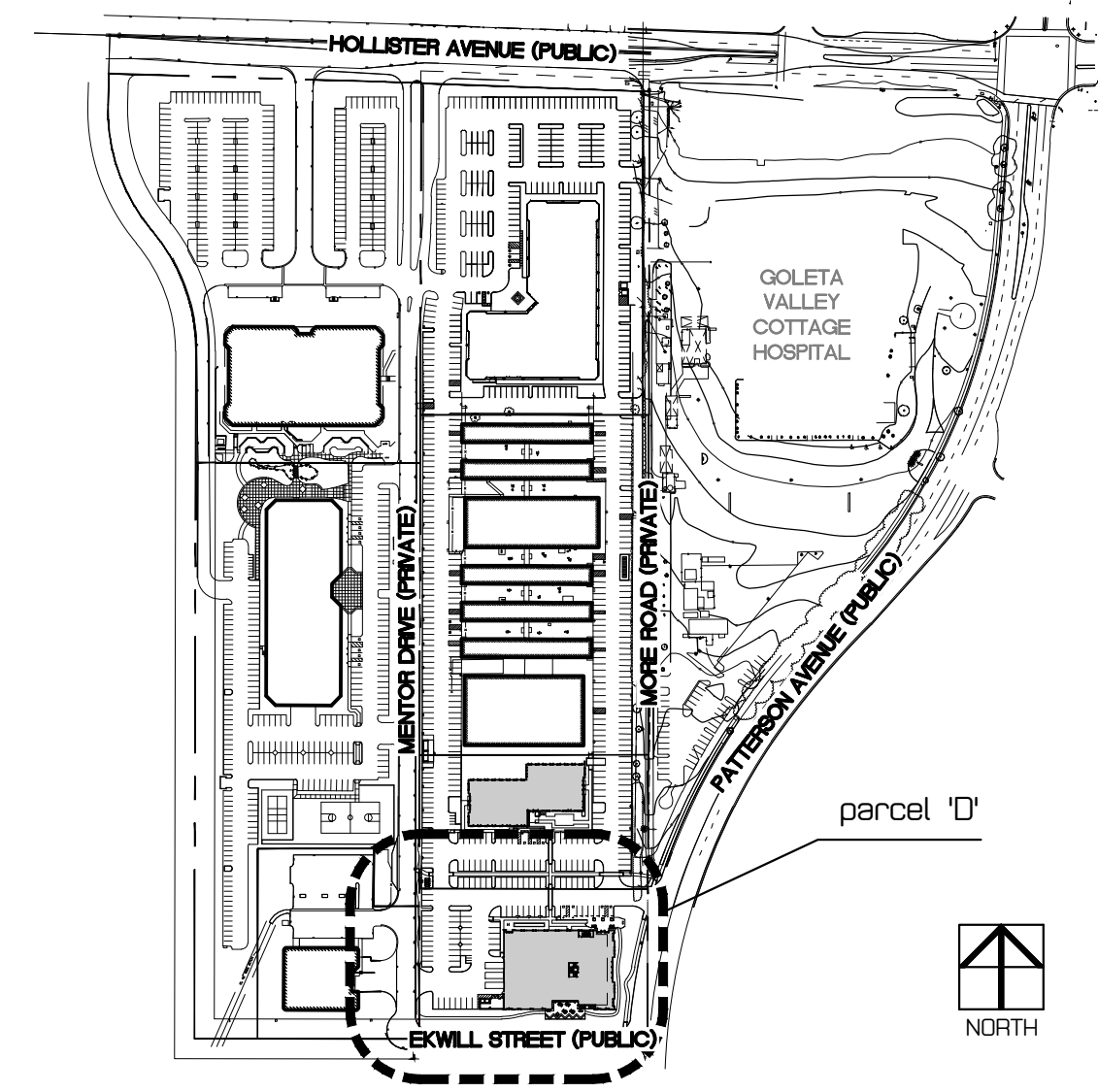
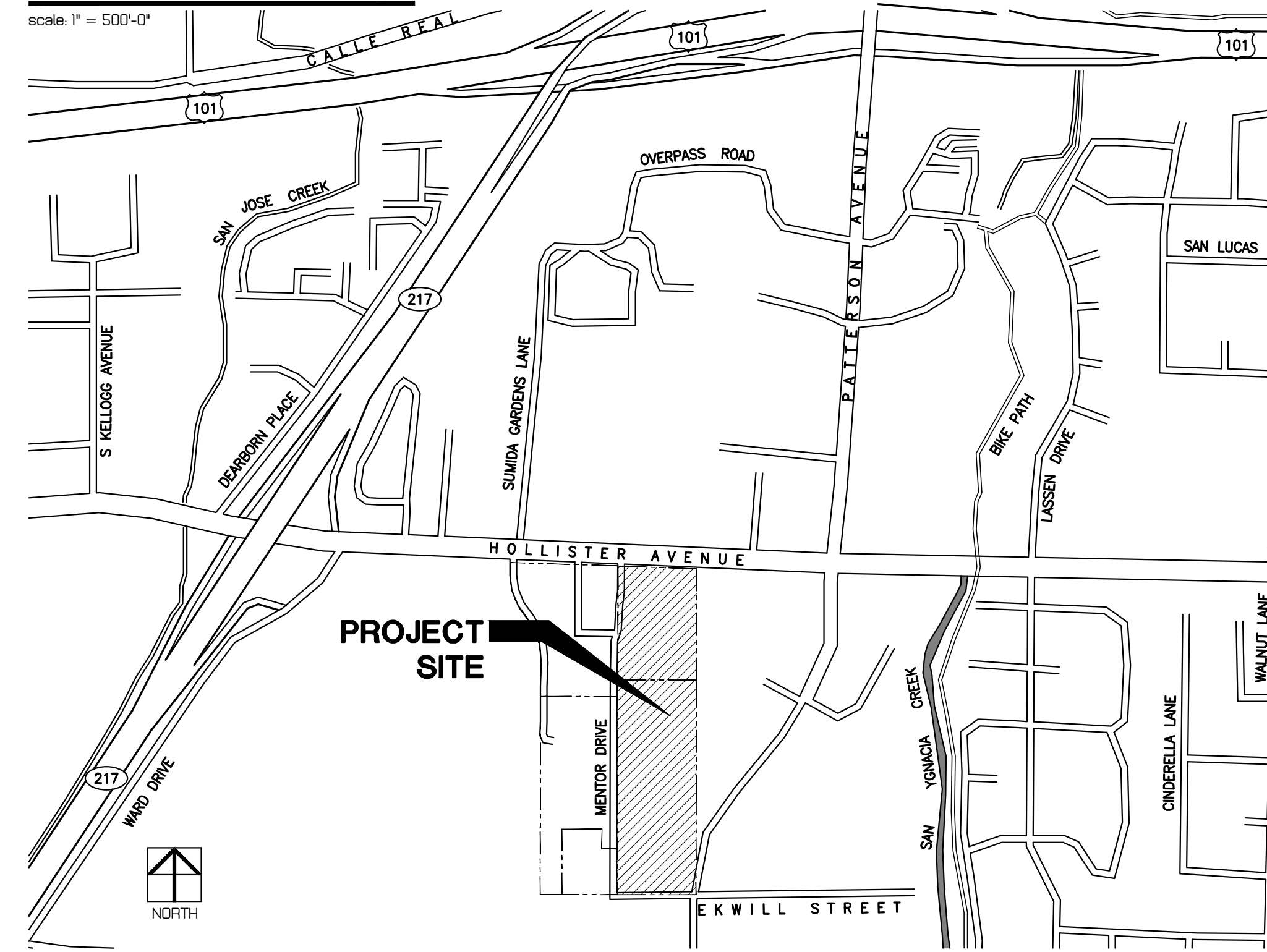


key plan



vicinity map



PARCEL 'D'

5385 HOLLISTER AVENUE, GOLETA, CALIFORNIA
 (APN 071-140-075)
 Development Plan Amendment, Subdivision and New Development Plan
 5385 Hollister Avenue, Goleta, CA (apn: 071-140-075) for
 Patterson Associates, LLC and Seymour Duncan
 with associated
 Substantial Conformity Determination - 5383 Hollister Avenue, Goleta, CA (apn: 071-140-074) for
 Santa Barbara Corporate Center, LLC.

project information

PROJECT ADDRESS: 5385 HOLLISTER AVENUE (PARCEL A) & 5385 HOLLISTER AVENUE (PARCEL B)
 GOLETA, CA 93111
 APN: 071-140-074 (PARCEL A) & 071-140-075 (PARCEL B)
 GENERAL PLAN LAND USE DESIGNATION: OFFICE AND INSTITUTIONAL
 PROPERTY ZONING: OI - OFFICE AND INSTITUTIONAL
NOTE: PARCEL 'B' (POST SUBDIVISION) AND PROPOSED PARCEL 'C' WILL BECOME AN INTERIOR LOT POST SUBDIVISION WITH 10'-0" SETBACKS ON ALL SIDES

IN FEMA FLOOD ZONE: NO
 FLOOR AREA RATIO (F.A.R.): NOT APPLICABLE IN OI ZONE; SEE BUILDING COVERAGE
 ALLOWABLE BUILDING COVERAGE: 40% MAXIMUM
 ALLOWABLE BUILDING HEIGHT: 35'-0" MAXIMUM
 REQUIRED LANDSCAPE COVERAGE: 10% MINIMUM
 DEDICATIONS: 20'-0" UN-NAMED PUBLIC ROAD PER RESOLUTION #11-411 (MORE ROAD)
 42'-0" FROM CENTERLINE OF PATTERSON AVENUE (ROAD RIGHT-OF-WAY)
 32'-0" FROM CENTERLINE OF EKWILL STREET (ROAD RIGHT-OF-WAY)
 RECIPROCAL EASEMENT AGREEMENT ("REA") 2007-0048462

CONJUNCTIVE PARKING AGREEMENT:
PROPOSED PARCEL 'D' WITH 2-STORY OFFICE/RAID & TECHNOLOGY BUILDING
 GROSS LOT AREA: 84,078 SF (2.04 AC)
 NET LOT AREA (W/O DEDICATIONS): 12,102 SF (1.61 AC)
 GROSS AREA (1) FLOOR AREA (2)
 1ST FLOOR AREA: 22,051 SF 2,830 SF
 2ND FLOOR AREA: 10,294 SF 4,836 SF
 TOTAL PROPOSED FLOOR AREA: 32,345 SF 7,666 SF
 TRASH ENCLOSURE: 153 SF 171 SF
 EQUIPMENT STORAGE: 567 SF 504 SF
 ACTUAL BUILDING HEIGHT: 2-STORY, 34'-4 1/4" ASB; LOWEST EXISTING GRADE
 TYPE OF CONSTRUCTION: TYPE III-B FULLY SPRINKLERED
 OCCUPANCY TYPE: B-BUSINESS / F-2 LOW-HAZARD FACTORY INDUSTRIAL / S-2 LOW-HAZARD STORAGE
 OCCUPANT LOAD: 258 OCCUPANTS
 REQUIRED PARKING: 105 STALLS REQUIRED @ 1 / 300 SF (OFFICE, RAID AND TECHNOLOGY)
 TOTAL ON-SITE PARKING PARCEL 'D': 67 STALLS (INCLUDING (2) STANDARD ACCESSIBLE STALLS, (1) STANDARD & (1) VAN ACCESSIBLE EV CHARGING STALLS, (4) STANDARD EV CHARGING STALLS, (10) COMPACT STALLS & (5) MOTORCYCLE STALLS)
 REA PARKING PROVIDED: 105 STALLS PROVIDED @ 1 / 300 SF (INCLUDING (2) STANDARD ACCESSIBLE STALLS, (1) STANDARD & (1) VAN ACCESSIBLE EV CHARGING STALLS, (4) STANDARD EV CHARGING STALLS, (10) COMPACT STALLS & (5) MOTORCYCLE STALLS)
 LOADING SPACE: 2 LOADING SPACES REQUIRED; 2 LOADING SPACES PROVIDED & 1 FUTURE LOADING SPACE
 REQUIRED BICYCLE PARKING: 12 SHORT-TERM & 12 LONG-TERM W/ 4 CHARGING OUTLETS
 LONG-TERM 1 SPACE / 12 VEHICLE SPACE
 BICYCLE PARKING PROVIDED: 12 SHORT-TERM & 12 LONG-TERM W/ 4 CHARGING OUTLETS
 SETBACKS (EXTERIOR LOT):
 FRONT: 15'-0" 15'-0"
 INTERIOR SIDE: 15'-0" 15'-0"
 STREET SIDE: (4) 15'-0" 15'-0"
 REAR: 15'-0" 15'-0"

project description

SEYMOUR DUNCAN AND BERMAN OFFICE BUILDING PROJECT NARRATIVE.
 THE PROJECT PROPOSED INCLUDES TWO NEW STRUCTURES AND THE ASSOCIATED SITE DEVELOPMENT, WITHIN A LARGER PRE-EXISTING DEVELOPED SITE. THE LARGER OF THE TWO NEW BUILDINGS IS A 34,002 S.F. TWO STORY OFFICE, RAID AND TECHNOLOGY BUILDING FOR SEYMOUR DUNCAN, AN INTERNATIONAL GOLETA BASED ACOUSTICAL TECHNOLOGY COMPANY. THIS BUILDING IS DESIGNED TO ACCOMMODATE THE NEEDS AND FUNCTIONS OF THE USER AS WELL AS BEING CONSISTENT IN SCALE, STYLE AND CHOICE OF MATERIALS AND COLORS WITH THE SURROUNDING AREA. NATURAL COLORS, MATERIALS AND FORM ARE USED TO REDUCE THE SCALE OF BUILDING AND PROVIDE FOR AN ATTRACTIVE VISUAL EXPERIENCE. LANDSCAPE HAS BEEN CAREFULLY DESIGNED TO COMPLEMENT THE INTENT OF THE BUILDINGS TO FIT WELL INTO ITS SURROUNDING ENVIRONMENT AND MAXIMIZE BIOFILTRATION AND ON-SITE RETENTION. EXTERIOR WALKING PATHS, PATIO AREAS AND EXTERIOR SEATING ALL ARE PROVIDED TO ENHANCE THE EMPLOYEE EXPERIENCE WITHIN THE SITE.
 THE SECOND BUILDING IS A 14,000 S.F., SINGLE STORY MULTI-TENANT OFFICE BUILDING. THIS BUILDING IS DESIGNED TO BE COMPATIBLE WITH THE EXISTING STRUCTURES AS WELL AS THE NEW SEYMOUR DUNCAN BUILDING. HEIGHT, FORM, MATERIALS AND COLORS ARE ALL USED TO MAKE THIS BUILDING AN UPDATED, ENHANCED COMPLIMENT TO THE OLDER EXISTING BUILDINGS. THIS BUILDING'S PLAN SHAPE HAS BEEN DESIGNED TO CONSIDER SURROUNDING EXISTING LANDSCAPE AS WELL, PROVIDING FOR NEW ENHANCED LANDSCAPE AND PEOPLE SPACES AROUND THE BUILDING. AGAIN, LANDSCAPE HAS BEEN CAREFULLY CONSIDERED TO COMPLEMENT THE SITE AND MAXIMIZE BIOFILTRATION AND ON-SITE RETENTION AND PROVIDE FOR POSITIVE USER EXPERIENCE.

SUBSTANTIAL CONFORMITY DETERMINATION (SCD) - 5385 HOLLISTER AVENUE
 AN SCD IS REQUESTED ON PARCEL A TO ALLOW RESTRIPING OF STANDARD SIZE PARKING SPACES TO CREATE 46 COMPACT PARKING SPACES AND ADD SHORT-TERM LONG-TERM BICYCLE PARKING AND MOTORCYCLE PARKING.

parking dimensions

STALL TYPE	REQUIRED	PROVIDED
EXISTING STALL	9'-0" x 16'-6"	9'-0" x 18'-0"
STANDARD STALL	9'-0" x 16'-6"	9'-0" x 18'-0"
COMPACT STALL	8'-0" x 14'-6"	8'-0" x 18'-0"
ACCESSIBLE STALL	9'-0" x 18'-0" N/S-0" LOADING SPACE	9'-0" x 18'-0" N/S-0" LOADING SPACE
ACCESSIBLE VAN STALL	12'-0" x 18'-0" N/S-0" LOADING SPACE	12'-0" x 18'-0" N/S-0" LOADING SPACE
EV CHARGING STALL	9'-0" x 16'-6"	9'-0" x 18'-0"
ACCESSIBLE EV CHARGING STALL	9'-0" x 18'-0" N/S-0" LOADING SPACE	9'-0" x 18'-0" N/S-0" LOADING SPACE
ACCESSIBLE VAN EV CHARGING STALL	12'-0" x 18'-0" N/S-0" LOADING SPACE	12'-0" x 18'-0" N/S-0" LOADING SPACE
MOTORCYCLE PARKING	4'-0" x 9'-0"	4'-0" x 9'-0"
LOADING AREA	10'-0" x 30'-0" W/14'-0" CLR. HEIGHT	10'-0" x 30'-0" W/14'-0" CLR. HEIGHT
BICYCLE PARKING	2'-0" x 6'-0"	2'-0" x 6'-0"

PROPOSED PARCEL 'D' WITH 2-STORY OFFICE/RAID & TECHNOLOGY BUILDING
 GROSS LOT AREA: 84,078 SF (2.04 AC)
 NET LOT AREA (W/O DEDICATIONS): 12,102 SF (1.61 AC)
 GROSS AREA (1) FLOOR AREA (2)
 1ST FLOOR AREA: 22,051 SF 2,830 SF
 2ND FLOOR AREA: 10,294 SF 4,836 SF
 TOTAL PROPOSED FLOOR AREA: 32,345 SF 7,666 SF
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 REA PARKING PROVIDED: 105 STALLS PROVIDED @ 1 / 300 SF (INCLUDING (2) STANDARD ACCESSIBLE STALLS, (1) STANDARD & (1) VAN ACCESSIBLE EV CHARGING STALLS, (4) STANDARD EV CHARGING STALLS, (10) COMPACT STALLS & (5) MOTORCYCLE STALLS)
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 SETBACKS (EXTERIOR LOT):
 FRONT: 15'-0" 15'-0"
 INTERIOR SIDE: 15'-0" 15'-0"
 STREET SIDE: (4) 15'-0" 15'-0"
 REAR: 15'-0" 15'-0"

NOTES:
 (1) GROSS FLOOR AREA, MEASURED IN ACCORDANCE WITH 2014 CBC SECTION 202
 (2) NET FLOOR AREA, MEASURED IN ACCORDANCE WITH CITY OF GOLETA ZONING ORDINANCE SECTION 17.03.070
 (3) PROPOSED PARCEL B AND PARCEL C ARE EACH AN INTERIOR LOT PURSUANT TO SECTION 17.03.020
 (4) EXISTING PARCEL B AND PROPOSED PARCEL D REQUIRE A SIDE STREET SETBACK FROM EKWILL STREET PURSUANT TO SECTION 17.03.020 AND PARKING SETBACK FROM THE EKWILL STREET RIGHT-OF-WAY IN ACCORDANCE WITH SECTION 17.59.010(B)
 (5) EXISTING PARCELS A AND B AND PROPOSED PARCELS C AND D ARE SUBJECT TO A CONJUNCTIVE PARKING AGREEMENT IN ACCORDANCE WITH SECTION 17.59.010(G)(2) TITLED RECIPROCAL EASEMENT AGREEMENT, RECORDED AS DOCUMENT #2007-0048462, OFFICIAL RECORDS, COUNTY OF SANTA BARBARA ("REA").

