITABLE DISPOSAL AREA.
- PRIOR TO PLACING OF ANY FILL MATERIAL, THE AREA SHALL BE INSPECTED BY THE COUNTY GRADING INSPECTOR AND SOILS ENGINEER. (ALLOW 24 HOURS MINIMUM NOTICE).
- FILL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS AND COMPACTED AT OPTIMUM MOISTURE CONTENT.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT MAXIMUM DENSITY, AS DETERMINED BY ASTM D1557 (3 LAYERS) AND CERTIFIED BY TESTS AND REPORTS OF A SOILS ENGINEER.
- ALL GRADING SHALL BE DONE UNDER THE DIRECTION OF A SOILS ENGINEER.
- KEYWAYS SHALL BE PLACED AT THE TOE OF ALL FILL SLOPES. THE KEYWAYS SHALL EXTEND A MINIMUM OF 30 INCHES BELOW PRESENT GROUND SURFACE, SHALL BE A MINIMUM OF 8 FEET IN WIDTH AND SHALL BE INCLINED SLIGHTLY INTO THE HILL.
- NUMBER OF SOIL TESTS REQUIRED: 1 TEST PER EACH 18 INCHES OF FILL, BUT NOT LESS THAN 1 TEST PER 500 CUBIC YARDS OF FILL AND AT LEAST 1 TEST EACH AREA RECEIVING FILL.

GENERAL CITY GRADING NOTES

- THE SUPERVISION REQUIREMENTS OF CITY OF GOLETA ORDINANCE NO. 4477 SHALL BE COMPLIED WITH AS FOLLOWS:
- THE ENGINEER SHALL BE A REPRESENTATIVE OF MAC DESIGN ASSOCIATES.
 - LINE AND GRADE STAKES SHALL BE SET BY SURVEYORS UNDER THE GENERAL SUPERVISION OF THE ENGINEER.
 - THE ENGINEER SHALL PROVIDE GENERAL CONSTRUCTION REVIEW.
 - THE SOILS ENGINEER SHALL PROVIDE GENERAL REVIEW OF THE GRADING AND SUBGRADE PREPARATION, PERFORM COMPACTION TESTING, PERFORM "R" VALUE TESTING, RECOMMEND THE STRUCTURAL SECTION FOR PRIVATE STREET CONSTRUCTION, MEASURE THE THICKNESS OF PAVEMENT AND BASE DURING CONSTRUCTION, TEST AND REVIEW THE QUALITY OF PAVEMENT AND BASE, ETC.
 - UPON COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL PREPARE "AS BUILT" PLANS AND SUBMIT A REPORT ATTESTING THAT THE IMPROVEMENTS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

EARTHWORK

ESTIMATED EARTHWORK QUANTITIES:

DUE TO THE PRELIMINARY NATURE OF THESE PLANS, QUANTITIES MAY VARY AND PROPOSED ELEVATIONS MAY REQUIRE ADJUSTMENTS TO COMPENSATE FOR SUBSIDENCE, LOSSES DUE TO CLEARING AND GRUBBING OPERATIONS, SITE SPECIFICS, ETC. DURING FINAL GRADING PLAN PREPARATION, ROAD GRADES WILL BE HELD AT OR NEAR THE PROPOSED ELEVATIONS SHOWN HEREON AND PAD ELEVATIONS WILL BE VARIED TO BALANCE EARTHWORK ONSITE.

	EXCAVATION	EMBANKMENT
SITE GRADING	7500 C.Y.	5000 C.Y.
LOSS DUE TO CLEARING & GRUBBING:	-350 C.Y.	+350 C.Y.
SUBTOTAL	7150 C.Y.	5350 C.Y.
SHRINKAGE @ 25%:	-1750 C.Y.	
SUBTOTAL	5400 C.Y.	5350 C.Y.

(1) ESTIMATED QUANTITIES SHOWN ABOVE ARE GRID SURFACE VOLUMES COMPUTED FROM EXISTING GROUND ELEVATIONS TO THE PROPOSED ELEVATIONS SHOWN ON THIS PLAN.

(2) CLEARING AND GRUBBING OPERATIONS ARE ASSUMED TO RESULT IN A LOSS OF 0.15' OVER THE GRADED AREA.

(3) SHRINKAGE FACTOR OF 25% APPLIED TO THE EXCAVATION QUANTITY IS ASSUMED.