under separate permit

- AUTOMATIC FIRE SPRINKLER SYSTEM
- SIGNAGE

parcel statistics

PROPOSED PARCEL 'D' (PROPOSED SEYMOUR DUNCAN 2-STORY RAID BUILDING)

SITE GROSS AREA	LOT SIZE	MAX. ALLOWABLE FLOOR AREA RATIO (F.A.R.)	FLOOR AREA RATIO (F.A.R.)	MAX. ALLOWABLE BUILDING COVERAGE	TOTAL BUILDING COVERAGE (BLDG. FOOTPRINT)	ACCESSORY STRUCTURE	DRIVEWAYS & DRIVE AISLES	SITE STATISTICS									
								PARKING AREA	CONCRETE SIDEWALK & CURBS	TOTAL IMPERVIOUS SURFACES	OPEN SPACE	LANDSCAPE AREA	PERMEABLE PAVERS	DECOMPOSED GRANITE TRAILS	TOTAL PERMEABLE SURFACES		
84,078 SF (2.04 AC) (100%)		NOT APPLICABLE IN OI ZONE	0.56	40%	22,051 SF (24.76%)	100 SF (0.11%)	24,633 SF (29.27%)	1,274 SF (1.51%)	1,404 SF (1.67%)	44,321 SF (44.16%)	N/A	14,953 SF (16.19%)	4,576 SF (5.14%)	2,471 SF (2.77%)	22,000 SF (24.10%)		
12,102 SF (1.61 AC) (100%)			0.44	40%	22,051 SF (30.34%)	100 SF (0.96%)	20,741 SF (28.61%)	1,274 SF (10.01%)	4,245 SF (5.84%)	32,321 SF (44.46%)	N/A	10,541 SF (14.58%)	4,576 SF (6.28%)	2,451 SF (3.37%)	17,624 SF (24.24%)		

parking statistics

17.38 PARKING COMPLIANCE TABLES

Proposed Parking Compliance Table	Requirement (1) \$17.38.040	Floor Area \$17.03.70	Parking Totals				Vehicular Parking Breakdown																						Truck Loading			Short Term Bicycle Parking \$17.38.090(A)(1)			Long Term Bicycle Parking \$17.38.090(B)(1)			Bicycle Charging \$17.38.090(C)		
			Required \$17.38.040	Proposed On-Site Parking	REA (2) Allocated	Compliance	Standard Provided On-Site	Compact Parking General Plan TE 9.5				Accessible (2019 CBC Table 11B-208.2)				Charging Stalls \$17.38.110(G)				Parking Reductions - Motorcycle \$17.38.050(A)				Loading			Required			Provided			Comply							
			Allowed	Provided On-Site	RELA (1) Allocated	Comply	Total Required	Standard Provided	EV Provided	Total Provided	Comply	Total Required	Standard Provided	Accessible	Total Provided	Comply	Allowed	Provided	Comply	Required	Provided	Comply	Required	Provided	Comply	Required	Provided	Comply	Required	Provided	Comply	Required	Provided	Comply						
Parcel A (3)	1 space per 300 sf of Floor Area	80,954	270	231	270	✓	179	46	46	46	✓	6	6	0	6	✓	0	0	0	0	N/A	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	N/A	
Parcel B	1 space per 300 sf of Floor Area	68,142	228	210	228	✓	133	42	39	39	✓	5	5	2	7	✓	23	21	2	23	✓	11	10	✓	0	1	✓	23	24	✓	23	24	✓	5	5	✓	10	10%	10%	
Parcel C	1 space per 300 sf of Floor Area	11,668	39	134	39	✓	100	26	26	26	✓	1	2	1	3	✓	4	3	1	4	✓ (3)	1	2	✓	0	0	✓	3	6	✓	3	5	✓	1	2	✓	10%	11%	10%	
Parcel D	1 space per 300 sf of Floor Area	31,216	105	67	105	✓	39	13	10	10	✓	3	2	2	4	✓	11	9	2	11	✓ (3)	5	5	✓	2	2	✓	11	12	✓	11	12	✓	3	4	✓	10%	11%	10%	
Parcels B - D	1 space per 300 sf of Floor Area	111,026	372	411	372	✓	272	81	75	75	✓	9	9	5	14	✓	38	33	5	38	✓	17	17	✓	2	3	✓	37	42	✓	37	41	✓	9	11	✓	10%	11%	10%	
Total All Parcels	1 space per 300 sf of Floor Area	191,980	642	642	642	✓	451	127	121	121	✓	15	15	5	20	✓	38	33	5	38	✓	17	17	✓	2	3	✓	37	42	✓	37	41	✓	9	11	✓	6%	7%	6%	

Notes:
 (1) Applicable Use Classifications: Business Services; Banks and Financial Institutions; Government Buildings; Information Technology; Instructional Services; Media Production; Medical, Dental & Health Related Services; Professional Services; Personal Services; Social Services; and R&D and Technology
 (2) See conjunctive parking agreement titled Reciprocal Easement Agreement, recorded as Document #2007-0048962, Official Records, County of Santa Barbara ("REA")
 (3) Parking on Parcel A adjusted pursuant to Case No. 22-0062-ZC
 (4) Pursuant to REA, Parcel B, C and D electric vehicle charging stalls available for common use of Parcels A, B, C and D

Development Plan Amendment, Subdivision and New Development Plan
 5385 Hollister Avenue, Goleta, CA (apn: 071-140-075) for
 Patterson Associates, LLC and Seymour Duncan

parcel 'D' - site statistics

Patterson Associates, LLC
 (805) 964-7200

Subdivision and Development Application
 Ekwil Street at S. Patterson Avenue

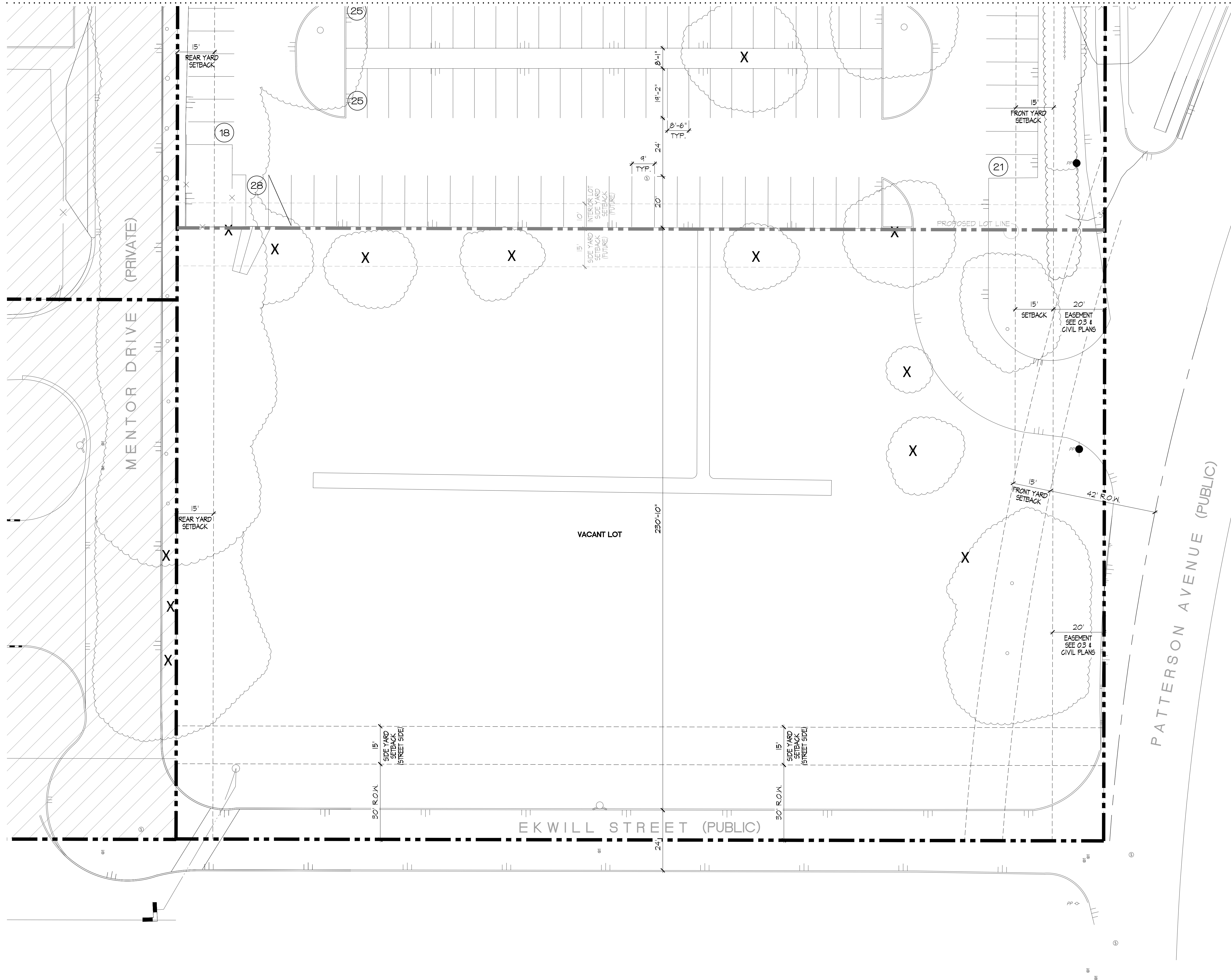
5385 Hollister Avenue Goleta, California 93111

remarks	date
APPLICATION SET	10-07-2020
REV. APPLICATION SET	06-28-2021
REVISED SHEET	12-13-2021
P.C. SET	05-20-2022
REVISION	03-22-2023
REVISION	06-15-2023
REVISION	08-03-2023

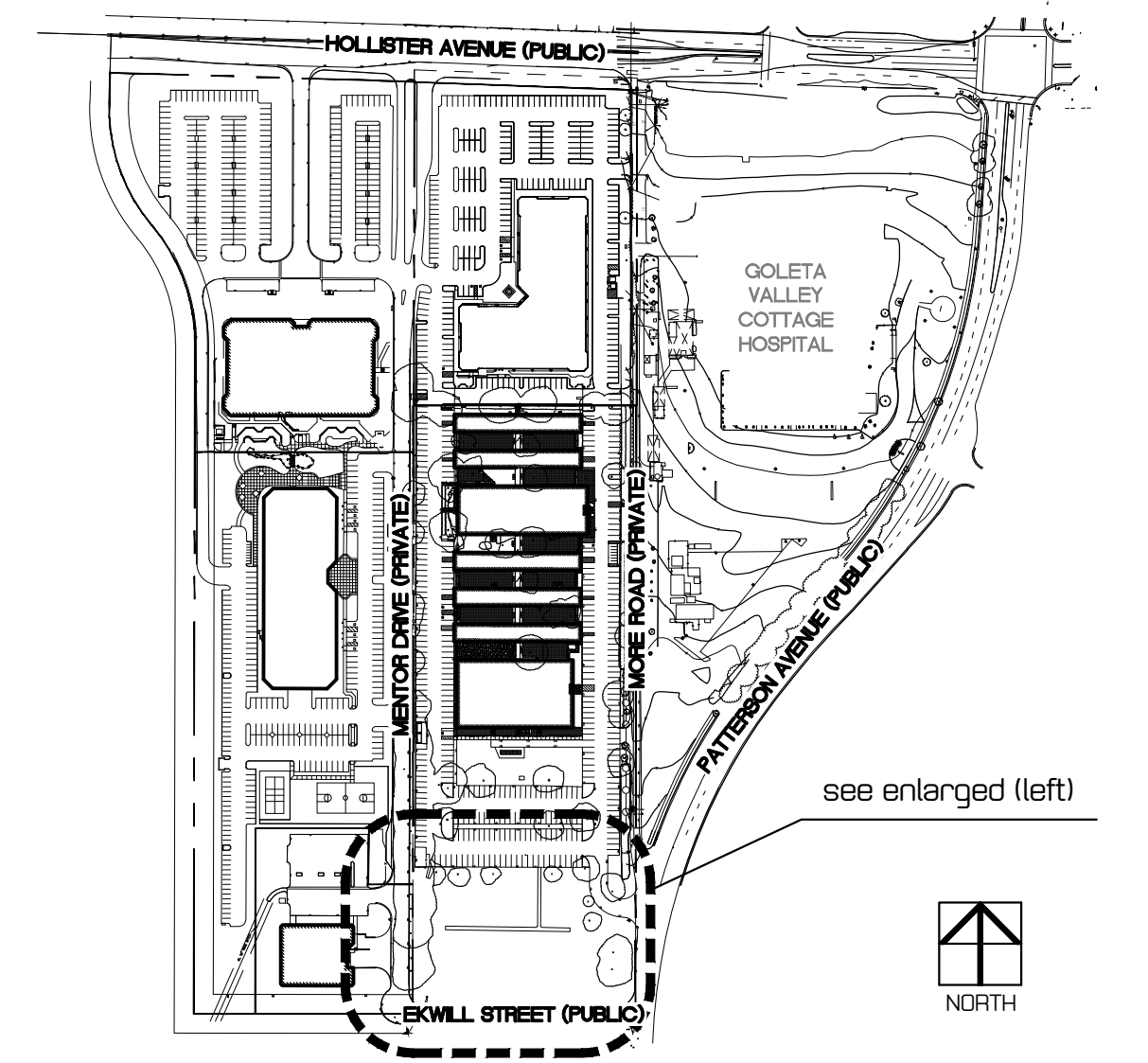
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 Agoura Hills, California 91301
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19-05-020

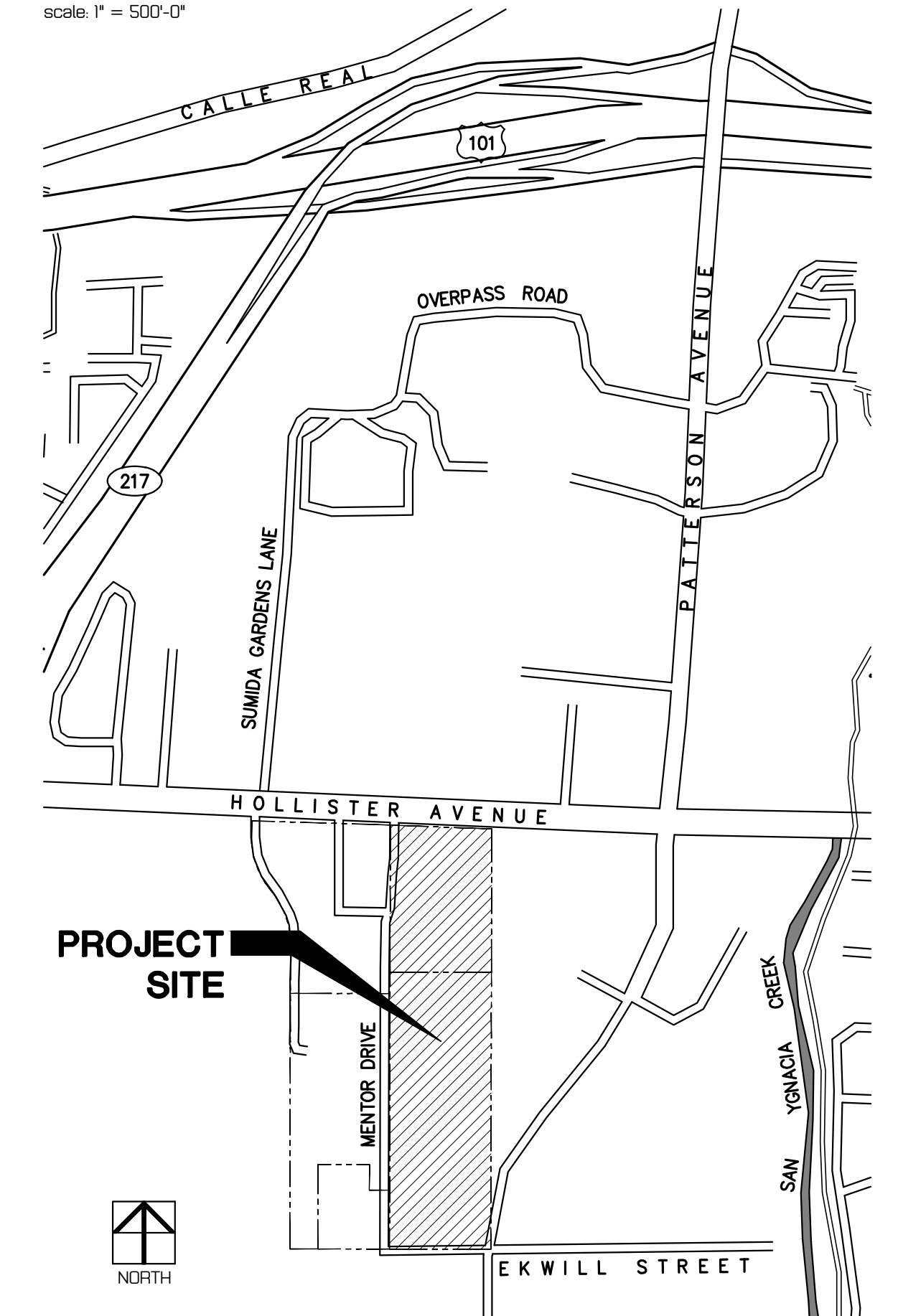
D.A.O.I.