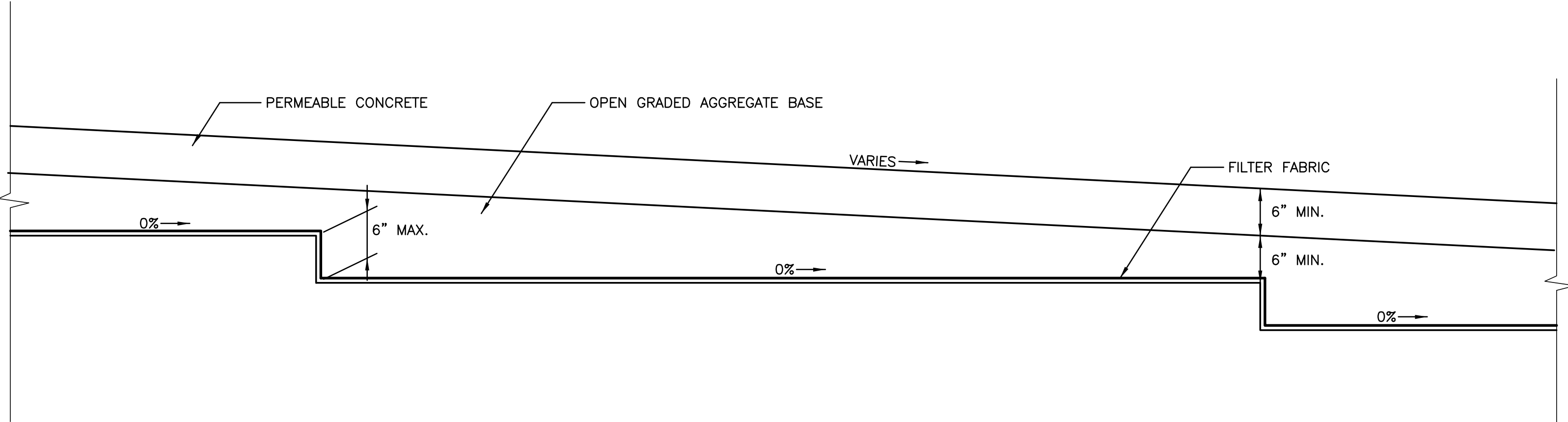
(4) FOR THE PURPOSE OF THESE EARTHWORK CALCULATIONS, THE PAVEMENT STRUCTURAL SECTION IS ASSUMED TO BE 0.5'.

MAP LEGEND

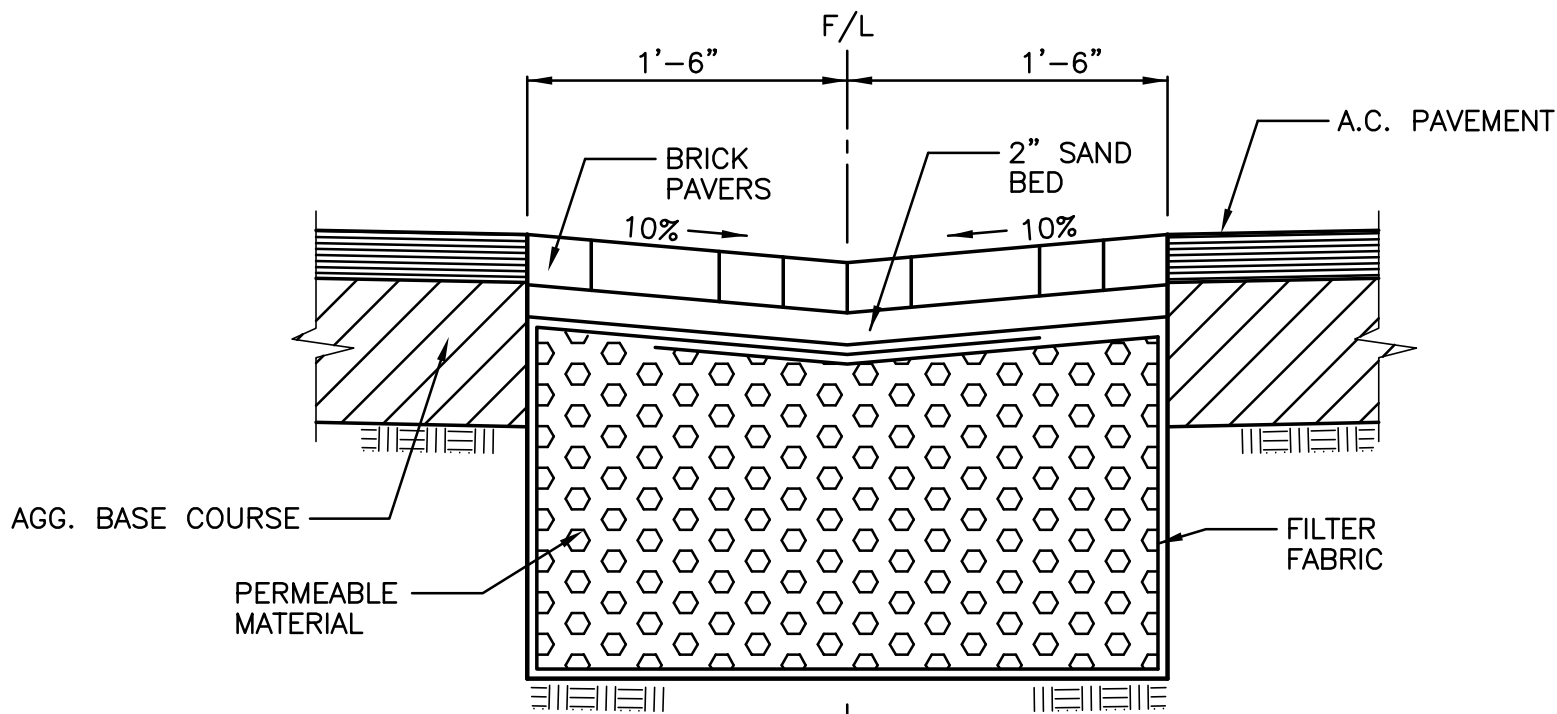
- AC = ASPHALT CEMENT
APN = ASSESSOR PARCEL NUMBER
AVO = AVOCADO
CONC = CONCRETE
CP = CONTROL POINT
DEC = DECIDUOUS (TREE)
DI = DRAIN INLET
EUC = EUCALYPTUS (TREE)
EXIST. GAS LINE
FD = FOUND MONUMENT AS NOTED
FF = FINISH FLOOR ELEVATION
FH = FIRE HYDRANT
FL = FLOWLINE ELEVATION
FS = FINISH SURFACE ELEVATION
GM = GAS METER
HB = HOSE BIB
I.P. = IRON PIPE
OVERHEAD WIRE
P = PROPERTY LINE
PP = POWER POLE
RCP = REINFORCED CONCRETE PIPE
RET. = RETAINING
RFP = REFLECTOR PANEL
ROH = ROOF OVERHANG
ROW = RIGHT OF WAY
EXIST. SEWER LINE
SCO = SEWER CLEANOUT
SDMH = STORM DRAIN MANHOLE
S.F. = SQUARE FEET
SMH = SEWER MANHOLE
TYP. = TYPICAL
UD = UTILITY DROP
UG = UNDER GROUND
VCP = VITREOUS CLAY PIPE
VERT. = VERTICAL
EXIST. WATER LINE