key plan



vicinity map



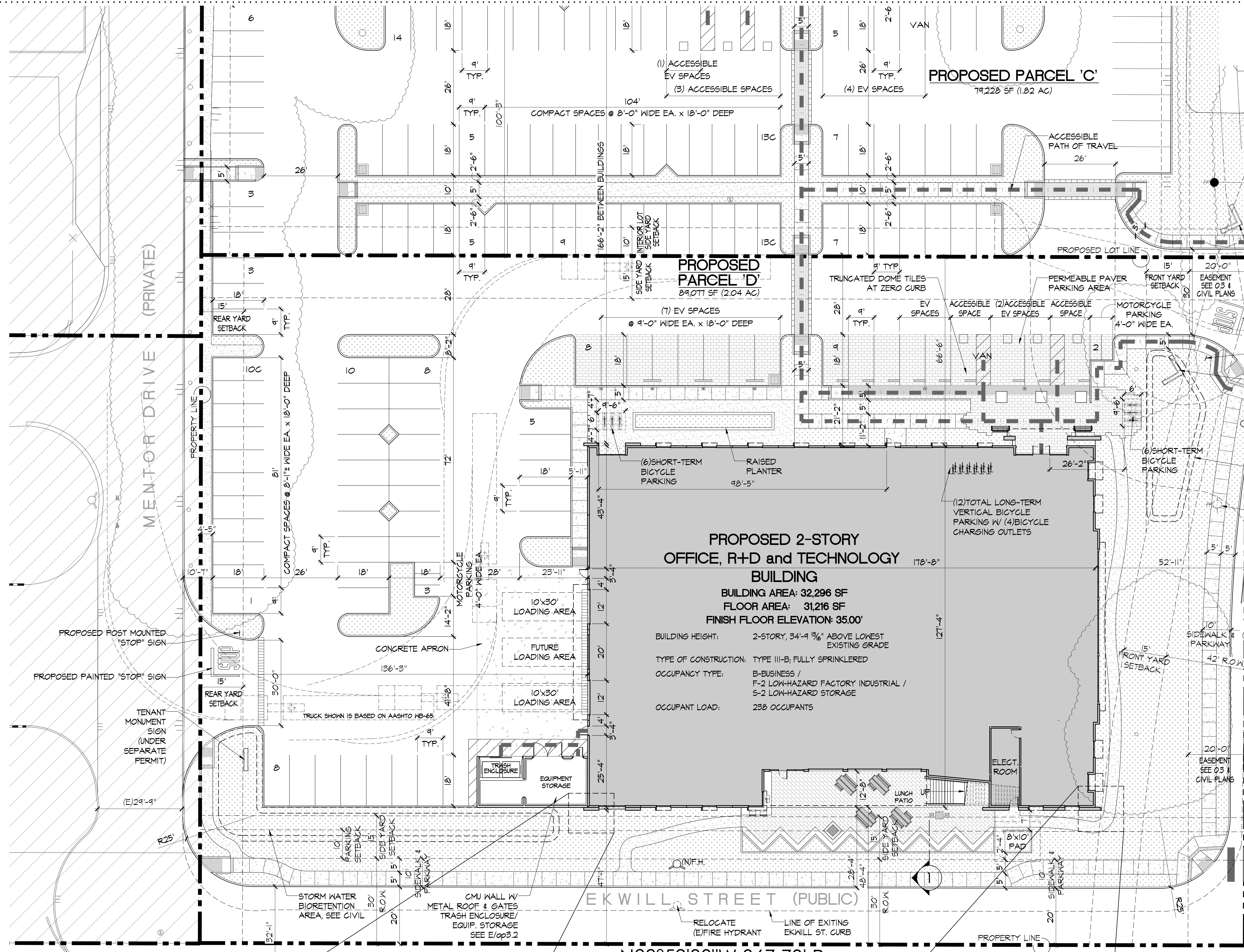
parcel 'D' - existing site plan
scale: 1/16" = 1'-0"



Patterson Associates, LLC
(805) 964-7200
Subdivision and Development Application
Ekwil Street at S. Patterson Avenue
5385 Hollister Avenue Goleta, California 93111

△	remarks	date
	APPLICATION SET	10-07-2020
	REV. APPLICATION SET	06-26-2021
	P.C. SET	05-20-2022
	REVISION	06-08-2023

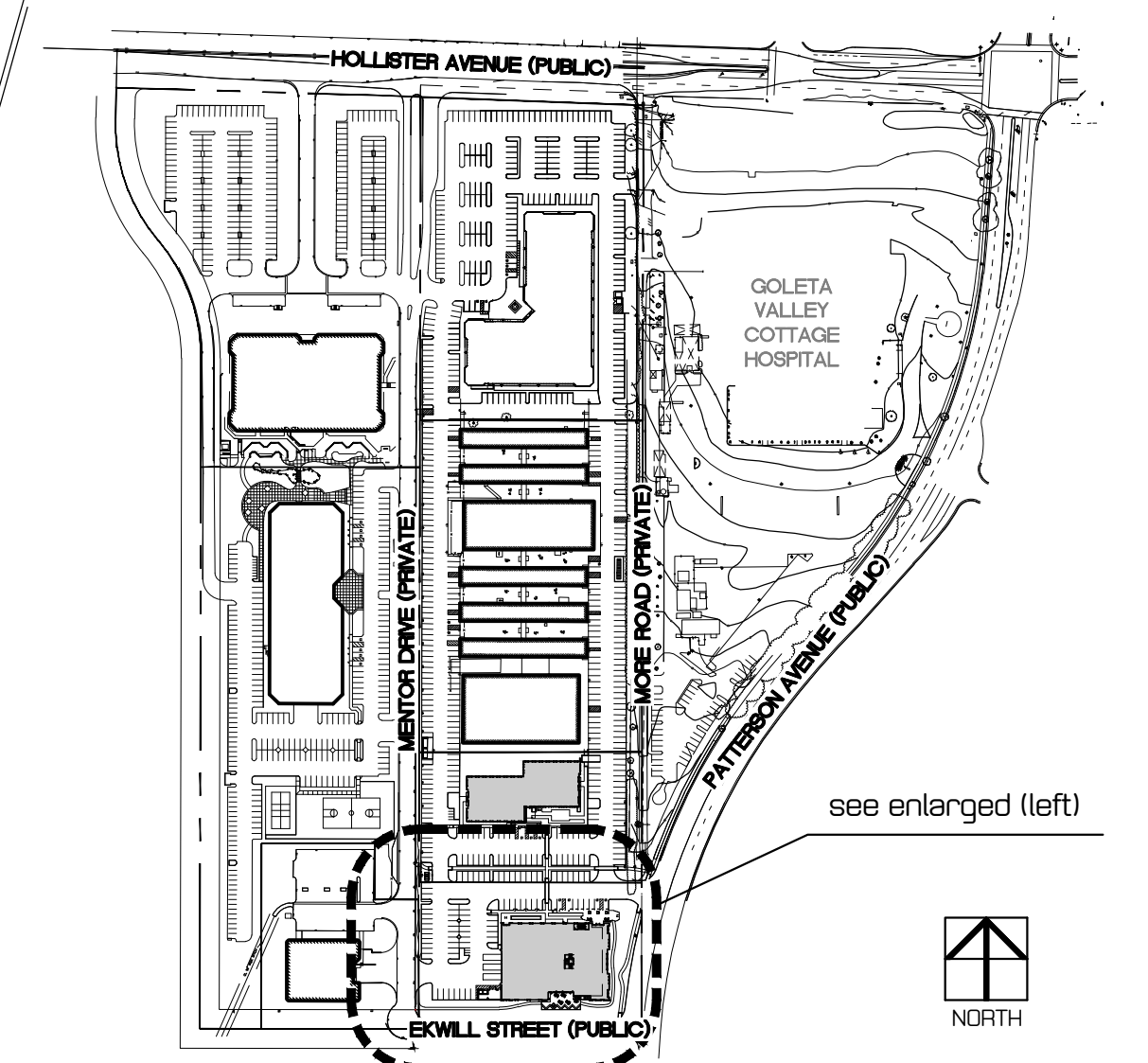
pk:a
pkarchitecture
29519 agoura road
agoura hills, california 91301
v. 813 5840057 f. 813 5840019
w. pkarchitecture.net



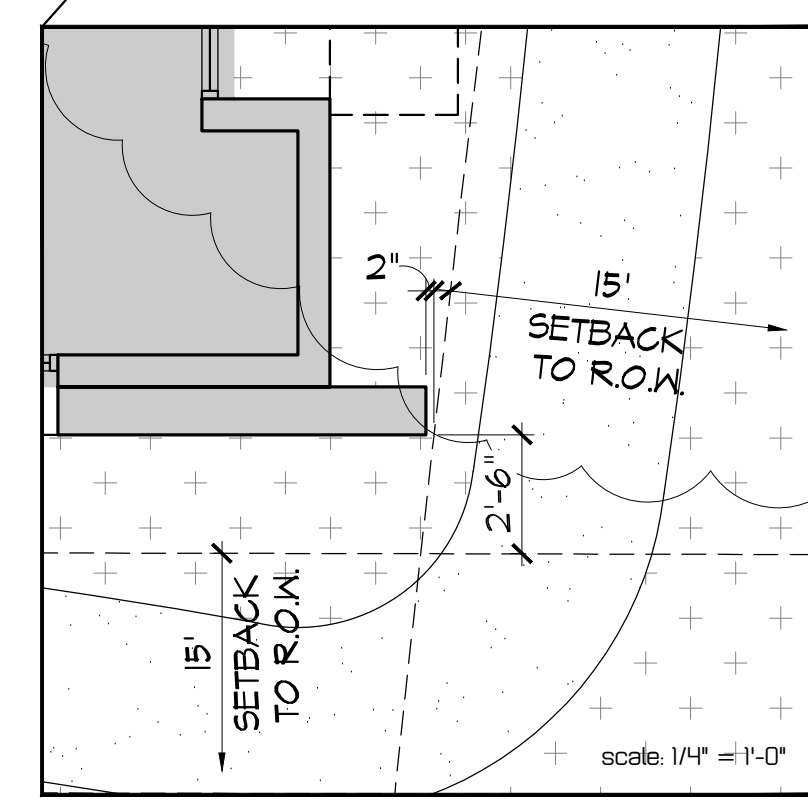
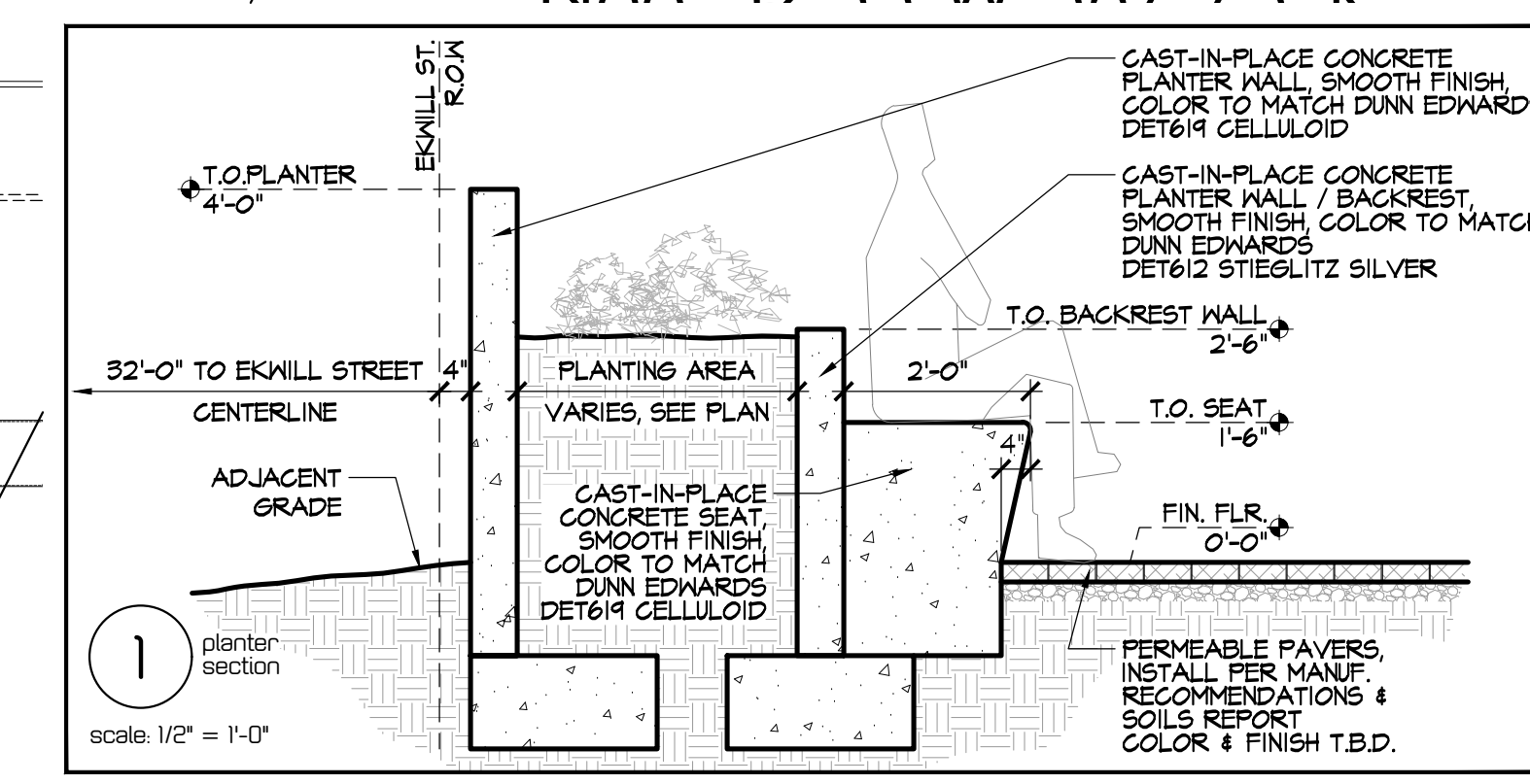
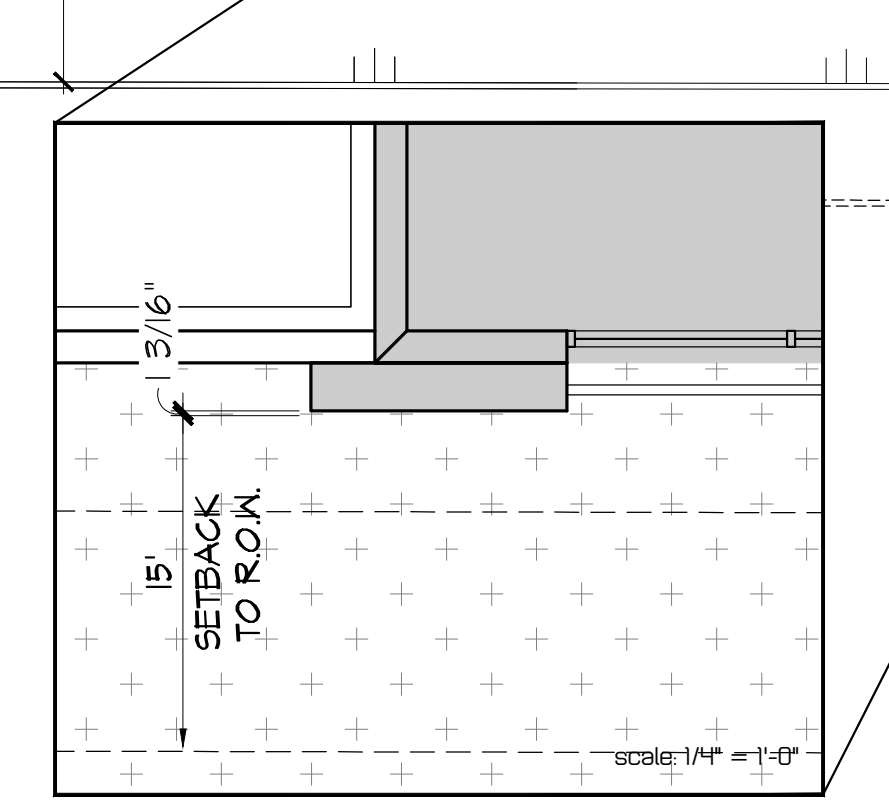
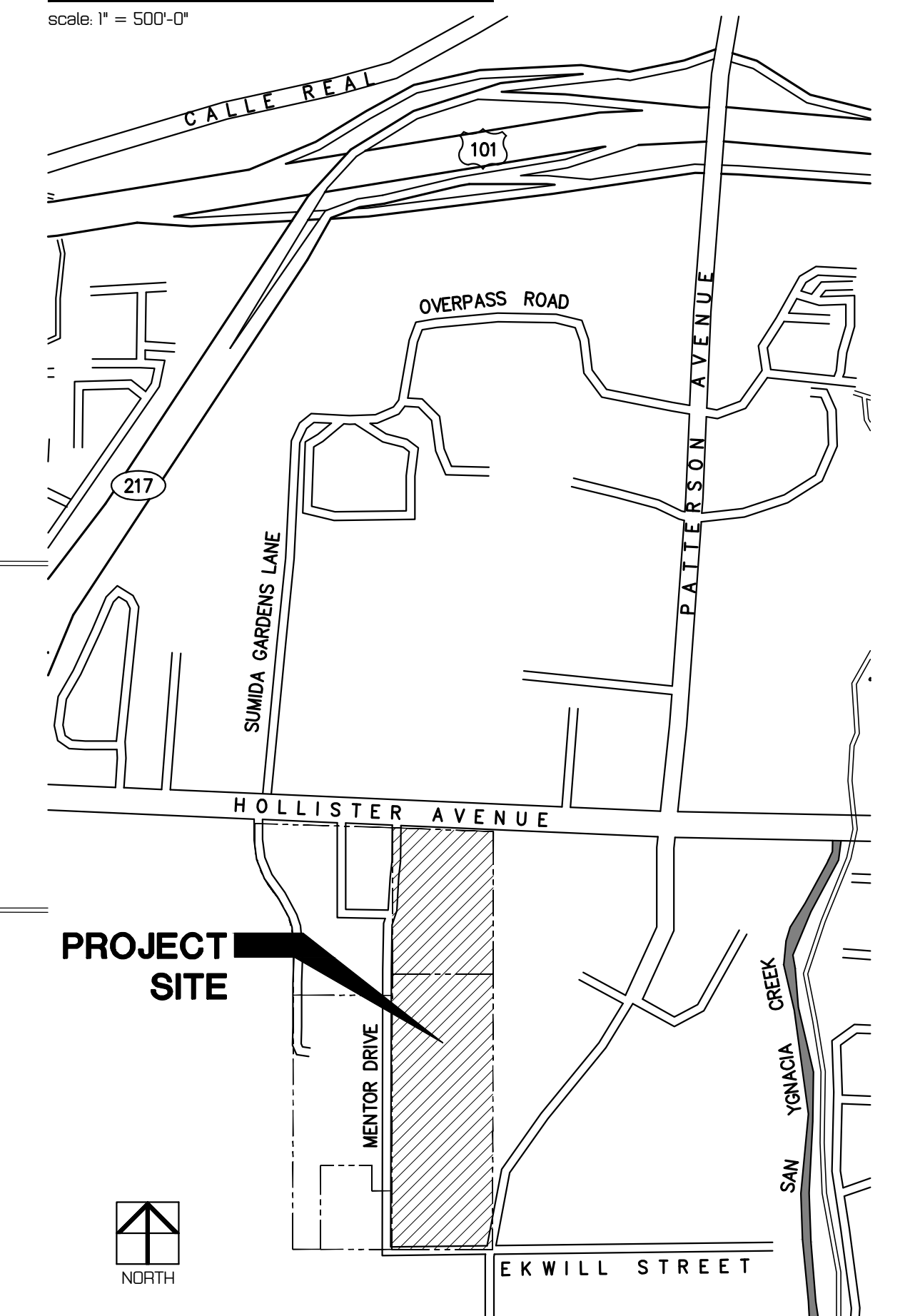
symbols legend

- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- PERMEABLE PAVERS, REFER TO LANDSCAPE DRAWINGS
- CONCRETE SIDEWALK & WALKWAYS, REFER TO CIVIL DRAWINGS
- DECOMPOSE GRANITE SURFACE, REFER TO LANDSCAPE DRAWINGS