LEGEND

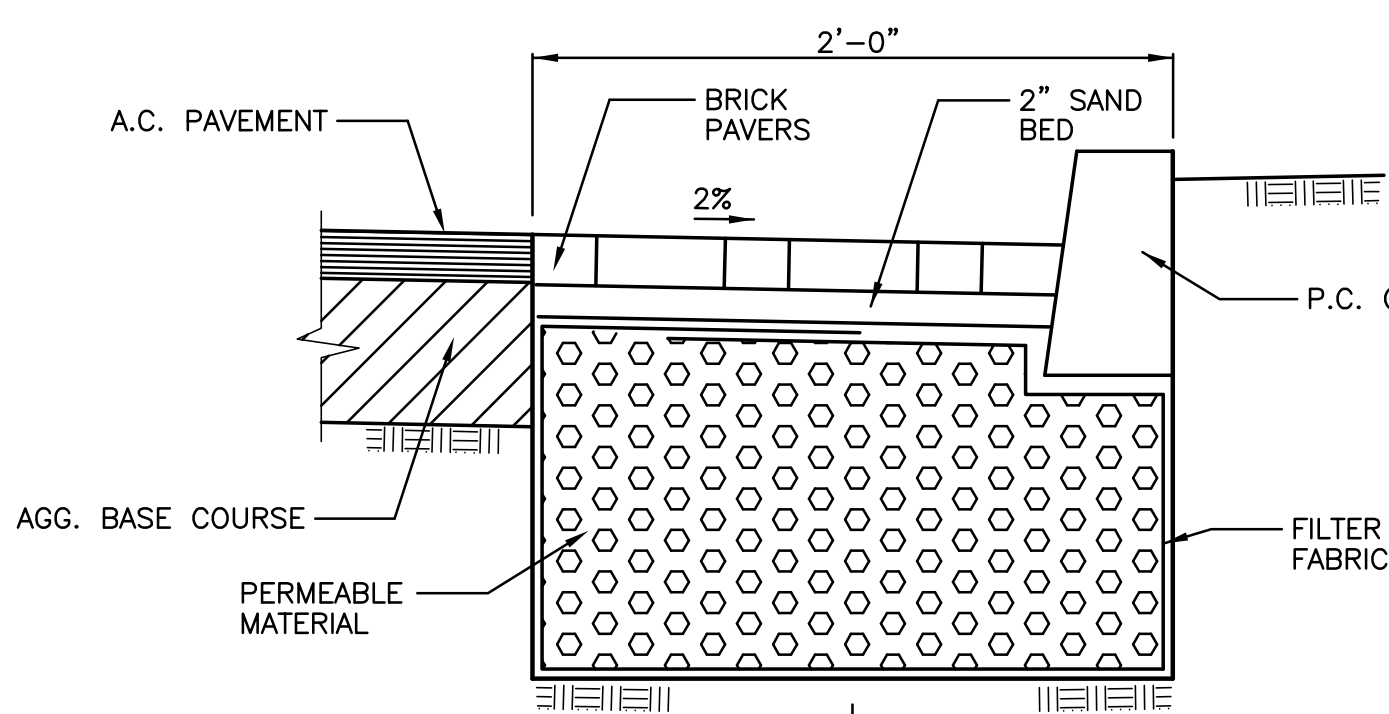
- W--- EXIST. WATER LINE
---G--- EXIST. GAS LINE
---S--- EXIST. SEWER LINE
---W--- PROPOSED WATER LINE
---WS--- PROPOSED WATER SERVICE
---S--- PROPOSED SEWER LINE
---SL--- PROPOSED SEWER LATERAL
---D--- PROPOSED STORM DRAIN LINE
---C/L--- EXIST. AC PAVEMENT
---C/L--- ROAD C/L
---P--- PROPERTY LINE
---LOT--- PROPOSED LOT LINE
---BLDG.--- PROPOSED BLDG. ENVELOPE LINE
---MH--- EXISTING MANHOLE
---FH--- EXISTING FIRE HYDRANT
---FH--- PROPOSED FIRE HYDRANT
---SIGN--- EXISTING SIGN
---LIGHT--- EXISTING LIGHT STANDARD
---VALVE--- WATER VALVE



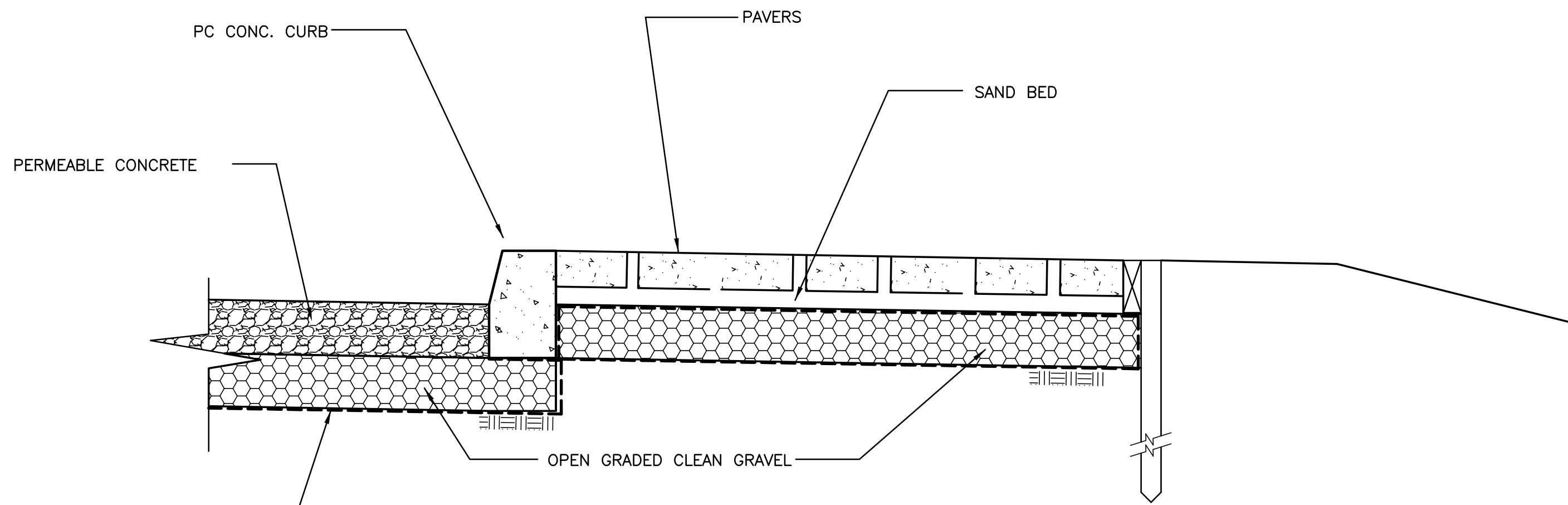
4
~
PERMEABLE CONCRETE PAVEMENT
TYPICAL LONGITUDINAL SECTION
NO SCALE



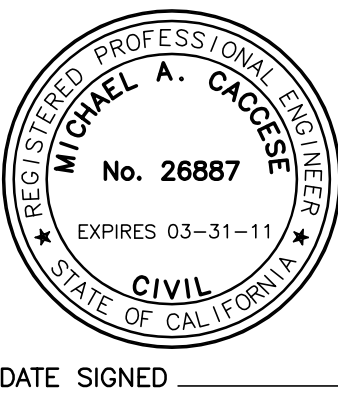
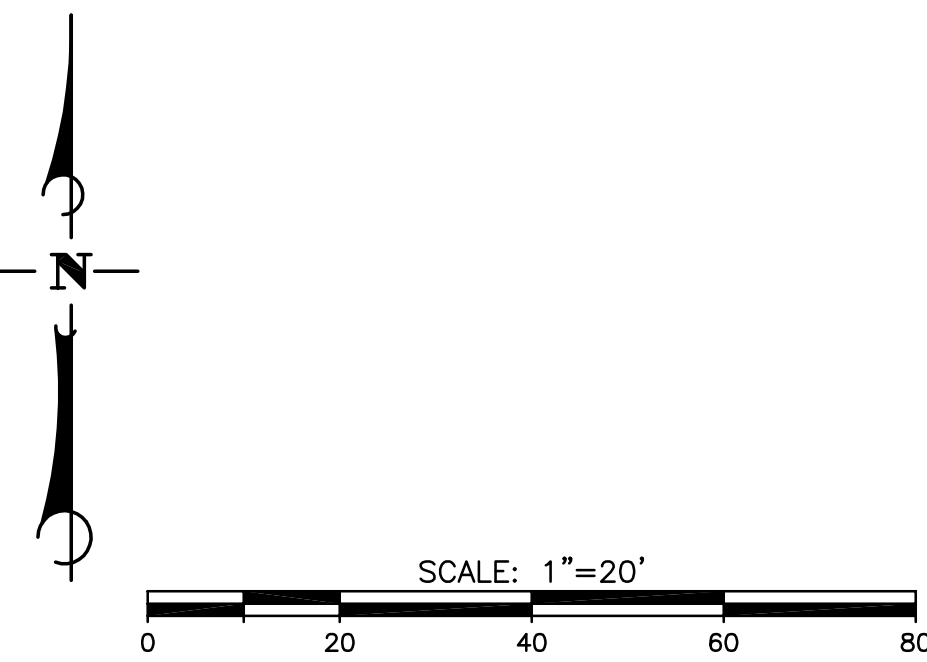
1
~
RIBBON GUTTER
INFILTRATION TRENCH
NO SCALE



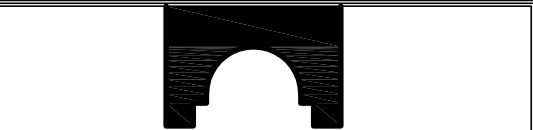
2
~
CURB INFILTRATION TRENCH
NO SCALE



3
~
SECTION
NO SCALE



DATE SIGNED _____



LENVIK & MINOR
ARCHITECTS

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A California Corporation

Consultant

MAC Design Associates
CIVIL ENGINEERING • LAND PLANNING • BRIDGE DESIGN
1535 LUP DRIVE, SUITE 4, GOLETA, CALIF. 93109 (805) 967-4748

Revisions

Date	#	Remarks

Client

Cortona Opportunity, LTD
c/o Dakota Pacific
5216 Hollister Avenue #12
Santa Barbara, CA 93111

Development Plan
Submittal
Rincon Palms
Hotel & Restaurant
6868 & 6878 Hollister Ave.
Goleta, California