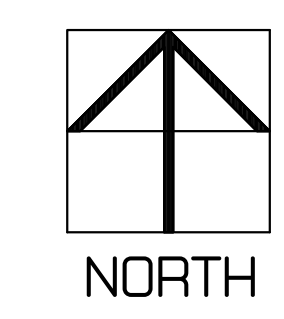
key plan



vicinity map



parcel 'D' - proposed site plan
scale: 1/16" = 1'-0"



pk.a architecture

24519 Agoura Road
agoura hills, california 91301
v 818 584 0057 f 818 584 0019
w pk.aarchitecture.net

Patterson Associates, LLC
(805) 964-7200

Subdivision and Development Application

Ekwill Street at S. Patterson Avenue

5385 Hollister Avenue Goleta, California 93111

remarks	date
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REV. APPLICATION SET	06-28-2021
REVISED SHEET	04-22-2022
P.C. SET	05-20-2022
REVISION	03-22-2023
REVISION	06-12-2023
REVISION	07-19-2023

D.A.1.1

Proposed Parcel D - 5383 Hollister Avenue (TBD)				Section 17.38.040					
Building	Location	Tenant	CBC 2019 Sec. 202 Building Area (SF)	Sec. 17.03.070 Floor Area (SF)	Use	Code Requirement	Parking Required By Use	REA Parking Provided (1)	Compliance
First Floor	R&D /Media	Seymour Duncan	10,463	10,283	R&D and Technology / Media Production Services	1 space per 500 sf	21	34	✓
First Floor	Warehouse	Seymour Duncan	2,605	2,524	Warehouse (Accessory use)	1 space per 1000 sf	3	9	✓
First Floor	Offices	Seymour Duncan	8,989	8,573	Business Services	1 space per 300 sf	29	29	✓
Second Floor	Offices	Seymour Duncan	10,239	9,836	Business Services	1 space per 300 sf	33	33	✓
Totals	Totals		32,296	31,216			86	105	✓

(1) Parking allocation allowed under conjunctive parking agreement titled Reciprocal Easement Agreement, recorded as Document #2007-0048962, Official Records, County of Santa Barbara ("REA")

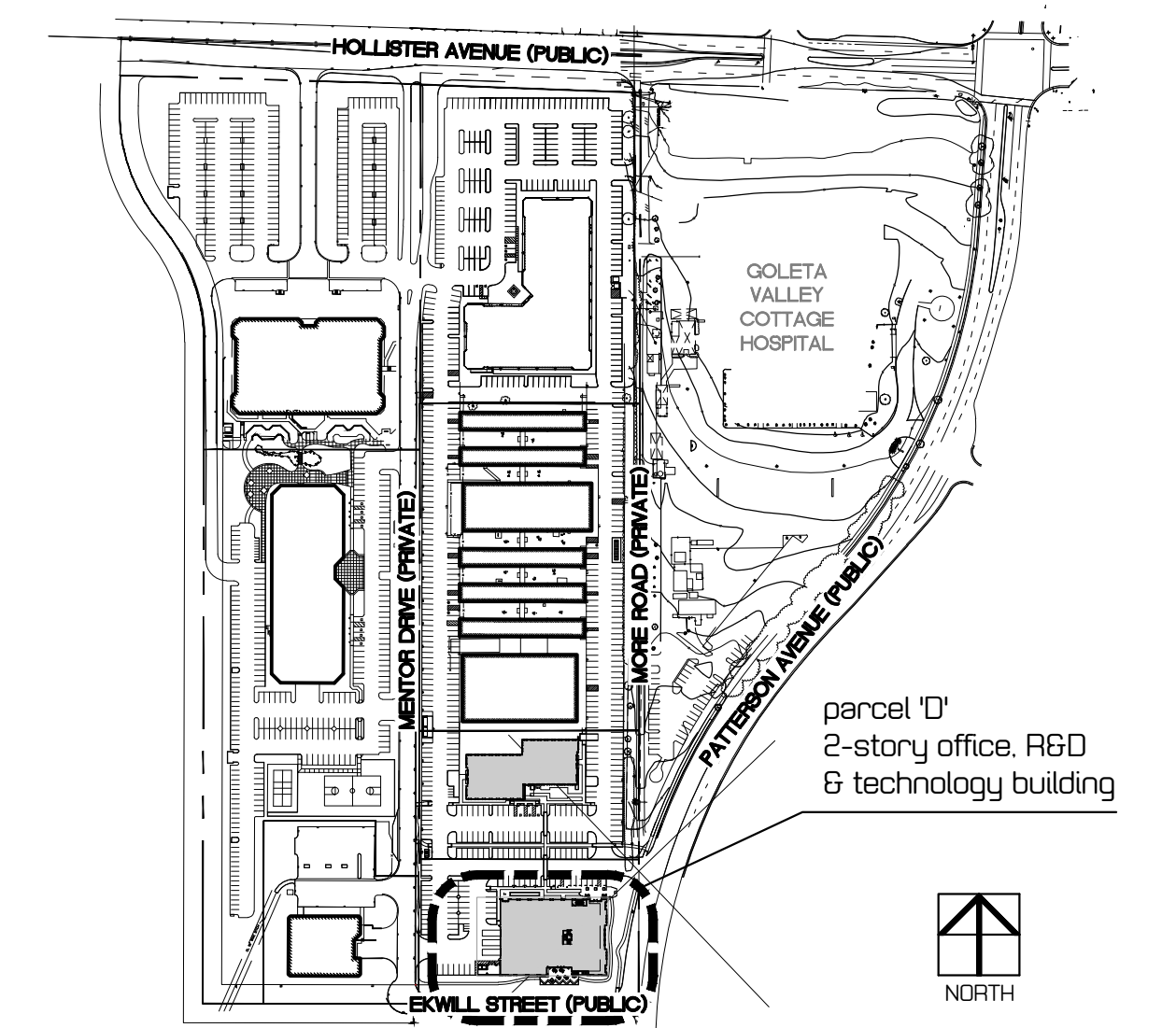
Legend

- DENOTES OFFICE USES
- DENOTES R&D AND MEDIA PRODUCTION USES
- SHADED AREA DENOTES ACCESSORY USES

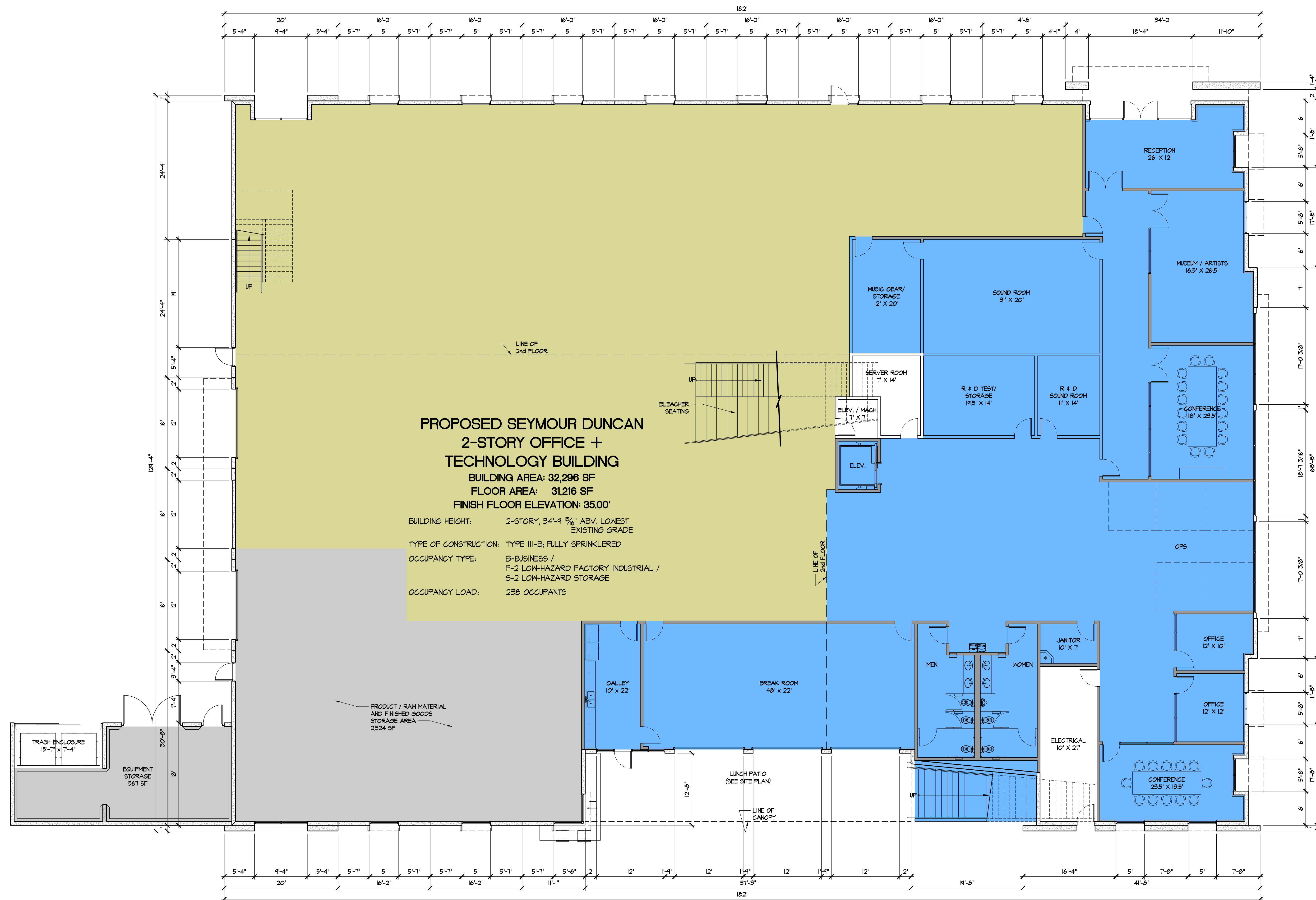
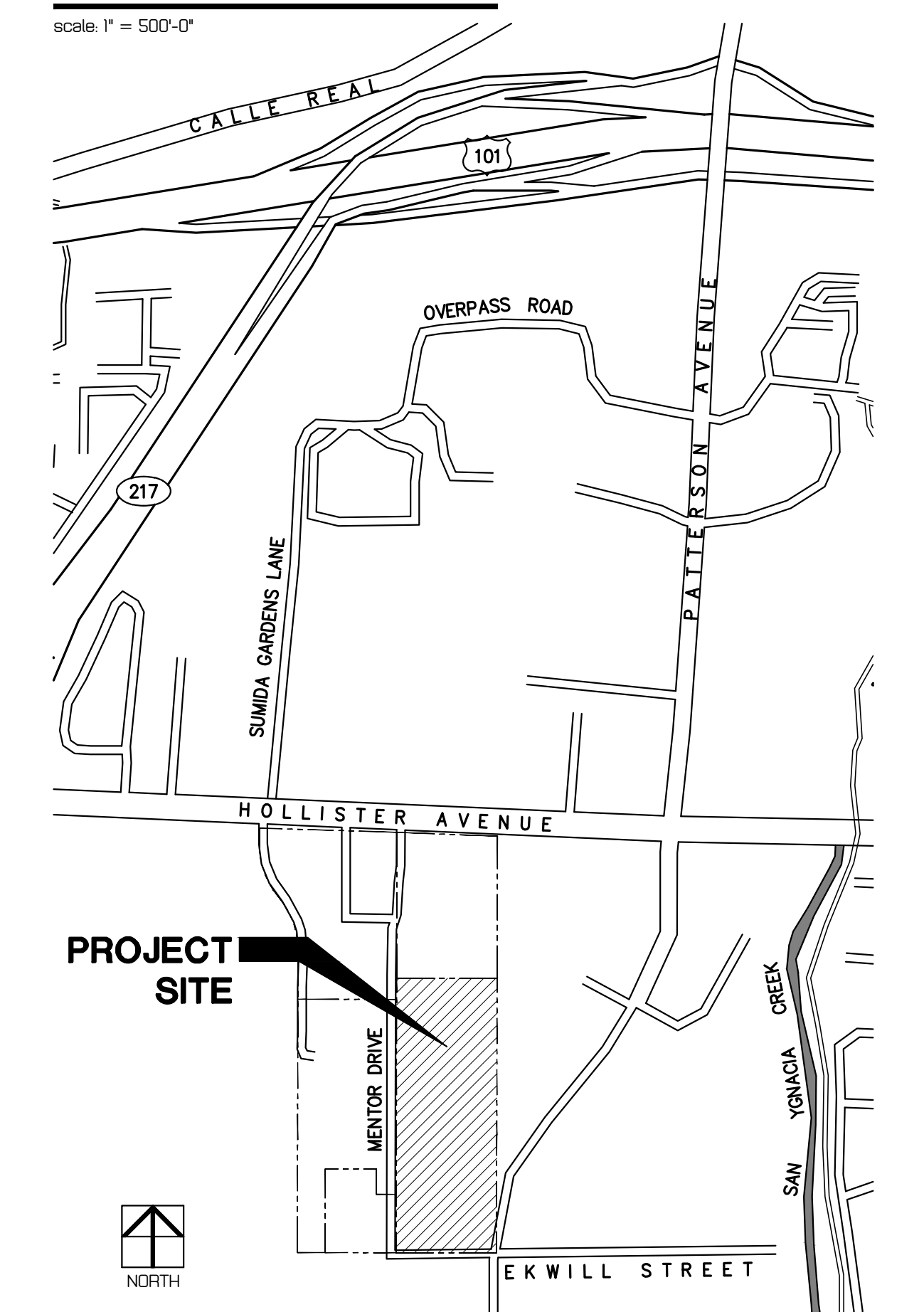
ACCESSORY USE CALCULATION

TOTAL ALLOWABLE ACCESSORY USE: 10% x 32,296 SF = 3,230 SF
 EQUIPMENT STORAGE: 567 SF
 MATERIAL/SUPPLY STORAGE: 2,524 SF
 TOTAL PROPOSED: 3,091 SF

key plan



vicinity map



**PROPOSED SEYMOUR DUNCAN
 2-STORY OFFICE +
 TECHNOLOGY BUILDING**
 BUILDING AREA: 32,296 SF
 FLOOR AREA: 31,216 SF
 FINISH FLOOR ELEVATION: 35.00'

BUILDING HEIGHT: 2-STORY, 34'-4 3/8" ABV. LOWEST EXISTING GRADE
 TYPE OF CONSTRUCTION: TYPE III-B, FULLY SPRINKLERED
 OCCUPANCY TYPE: B-BUSINESS / F-2 LOW-HAZARD FACTORY INDUSTRIAL / S-2 LOW-HAZARD STORAGE
 OCCUPANCY LOAD: 238 OCCUPANTS

PRODUCT / RAW MATERIAL AND FINISHED GOODS STORAGE AREA 2,524 SF



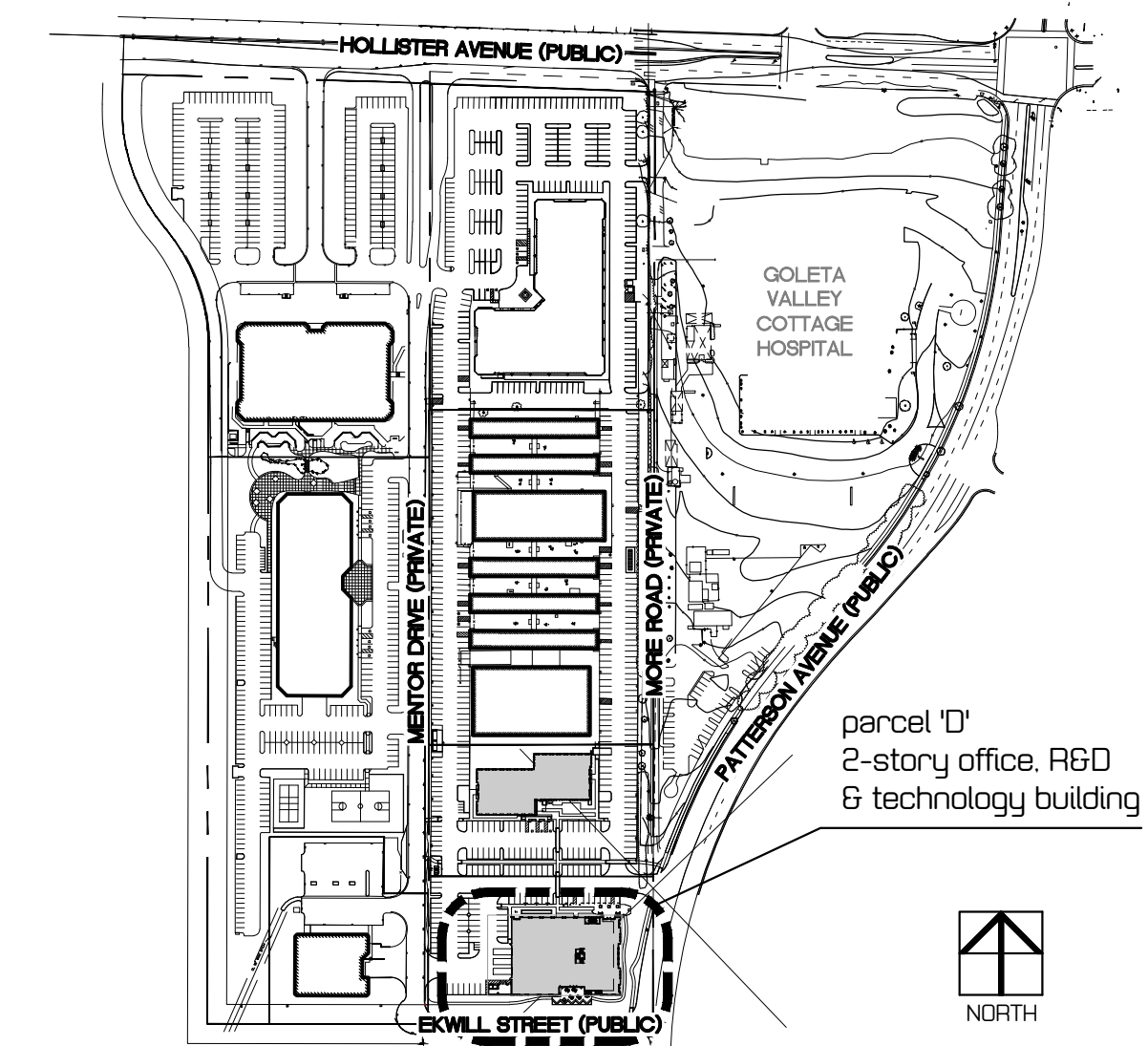
remarks	date
APPLICATION SET	10-07-2020
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REVISION	03-22-2023

Proposed Parcel D - 5383 Hollister Avenue (TBD)				Section 17.38.040					
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First Floor	Offices	Seymour Duncan	8,989	8,573	Business Services	1 space per 300 sf	29	29	✓
Second Floor	Offices	Seymour Duncan	10,239	9,836	Business Services	1 space per 300 sf	33	33	✓
Totals	Totals		32,296	31,216			86	105	✓