Preliminary Site
Grading and
Drainage Plan

Date 01/02/09	Job Number 0319
Drawn By MAC	Checked by MAC

Sheet C1 of 2 Sheets

C1

Revisions		
Date	#	Remarks

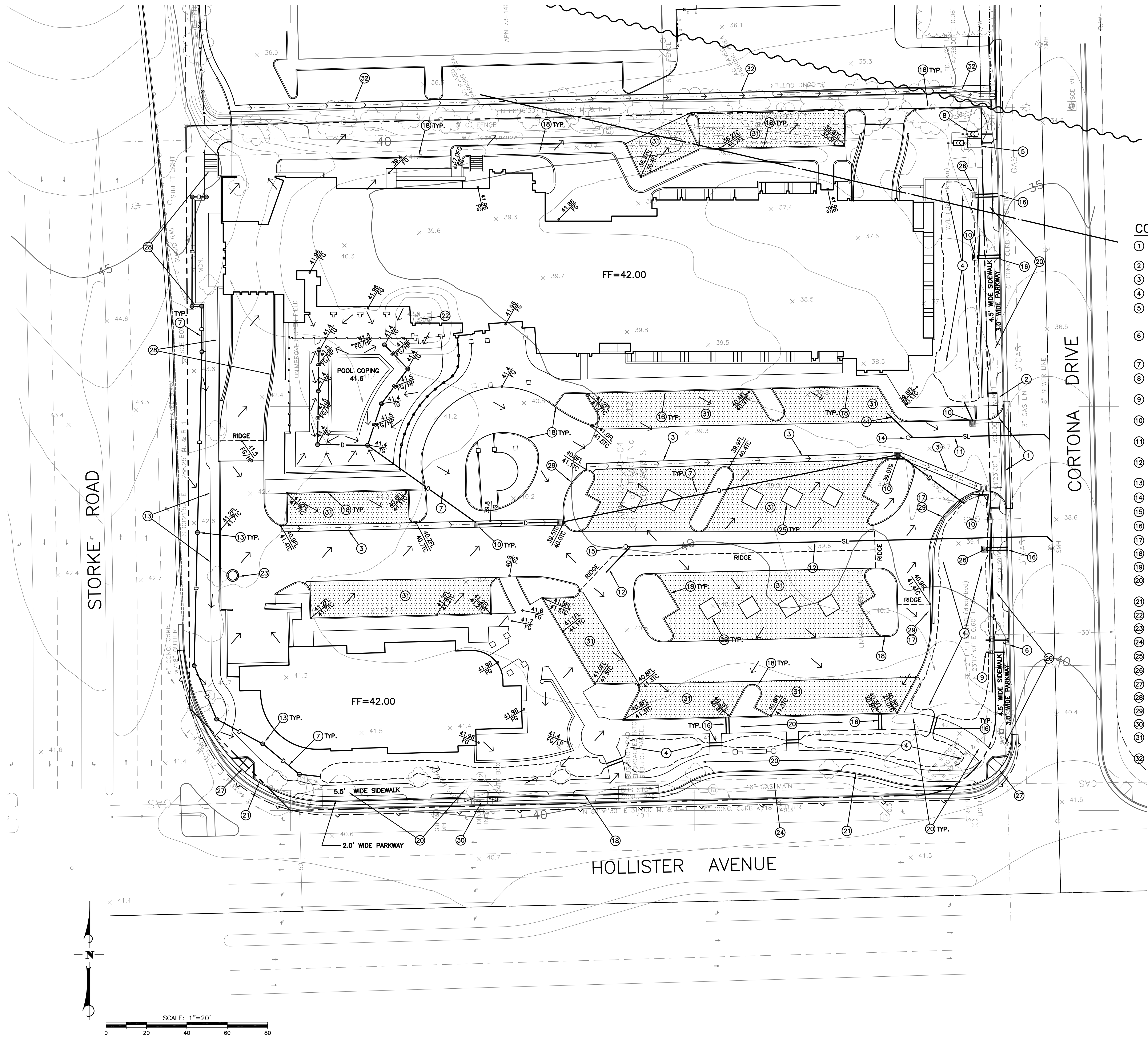
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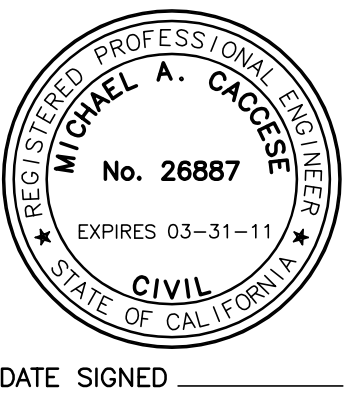
Date 01/02/09	Job Number 0319
Drawn By MAC	Checked by MAC
Sheet C2	of 2 Sheets

C2



CONSTRUCTION NOTES

1. CONSTRUCT RADIUS CURVE DRIVEWAY TYPE 1 PER S.B. COUNTY PUBLIC WORKS STD. DTL. 3-050.
2. CONSTRUCT CASE CM CURB RAMP PER CALTRANS STD. PLAN A88B.
3. CONSTRUCT RIBBON GUTTER/INFILTRATION TRENCH PER DTL. 1 ON SHT. C1.
4. LOCATION OF ON-SITE BIOFILTER.
5. CONSTRUCT 6" TURBO METER INSTALLATION FOR HOTEL POTABLE WATER PER GOLETA WATER DISTRICT STD. DTL. 2-10. CONSTRUCT 6" REDUCED PRESSURE DETECTOR ASSEMBLY PER G.W.D. STD. DTL. 4-01.
6. CONSTRUCT 2" WATER SERVICE FOR RESTAURANT POTABLE WATER PER GOLETA WATER DISTRICT STD. DTL. 2-03. CONSTRUCT 2" REDUCED PRESSURE DETECTOR ASSEMBLY PER G.W.D. STD. DTL. 4-01.
7. CONSTRUCT 8" HDPE STORM DRAIN.
8. CONSTRUCT 6" DOUBLE CHECK DETECTOR ASSEMBLY WITH FIRE CONNECTION FOR HOTEL FIRE WATER PER GOLETA WATER DISTRICT STD. DTL. 4-02.
9. CONSTRUCT 2" DOUBLE CHECK DETECTOR ASSEMBLY FOR RESTAURANT FIRE WATER PER GOLETA WATER DISTRICT STD. DTL. 4-02.
10. CONSTRUCT 12" x 12" PRECAST CONC. CATCH BASIN. CATCH BASINS IN PAVED AREAS TO HAVE TRAFFIC GRATES. ALL GRATES TO BE ADA COMPLIANT.
11. CONSTRUCT 6" PVC SEWER LATERAL FOR HOTEL PER GOLETA WEST SANITARY DISTRICT STD. DTL. 4.2.
12. CONSTRUCT 4" PVC SEWER LATERAL FOR RESTAURANT PER GOLETA WEST SANITARY DISTRICT STD. DTL. 4.2.
13. CONSTRUCT 12" x 12" NDS ATRIUM GRATE WITH 12" x 12" ADAPTER WITH 8" OUTLET.
14. CONSTRUCT 6" SEWER CLEANOUT PER GOLETA WEST SANITARY DISTRICT STD. DTL. 4.5.
15. CONSTRUCT 4" SEWER CLEANOUT PER GOLETA WEST SANITARY DISTRICT STD. DTL. 4.5.
16. CONSTRUCT 18" WIDE SIDEWALK DRAIN PER S.B. CO. PUBLIC WORKS STD. DTL. 2-070.
17. PROVIDE 12" WIDE SLOT IN CURB FACE @ 9' O.C. FOR STORM WATER RUNOFF.
18. CONSTRUCT SB-18 CURB PER S.B. CO. PUBLIC WORKS STD. DTL. 3-100.
19. CONSTRUCT A1-6 CURB PER S.B. CO. PUBLIC WORKS STD. DTL. 3-100.
20. CONSTRUCT P.C. CONC. SIDEWALK PER S.B. CO. PUBLIC WORKS STD. DTL. 4-010 & 4-040 (MIN. WIDTH OF SIDEWALK: HOLLISTER AVE=5.5', CORTONA DR=4.5').
21. CONSTRUCT SB-24 CURB PER S.B. CO. PUBLIC WORKS STD. DTL. 3-100.
22. REMOVE EXISTING MONITORING WELL IN ACCORDANCE WITH CITY OF GOLETA REQUIREMENTS.
23. CONSTRUCT MONITORING WELL IN ACCORDANCE WITH CITY OF GOLETA STANDARDS.
24. CONSTRUCT CONC. BUS POCKET PER S.B. CO. PUBLIC WORKS STD. DTL. 5-120 & 5-130.
25. CONSTRUCT EDGE OF PAVEMENT (NO CURB).
26. CONSTRUCT 24" x 24" PRECAST CONC. CATCH BASIN WITH PARKWAY GRATE.
27. CONSTRUCT CASE A CURB RAMP PER CALTRANS STD. PLAN A88A.
28. CONSTRUCT C.M.U. RETAINING WALL.
29. CONSTRUCT CURB INFILTRATION TRENCH PER DTL. 2 ON SHT. C1.
30. CONSTRUCT TYPE A DROP INLET PER S.B. CO. PUBLIC WORKS STD. DTL. 2-020 & 2-025.
31. CONSTRUCT PERVIOUS CONCRETE PER DTL. 3 ON SHT. C1 (PAVERS MAY BE SUBSTITUTED UPON APPROVAL OF ENGINEER)
32. DEMO EXIST. RIBBON GUTTER & CONSTRUCT RIBBON GUTTER/INFILTRATION TRENCH PER DTL. 1 ON SHT. C1.

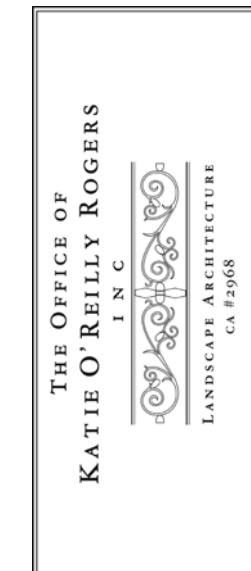


DATE SIGNED _____



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operation

Consult



Revisions

[illegible]

Client

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c/o Daketta Pacific
5276 Hollister Avenue #212
Santa Barbara, CA 93111