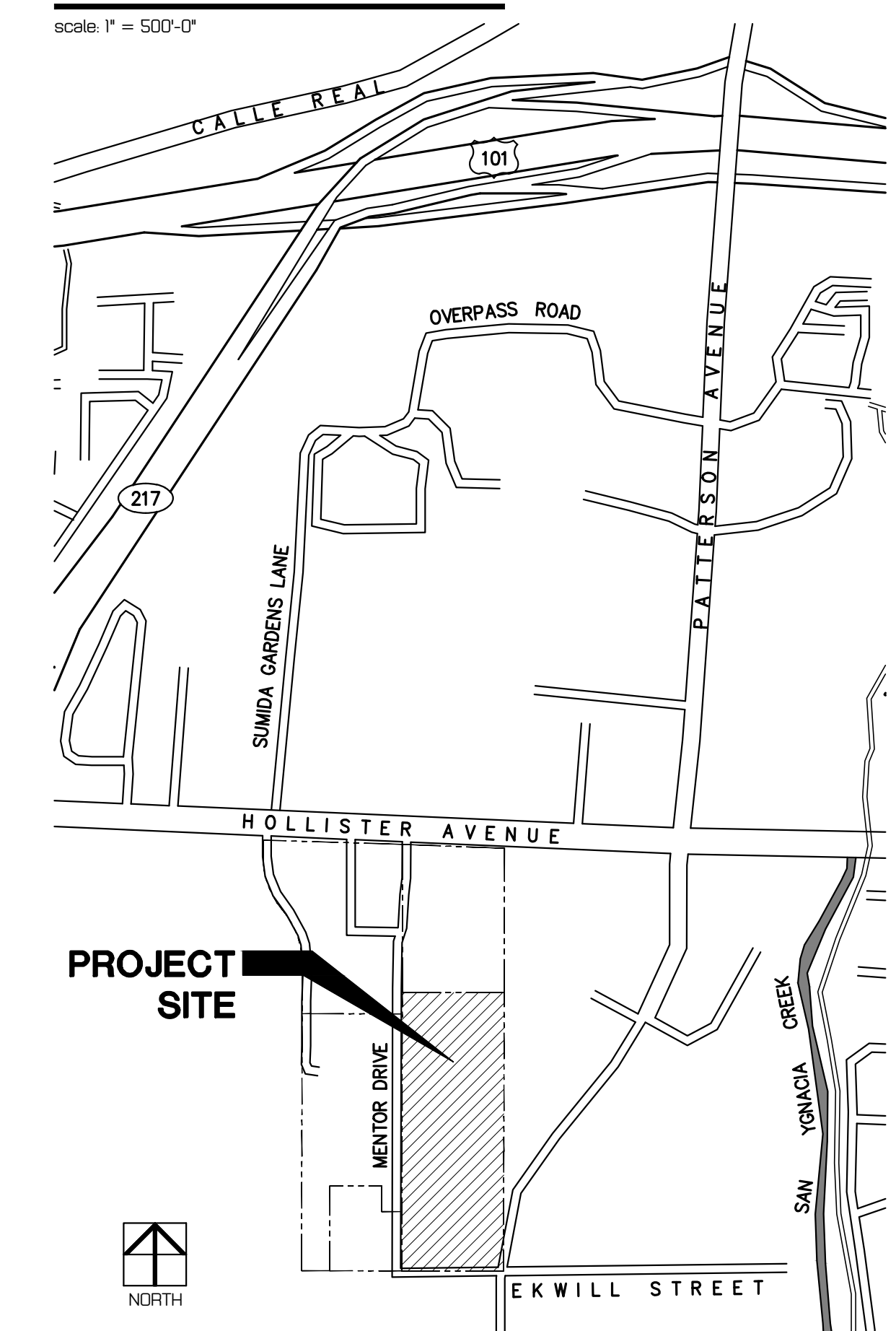
(1) Parking allocation allowed under conjunctive parking agreement titled Reciprocal Easement Agreement, recorded as Document #2007-0048962, Official Records, County of Santa Barbara ("REA")



key plan



vicinity map



parcel 'D' - office, R&D & technology building
 second floor plan
 scale: 1/8" = 1'-0"




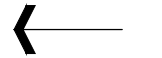
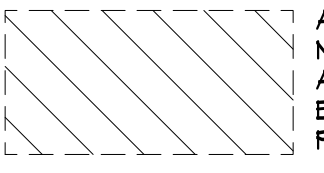


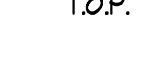
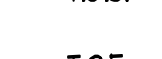



Patterson Associates, LLC
 (805) 964-7200
 Subdivision and Development Application
 Ekwil Street at S. Patterson Avenue
 5385 Hollister Avenue Goleta, California 93111

remarks	date
APPLICATION SET	10-07-2020
REV. APPLICATION SET	06-26-2021
REVISED SHEET	04-22-2022
P.C. SET	05-20-2022
REVISION	03-22-2023

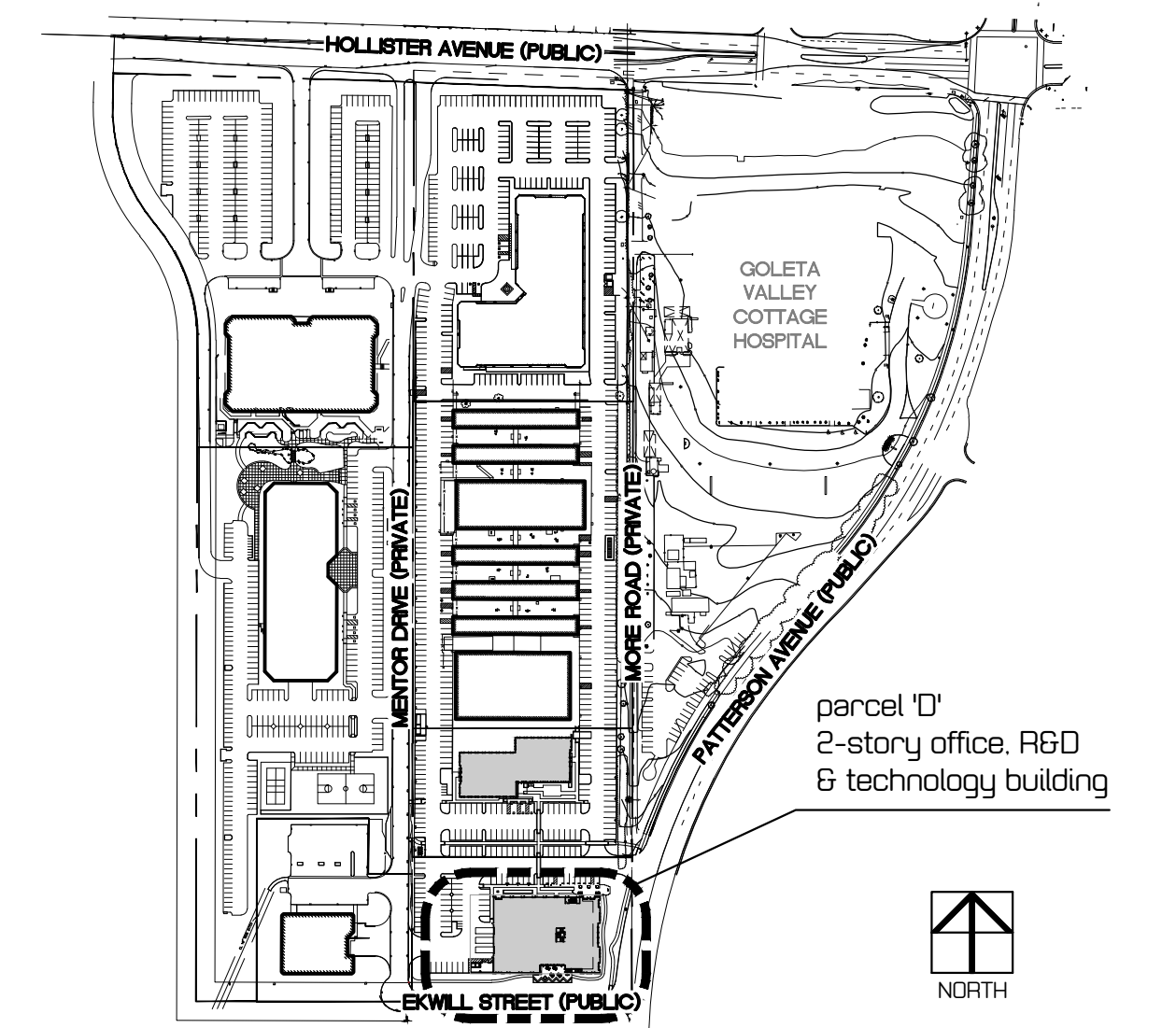
19-55320

D.A.1.2b

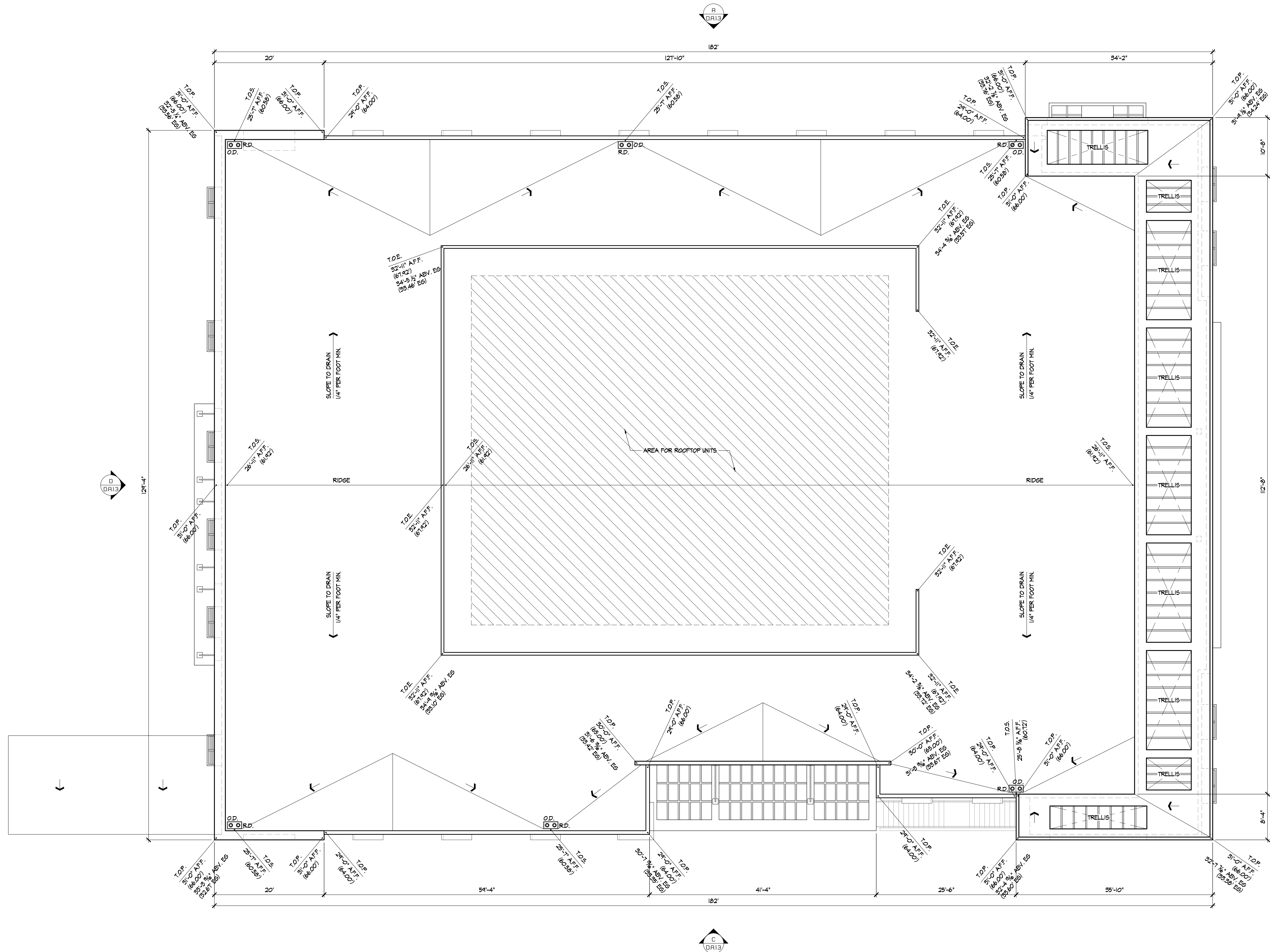
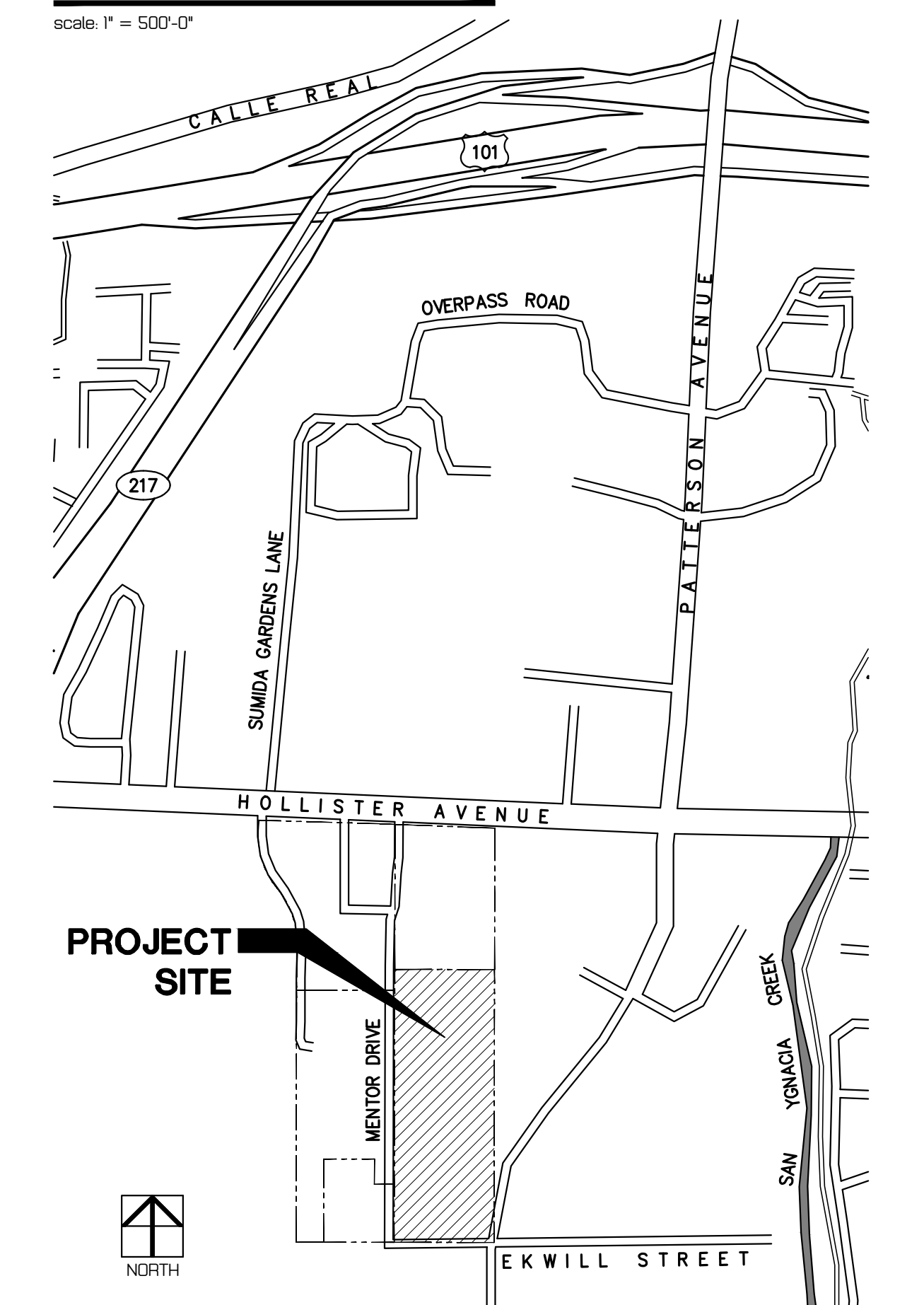
roof plan legend

-  R.D. O.D.
-  GENERAL DIRECTION OF DRAINAGE
-  AREA FOR ROOFTOP MECHANICAL UNITS. ALL ROOF MOUNTED EQUIPMENT SHALL BE COMPLETELY SCREENED FROM PUBLIC VIEW.
-  T.O. XX'-X"
-  A.F.F. ABOVE FINISHED FLOOR
-  T.O.P. TOP OF PARAPET WALL
-  T.O.S. TOP OF ROOF SHEATHING
-  T.O.E. TOP OF ROOF EQUIPMENT SCREEN
-  EG. EXISTING GRADE
-  ABV. ABOVE

key plan



vicinity map



parcel 'D' - office, R&D & technology
 building roof plan
 scale: 1/8" = 1'-0"



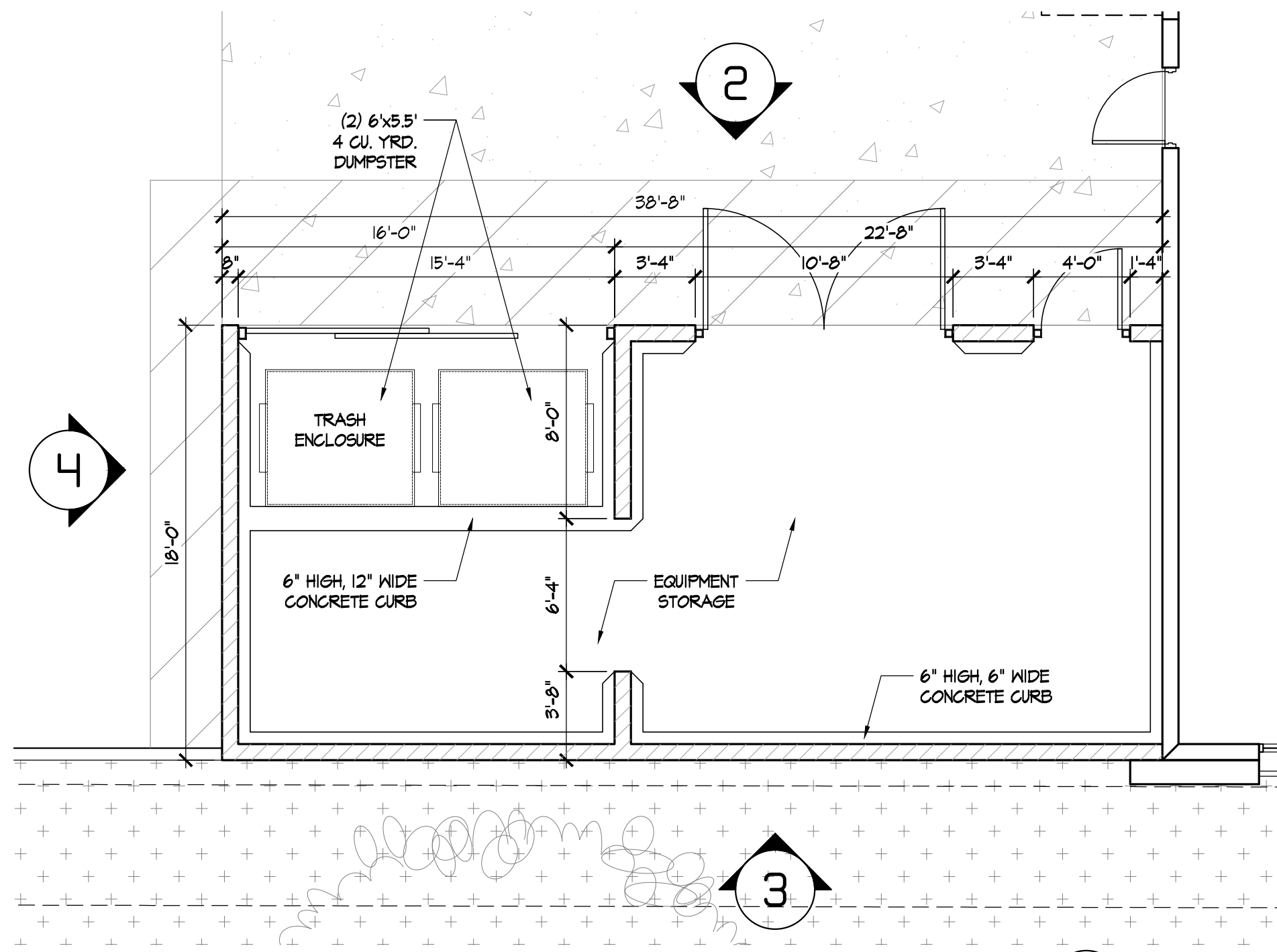
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remarks	date
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P.C. SET	05-20-2022

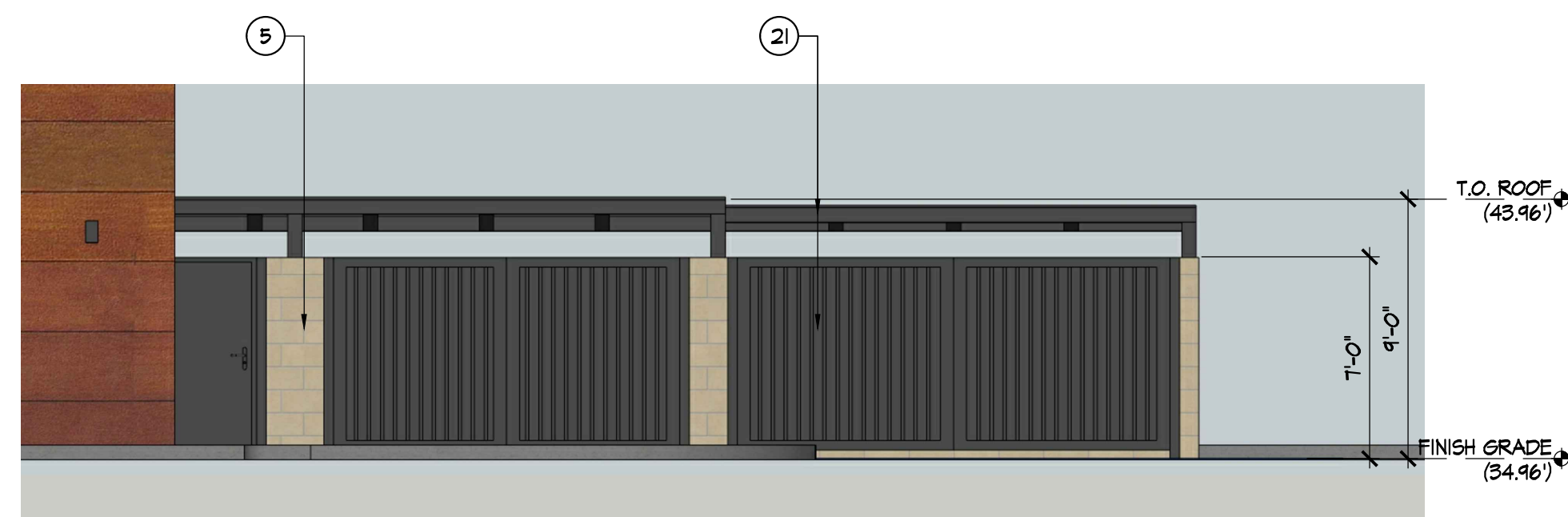
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pk:a architecture
 27619 Agoura Road
 Agoura Hills, California 91301
 v 818.594.0057 f 818.594.0019
 w pkarchitecture.net

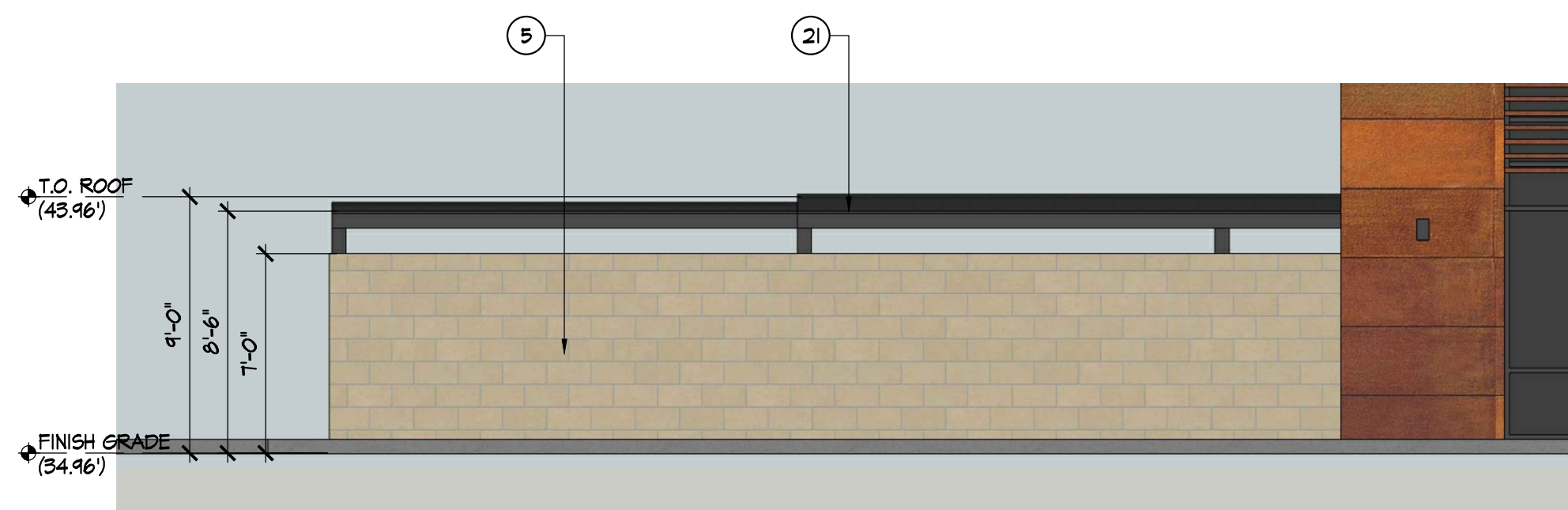
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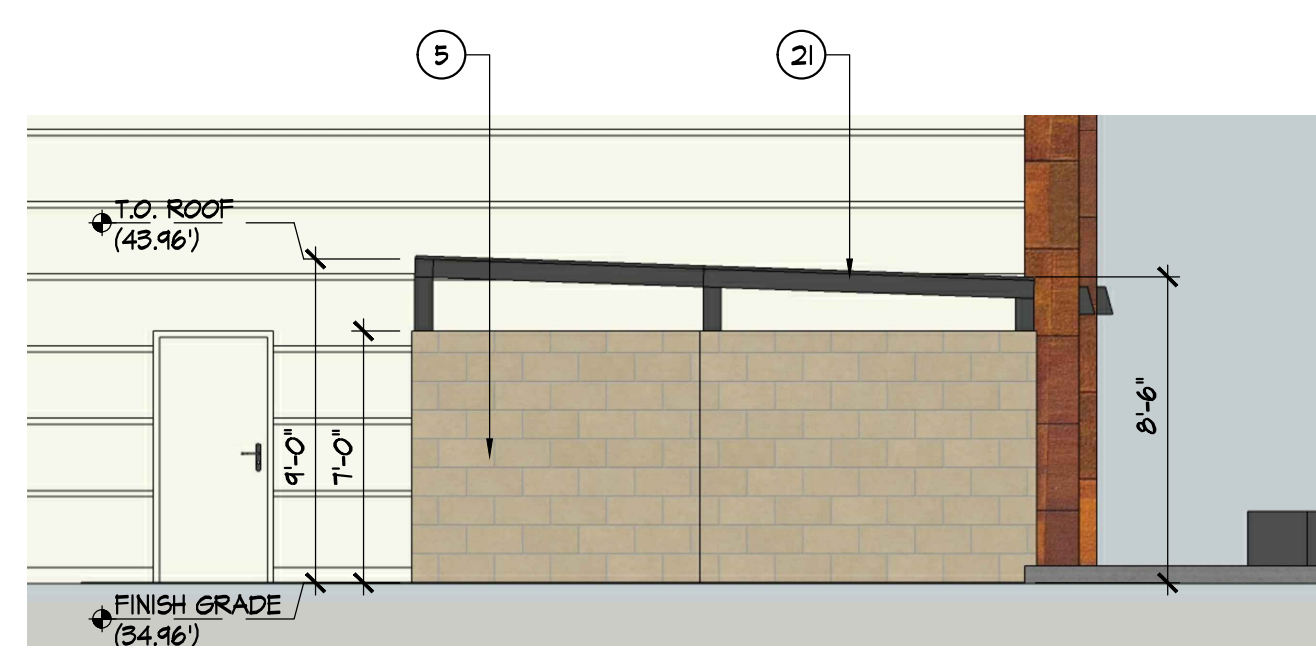
plan 1



north elevation 2

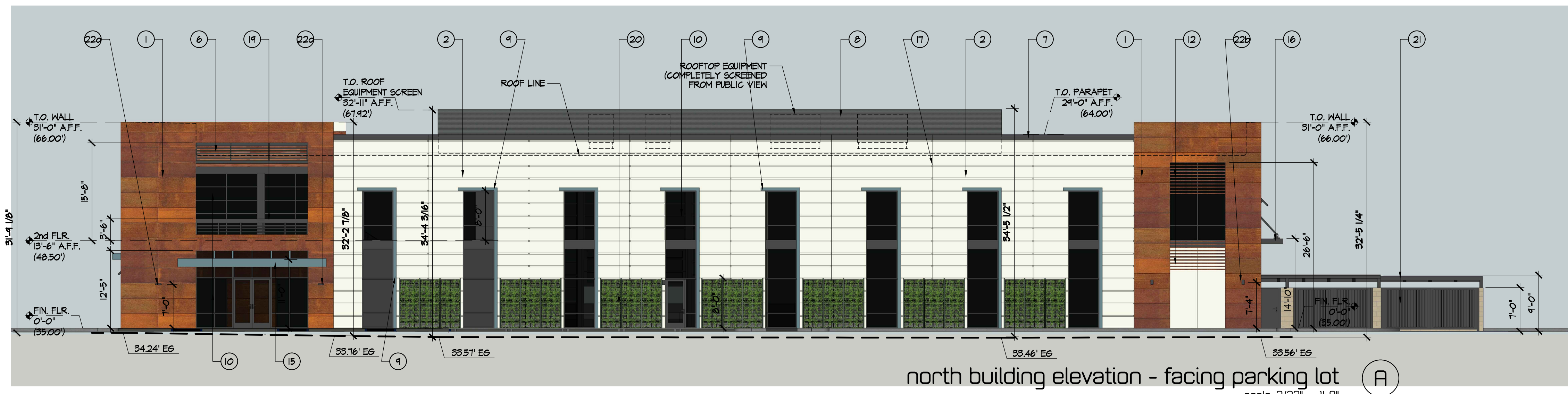


south elevation 3

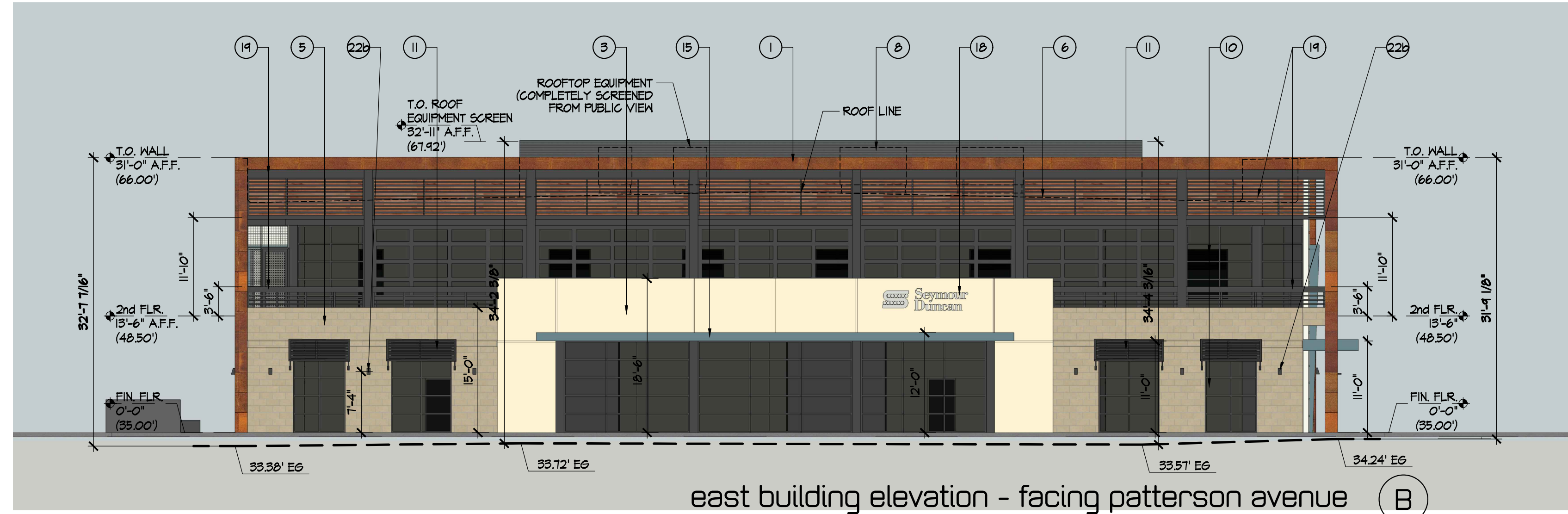


west elevation 4

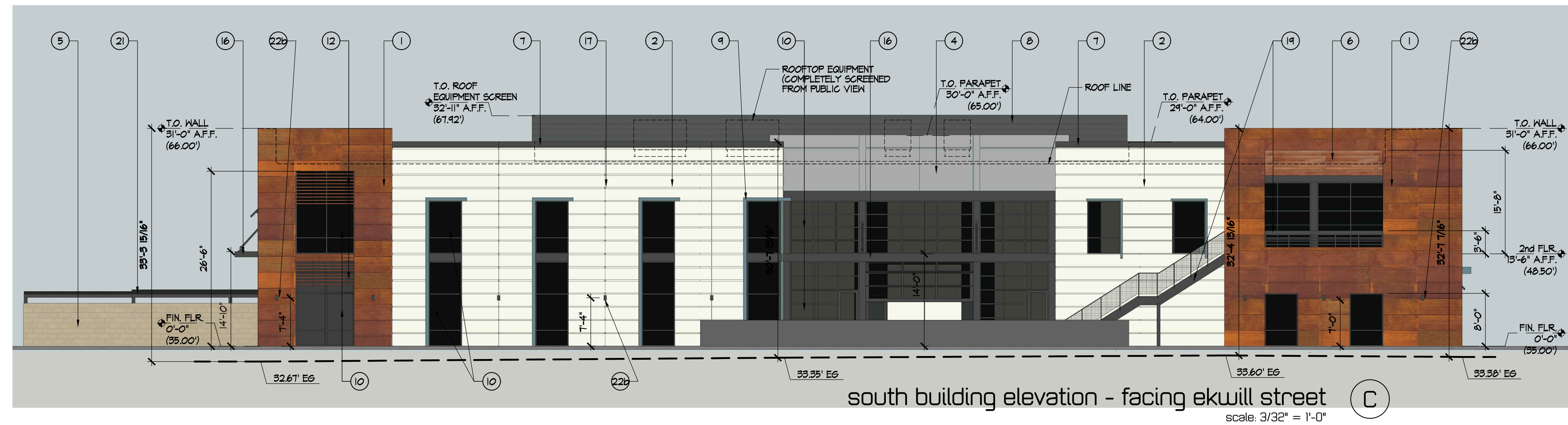
enlarged trash enclosure & equipment storage scale: 3/16" = 1'-0" 5