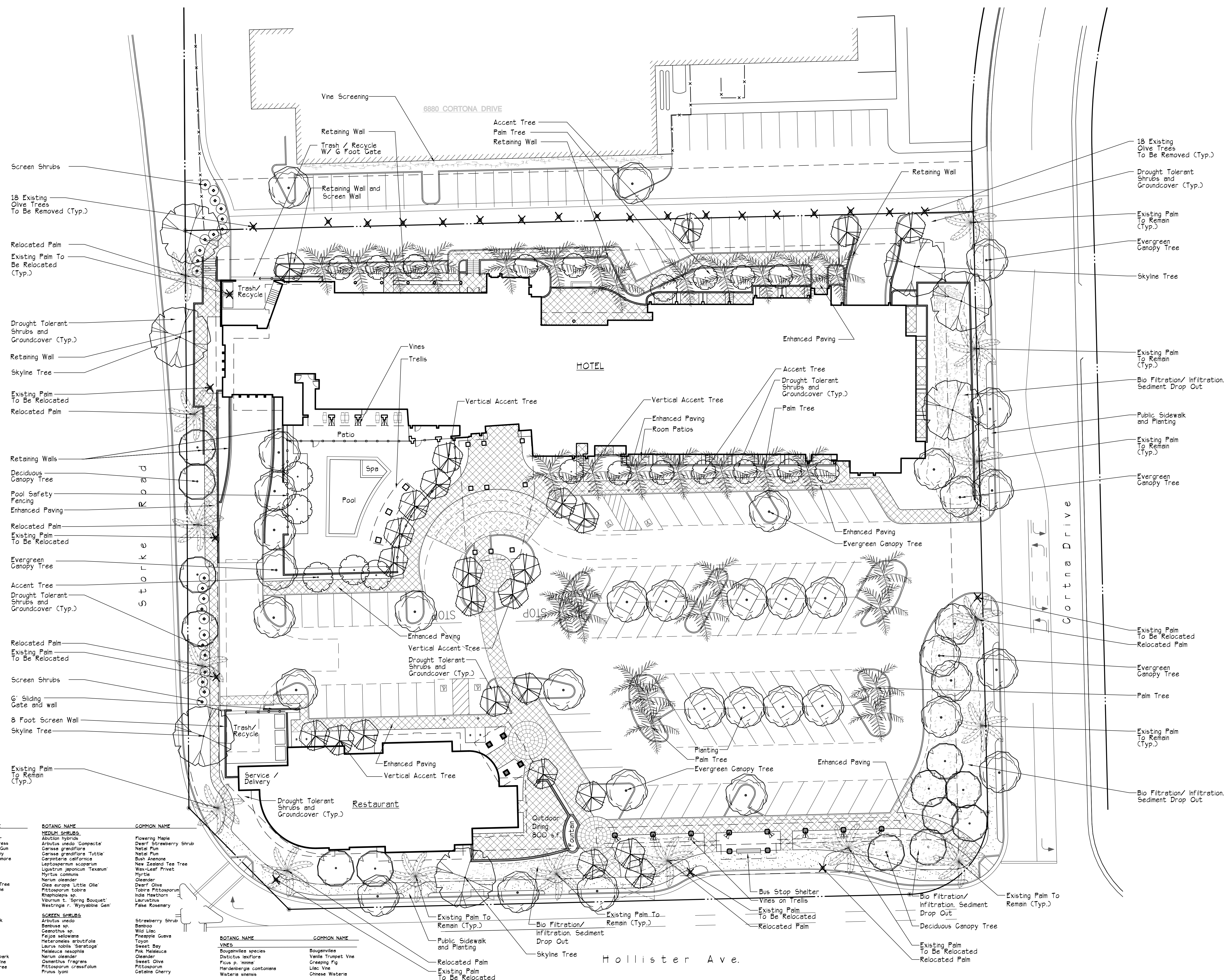
Rincon Palms Hotel and Restaurant

6868/6878 Hollister
Ave. Goleta, California

PRELIMINARY LANDSCAPE PLAN

Date	Job Number
01/02/09	XXX
Drawn By	Checked by
KOR, CDK	RDC
Sheet	of Sheets

L1



PRELIMINARY PLANT LIST

[illegible]

NOTE: IRRIGATION TO BE DRIP, LOW-FLOW, OR LOW VOLUME
SPRAY SYSTEMS ON AUTOMATIC CONTROLLER

BOTANG NAME _____ COMMON _____

VINES	
Bougainvillea species	Bougainvillea
Distictus laxiflora	Vanilla Trumpet Vine
Ficus p. 'minima'	Creeping Fig
Mardenbergia cantoniensis	Lilac Vine
Philodendron	Chinese Wisteria

BIOFILTRATION PLANTS

Acorus gramineus	Acorus
Alta fescue	Tall Fescue
Bromus carinatus	Bromus
Buchloe dactyloides	Buffalo Grass
Carex spp.	Sedge
Meadum brachyantherum	Meadow Barley
Juncus spp	Rush
Nasella pulchra	Purple Needle Grass

Number of patients

Proposed Site Plan