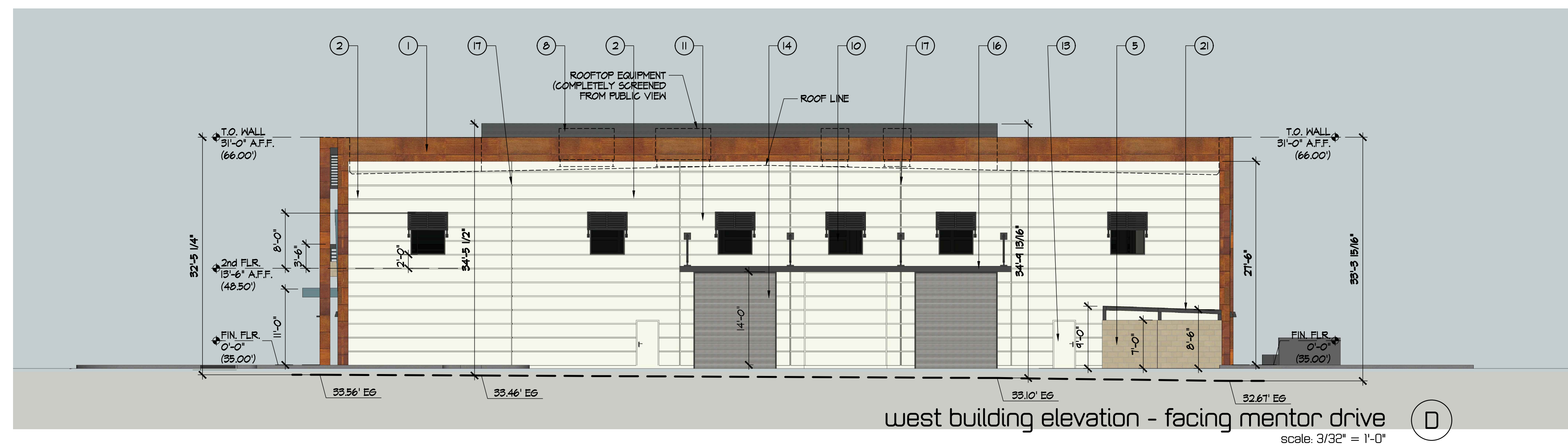
north building elevation - facing parking lot scale: 3/32" = 1'-0" A



east building elevation - facing patterson avenue scale: 3/32" = 1'-0" B



south building elevation - facing ekwill street scale: 3/32" = 1'-0" C



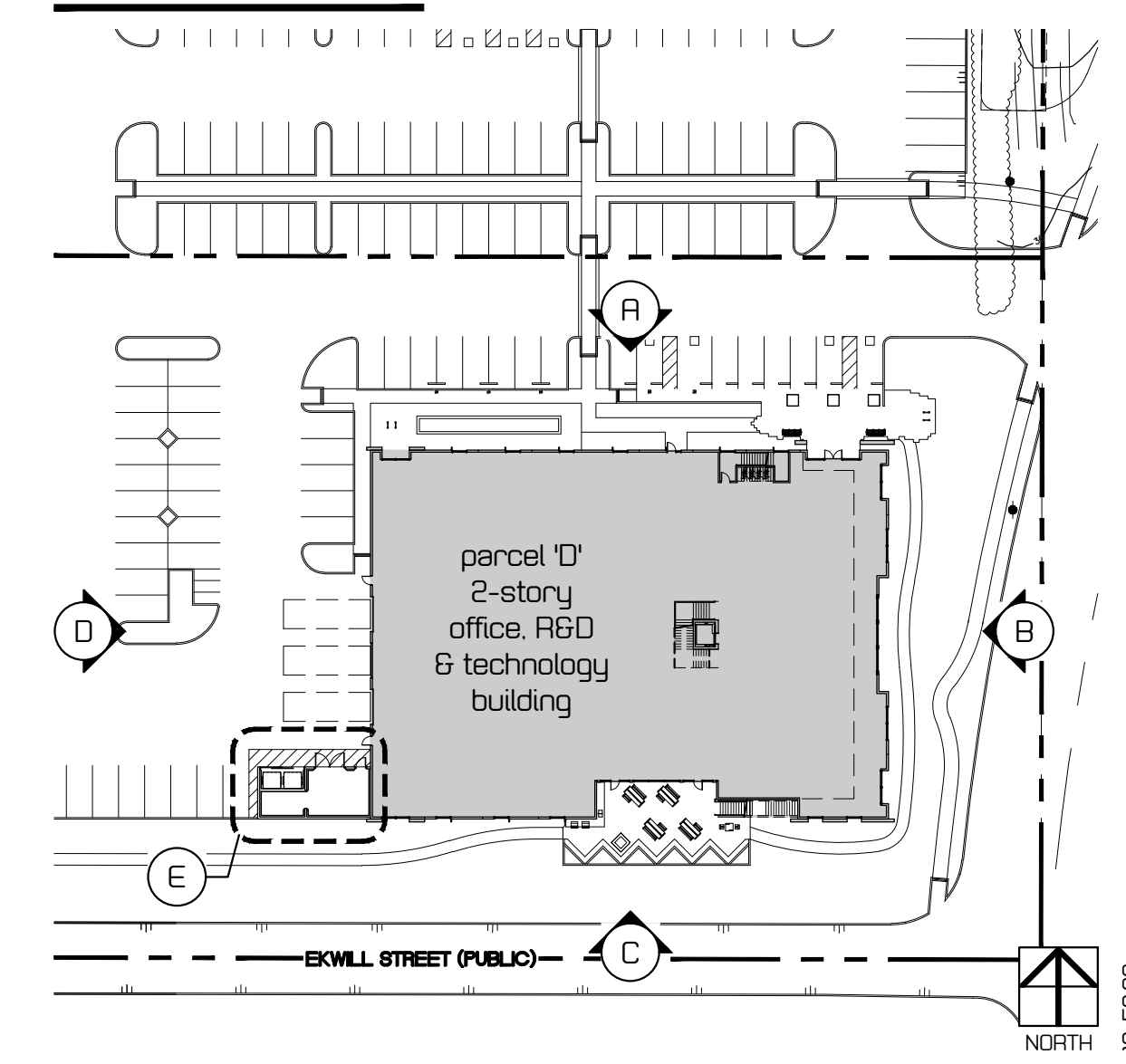
west building elevation - facing mentor drive scale: 3/32" = 1'-0" D

exterior materials & color

- 1 FAUX CORTEN STEEL WALL CLADDING
- 2 PAINTED CONCRETE TILT-UP WALL WITH HORIZONTAL FORM LINER PATTERN COLOR TO MATCH DUNN EDWARDS DET618 DAYDREAMING
- 3 SMOOTH PAINTED CONCRETE TILT-UP WALL COLOR TO MATCH DUNN EDWARDS DET660 NATURAL RADIANCE
- 4 SMOOTH PAINTED CONCRETE TILT-UP WALL WITH VERTICAL AND HORIZONTAL REVEAL COLOR TO MATCH DUNN EDWARDS DET612 STIEGLITZ SILVER
- 5 CONCRETE MASONRY BLOCK WALL COLOR TO MATCH ANGELUS BLOCK CHAMPAGNE
- 6 EXTERIOR HOOD CLADDING
- 7 SMOOTH PAINTED CONCRETE TILT-UP WALL HORIZONTAL ACCENT BAND COLOR TO MATCH DUNN EDWARDS DEBOOT CHOCOLATE BRONZE
- 8 ROOF EQUIPMENT SCREEN - HORIZONTAL METAL PANEL COLOR TO MATCH ATAS METAL PANEL 'CHARCOAL GREY'
- 9 SMOOTH HARD TROUSER PLASTER FINISH OPENING TRIM COLOR TO MATCH DUNN EDWARDS DESTIS IRON CREEK
- 10 DUAL GLAZED EXTRUDED ALUMINUM STOREFRONT SYSTEM WITH SPANDREL GLASS WHERE OCCURS, FRAME COLOR TO MATCH ARGADIA R88 STANDARD DARK BRONZE AB-1
- 11 ALUMINUM HORIZONTAL LOUVERED AWNING AND SUN SHADE COLOR TO MATCH STOREFRONT SYSTEM MULLION
- 12 HORIZONTAL LOUVERED SUN SHADE COLOR TO MATCH CORTEN STEEL
- 13 3' x 8' HOLLOW METAL DOOR AND FRAME COLOR TO MATCH DUNN EDWARDS DET618 DAYDREAMING
- 14 12x14' CLEAR ANODIZED ALUMINUM ROLL-UP DOOR PER PLAN
- 15 PAINTED METAL ENTRY CANOPY COLOR TO MATCH DUNN EDWARDS DESTIS IRON CREEK
- 16 PAINTED METAL CANOPY COLOR TO MATCH STOREFRONT SYSTEM MULLION
- 17 CONCRETE PANEL JOINT, PAINT TO MATCH ADJACENT SURFACE
- 18 BUILDING SIGNAGE, PER SEYMOUR DUNCAN SIGN CRITERIA
- 19 EXTERIOR STEEL STAIRCASE, GUARDRAILS AND METAL CLADDING COLOR TO MATCH DUNN EDWARDS DEBOOT CHOCOLATE BRONZE
- 20 VERTICAL METAL LATTICE WORK FOR PLANTING (GREEN SCREEN)
- 21 TRASH ENCLOSURE GATES AND ROOF STRUCTURE COLOR TO MATCH DUNN EDWARDS DEBOOT CHOCOLATE BRONZE
- 22 MALL MOUNTED LED LIGHT FIXTURE
- 22a BEGA 33 326 MALL LUMINAIRE OR APPROVED EQUAL, MOUNTED AT T-0" A.F.F., UNO.
- 22b BEGA 33 811 MALL LUMINAIRE OR APPROVED EQUAL, MOUNTED AT T-4" A.F.F.

NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE COMPLETELY SCREENED FROM PUBLIC VIEW.

key plan



parcel 'D' - 2-story office, R&D & technology building elevations scale: as noted

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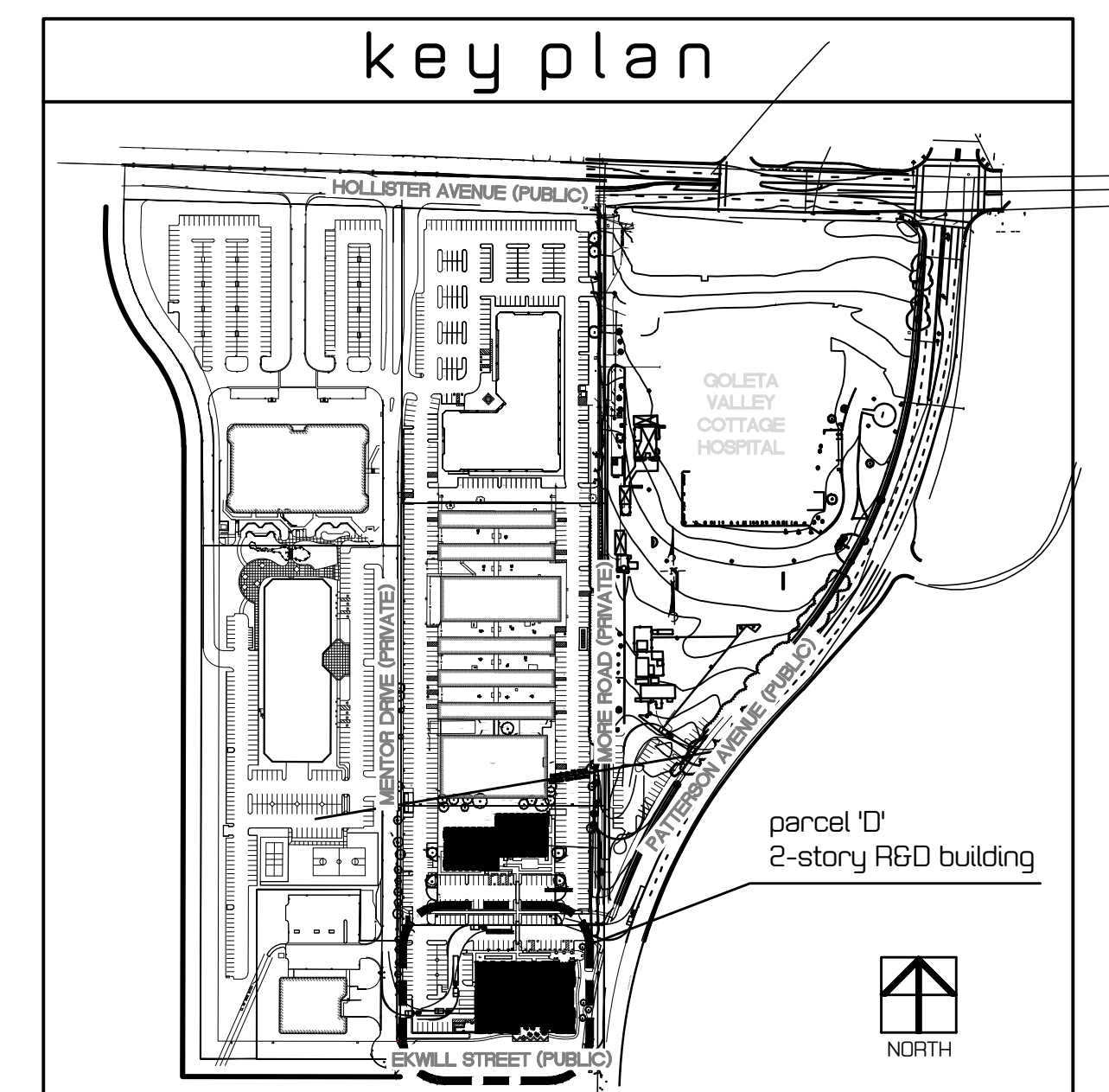
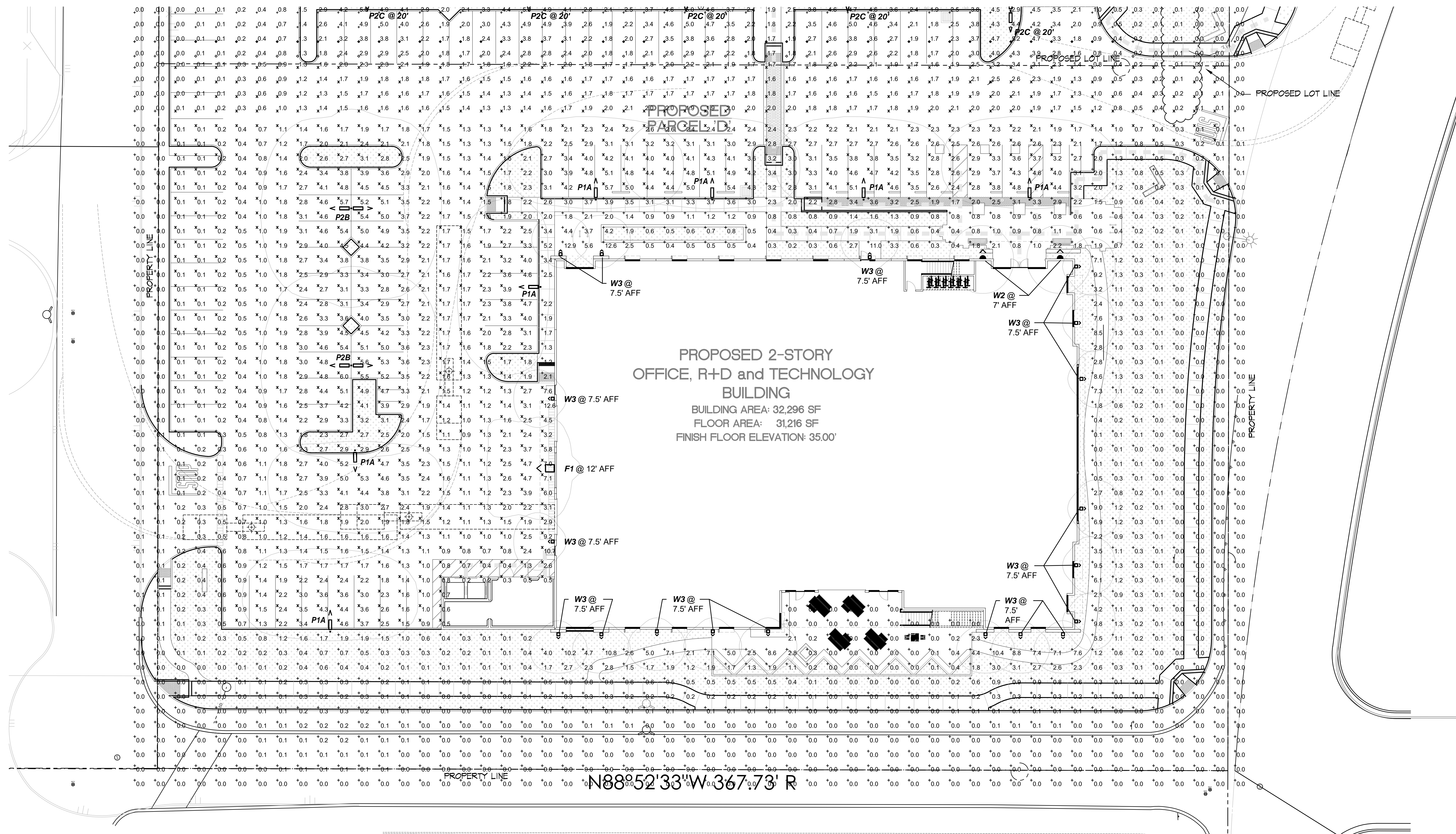
remarks	date
APPLICATION SET	10-07-2020
REV. APPLICATION SET	06-28-2021
REVISED SHEET	04-22-2022
P.C. SET	05-20-2022

D.A.1.3

pk:architecture
27519 saguaro road
goleta hills, california 93111
v 813.584.0057 f 813.584.0019
w pk:architecture.net

Statistics - Lot D				
Description	Symbol	Avg	Max	Min
Lot D	+	1.4 fc	16.7 fc	0.0 fc
Lot D Parking	X	2.4 fc	6.9 fc	0.0 fc

ALL POLE LIGHTS
TYPE "P1A, P1B, P2A, P2B, &
P2C" SHALL BE MOUNTED WITH
BOTTOM OF FIXTURE NOT TO
EXCEED 20FT ABOVE GRADE.



PHOTOMETRIC SITE PLAN - PARCEL "D"

scale: 1/16" = 1'-0"



remarks	date
APPLICATION SET	10-07-2020
REV. APPLICATION SET	06-26-2021
REVISED SHEET	12-15-2021
P.C. SET	05-20-2022
REVISION	03-22-2023
REVISION	08-03-2023

Irrigation Notes:

A final irrigation plan will be provided prior to City of Goleta final DRB review and prior to Building and Safety plan check review. Water source for irrigation will be potable water. Goleta Water District does not have an existing reclaimed water mainline near the project site.

The final irrigation and planting design will comply with the State of California Model Water Efficient Landscape Ordinance (MWELDO). The irrigation system shall be zoned according to microclimatic setting and plant requirements. Existing trees to remain do not require new irrigation.

It is the intent of this plan to provide adequate irrigation to all planting areas. The contractor shall be responsible for making any and all adjustments to the irrigation system necessary to ensure 100% irrigation coverage of all planting areas.

All piping installed under pathways or paved areas, through walls or footings shall be placed inside schedule 40 PVC sleeves of adequate size to allow free movement of the pipe in the sleeves. Install irrigation lines at the following minimum depths: Mainline: 18" minimum cover, Lateral line: 12" minimum cover, Polyethylene drip tubing: place on grade with stakes @ 6' O.C., subterranean drip line: install 4" below finish grade per manufacturer's specs. specs.

Install all valves in plastic valve boxes in groundcover areas where they will be screened by plants. Green lid color.

Install irrigation system per manufacturer's specifications, irrigation details, and local codes. All irrigation emission devices will meet the criteria as set forth in MWELDO Section 492.7(a)(3)(M).

Electrical source for controller to be installed by project electrician.

Prior to project completion, provide Landscape Architect with full size as-built record drawings. Dimension from two (2) permanent points of reference, building corners, sidewalk, or road intersections, etc., the location of the following: connection to existing water lines, existing electrical power, ball valves, routing of sprinkler pressure lines (dimension max. 20' along routing), control valves, routing of control wiring, quick coupling or garden valves and other related equipment.

Prior to project completion, install a reduced laminated controller chart inside controller box. The chart shall show the areas controlled by the automatic controller, colored coded for each station.

Install drip flush valves at the ends of all polyethylene drip tubing in round valve boxes with gravel fill.

At existing trees, route lateral lines and mainline as necessary to avoid root damage. Under canopies of existing trees, excavate using hand tools, and route pipe under roots with a minimum 4" clearance. Do not cut roots larger than 2" (two inches) in diameter.

Verify location of backflow preventer, controller, and point of connection with Landscape Architect prior to installation.

Adjust all emitters to eliminate runoff and overspray.

Turn over all irrigation product manuals, irrigation product tools, and installation instructions to Owner at completion of project.

Contractor shall guarantee to the Owner that the irrigation system is free from defects in materials and workmanship for a period of one year from completion of project.

Line Clearance: All lines shall have a minimum clearance of six inches (6") from each other and from lines of other trades.

Prior to backfilling trenches, test all pressure mainline under hydrostatic pressure of 150 pounds per square inch and prove watertight.

Use Teflon tape for all threaded connections.

Pressure regulating devices shall be installed where necessary to ensure that the dynamic pressure at each emission device is within manufacturer's recommended pressure range for optimal performance.

Preliminary Irrigation Equipment Specifications:

Table with 5 columns: Item, MFR, Model, Notes. Lists various irrigation components like valves, controllers, sensors, and emitters.

Planting Notes:

All plants shall be planted in gopher baskets constructed from gopher wire. Chicken wire is not acceptable.

If other pests (such as rabbits) are present on site. Contractor shall notify Landscape Architect and Owner prior to installing any plants. Contractor takes responsibility for all plants damaged or killed by gophers, ground squirrels, rabbits or other pests.

Contractor shall maintain all installed plants (on a weekly basis) for a period of 90 days from date of completion of installation. Failure eradicate weeds and maintain areas may result in an extension of the maintenance period. Guaranty plant material 5 gallon or smaller (including transplanted plants) for a period of 90 days from date of final review.

Contractor shall install 24" deep plastic root barrier at all new trees that are less than 8' from existing utilities, curbs, walls, buildings, pathways, etc. Top of root barrier shall be 3" below top of adjacent concrete curbs or walkways.

Take soil samples (minimum of one) from the project site after finish grades are established. Locations of soil samples must be approved by the Landscape Architect. Send soil samples to Fruit Growers Labs (805) 392-2000 Wallace Soil Testing Laboratory 310-615-0116.

Provide and install bark mulch over all shrub and groundcover areas. Use ES-2 bark mulch sourced from Agromin (800) 247-6646 or as listed in the specifications. Spread mulch evenly over all shrub and groundcover areas to a depth of 2".

Contractor may not change existing grades or flow lines without the knowledge and permission of the Civil Engineer.

Notify Landscape Architect of any plant sourcing difficulty. Landscape Architect must approve all plant substitutions.

Set out all plant materials as shown on plan. Final locations must be approved by the Landscape Architect prior to planting. Notify Landscape Architect of intended planting schedule a minimum of 3 weeks prior to planting.

Include in bid demolition of all existing plants and weeds in areas shown with new planting. Confirm plants to be demolished with Landscape Architect prior to proceeding with demolition. All trees and shrubs to be removed shall have their root system removed.

Preserve and protect all existing trees unless tree is called out to be removed on plan. See plan for locations of tree protection fencing.

Preliminary State Model Water Efficient Landscape Ordinance Calculations:

Complex table with multiple sections: Site Information, Hydrozone or Planting Description, ETAF Calculations, and Notes. Includes data for water use, ETAF, and compliance.

LANDSCAPE STATISTICS

Summary table for Landscape Statistics showing Total Landscape Area, Parcel B, C, and D with SF values.

Table for Parking Lot Shading with columns for Code Requirement, Area SF, and Compliance. Includes data for Parcel B, C, and D.

Table for Parking Lot Landscaping with columns for Code Requirement, Area (SF), Landscaping Required (SF), and Compliance. Includes data for Parcel B, C, and D.

Table for Parking Lot Trees with columns for Code Requirement, On-Site Parking, Trees Required, and Compliance. Includes data for Parcel B, C, and D.

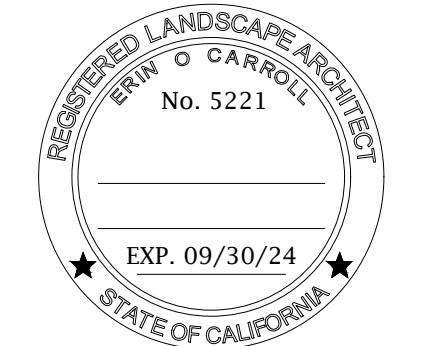
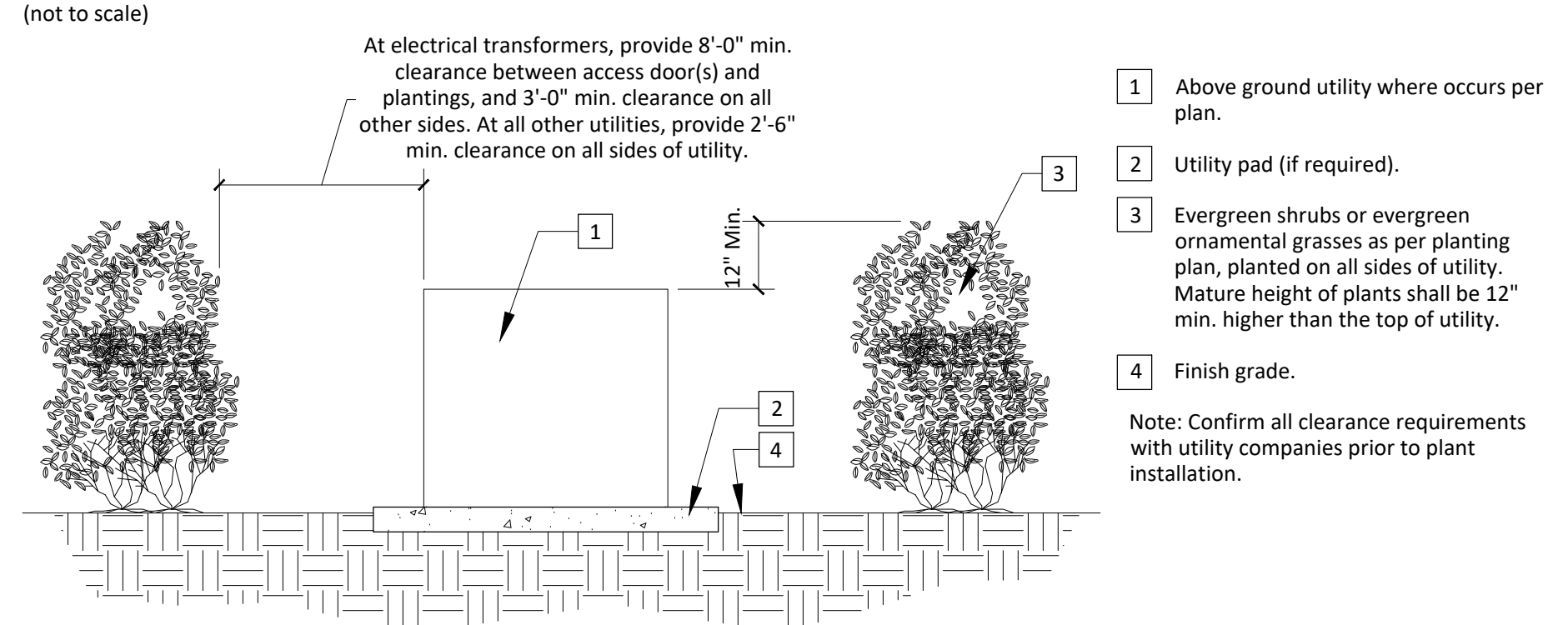
Table for Tree Removal and Replacement with columns for Code Requirement, Existing On-Site, To Be Removed, and Compliance. Includes data for Parcel B, C, and D.

(*) Includes non-native trees located in public ROW

Preliminary Plant List (note: plants with a * are on the City of Goleta Pre-Approved Plant Species List):

Large table listing Botanical Name, Common Name, Size, Notes, and Water Use (WUCOLS) for various plants like Arbutus Marina, Citrus Eureka Lemon, etc.

Typical Landscape Screening at Above Ground Utilities:



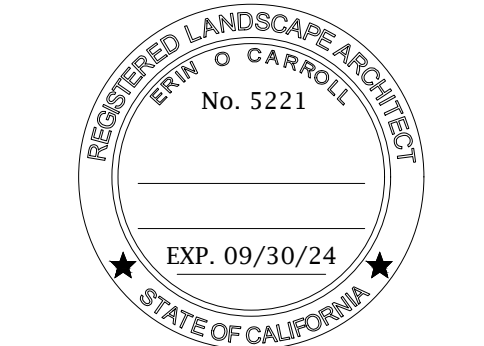
PRELIMINARY NOT FOR CONSTRUCTION

EKWILL ST. AT SOUTH PATTERSON AVE. 5385 Hollister Ave. Goleta, CA, 93111

PRELIMINARY PLANT LIST, IRRIGATION INFO, NOTES, AND CALCS - PARCEL 'D'

Date/ Issue Revision 07/19/23

Drawing Name: C:\Users\erinc\Desktop\In Progress Projects\Ekwill St. at South Patterson Ave\Ekwill St. at South Patterson Ave\Sheet\Preliminary Landscape Plan\1.2 Preliminary Plant List, Irrigation Info, Notes, and Calcs.dwg Plot Date: 2023-07-19 2:26 PM



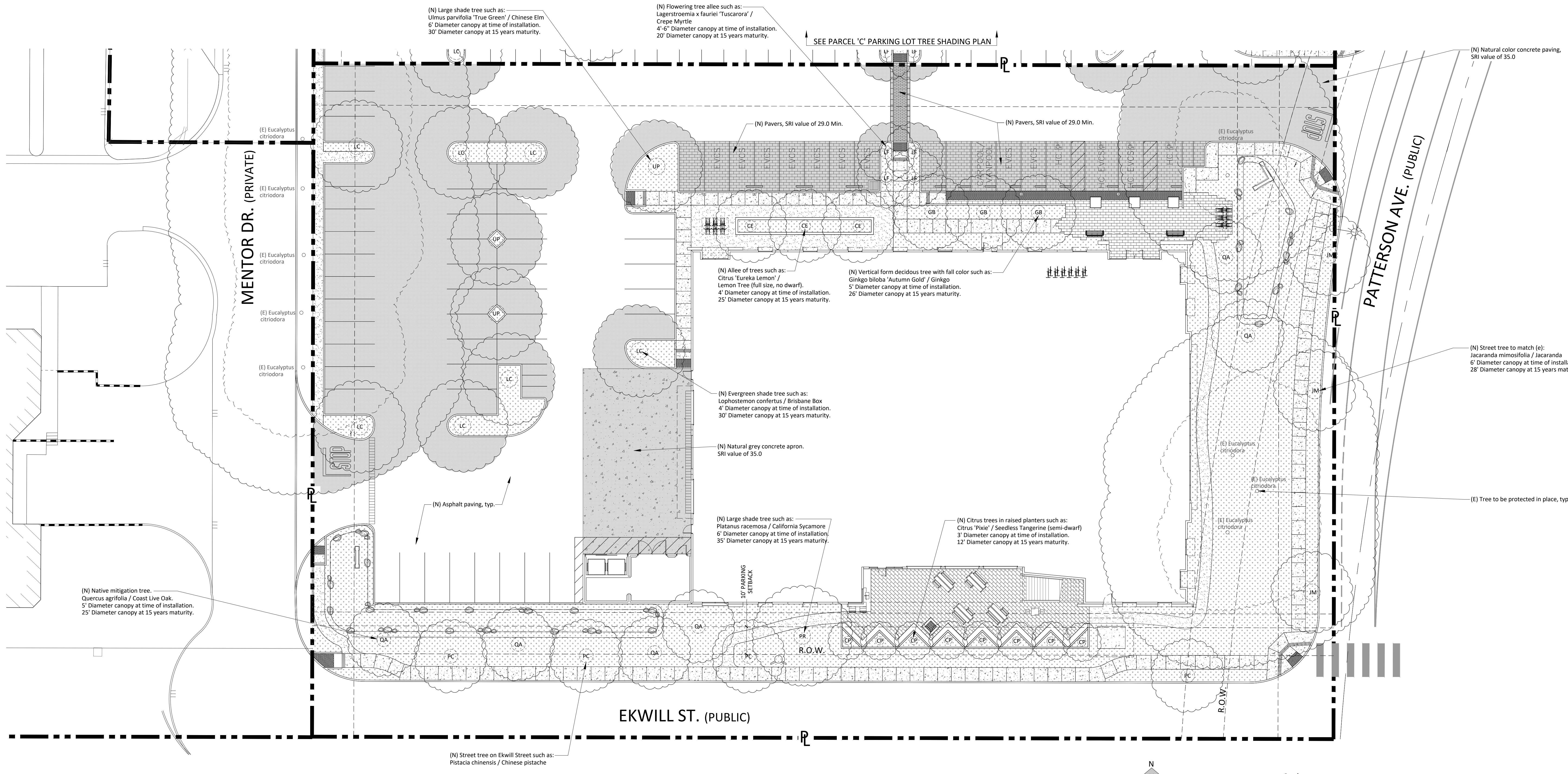
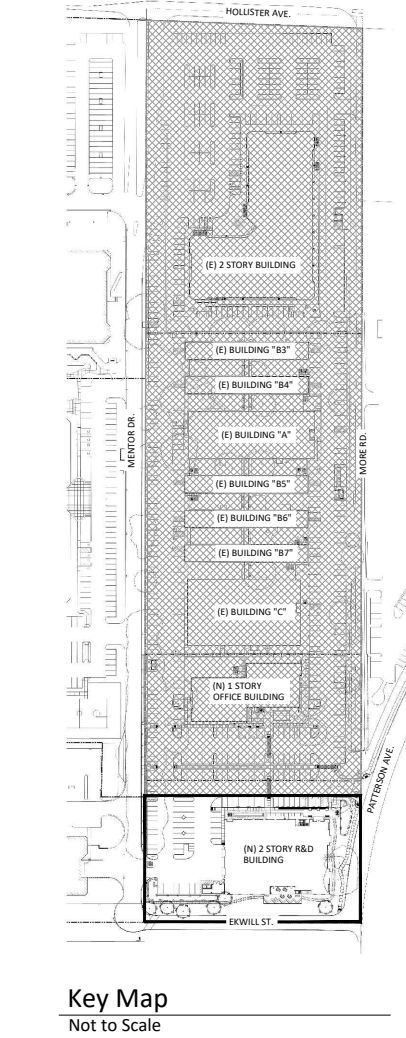
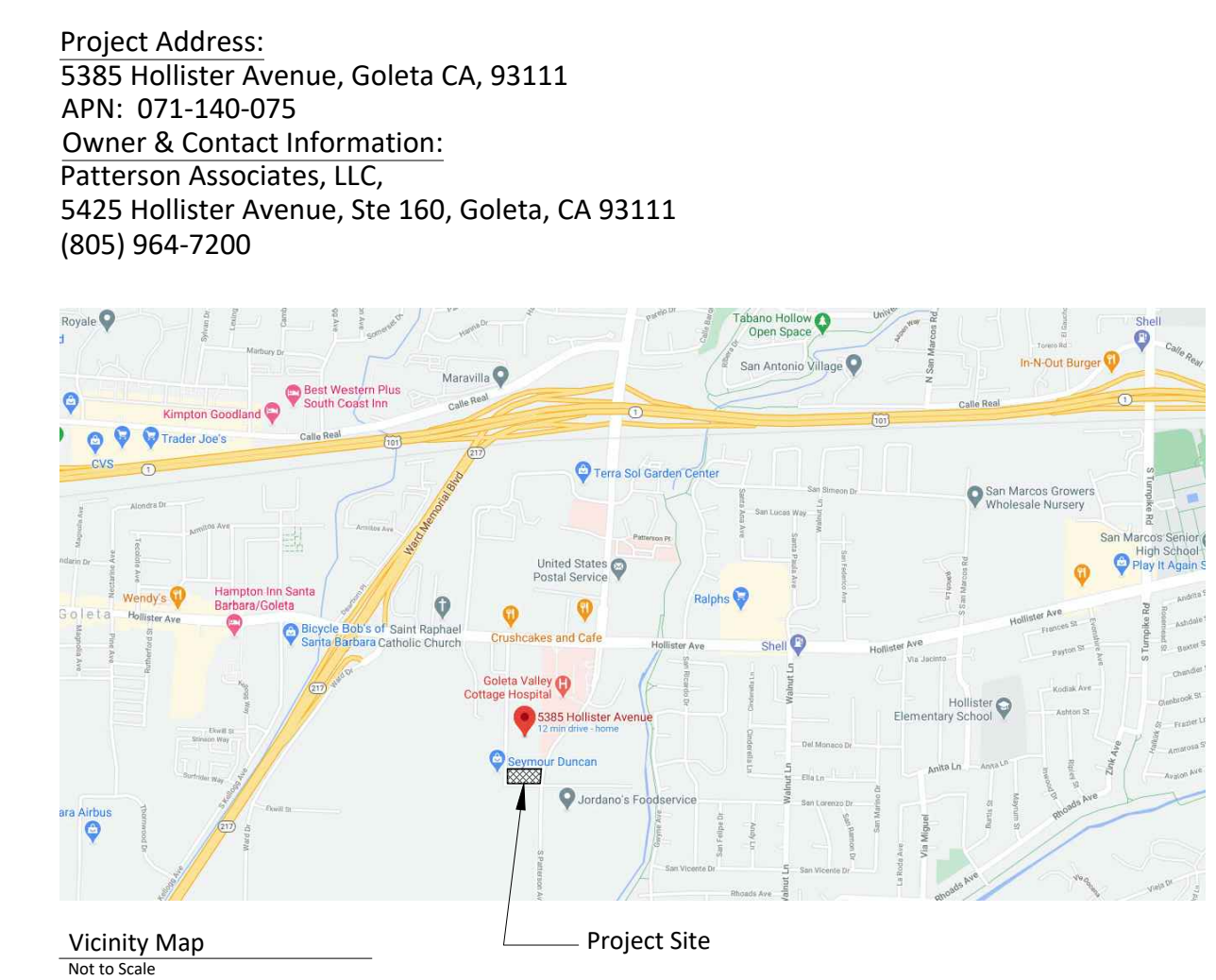
FOR REFERENCE ONLY

EKWILL ST. AT SOUTH PATTERSON AVE.
5385 Hollister Ave. Goleta, CA, 93111

PARKING LOT SHADING PLAN - PARCEL 'D'

Date/ Issue
Revision 07/19/23

D-EXHIBIT-1



Parking Lot Shading Statistics:

Parking Lot Shading	17.38.110(J)(1) Code Requirement	Parking Area SF	Drive Aisle Area	Total Parking Lot Area	15 Yr Shaded Area	% Shaded Parking Lot	Compliance	Notes
Parcel B	At least 50% non-landscaped area	37,926	31,039	68,965	43,158	62.58%	✓	
Parcel C		22,569	18,439	41,008	26,359	64.28%	✓	
Parcel D	shaded w/15 Yrs	7,279	29,633	36,912	19,311	52.32%	✓	

Drawing Name: C:\Users\erinc\Desktop\In Progress Projects\Ekwil St. at South Patterson Ave\Ekwil St. at South Patterson Ave\sheet\Preliminary Landscape Plan\EXHIBIT-1 Parking Lot Shading Plan.dwg Plot date: 2023-07-19 7:25 PM