

## Data Arc Index Sheet: Data Imaging

1. Department/Division: Building Division

2. Permit #: 7226

3. Address: 27 Palera Lane

4. APN: 073-050-33

5. Approval Date: 4/1/08

Documents: ✓

Large Format: ✓

INSPECTION REQUEST

830.900

27 LA PATERA

ADDRESS

TODAY'S DATE

CONTACT NAME

PHONE NO.

**BUILDING**

**MECHANICAL**

**PLUMBING**

- Foundation
- Raised Floor Framing
- Floor Sheathing
- Roof Sheathing
- Frame Inspection
- Insulation
- Lath and/or Drywall
- Masonry
- T-Bar Ceiling
- Final Building Insp.

- FAU/Wall Furnace
- A/C System
- Commercial Hood
- Final Mechanical Insp.

**ELECTRICAL**

- Temporary Power Pole
- Underground Electrical
- Rough Wiring/Conduit
- New Service
- Final Electrical Insp.

- Underfloor Plumbing
- Rough Plumbing
- Water Heater
- Gas Test
- Final Plumbing Insp.

**MISCELLANEOUS**

- Occupancy
- Rehabilitation
- Swimming Pool/Spa
- Grading

CIRCLE DAY INSPECTION IS REQUESTED FOR

MONDAY

TUESDAY

WEDNESDAY

THURSDAY

FRIDAY

## Data Arc Index Sheet: Data Imaging

1. Department/Division: Building Division

2. Permit #: 7226

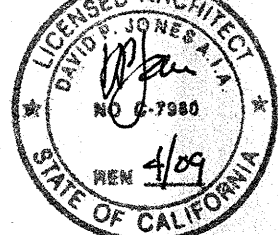
3. Address: 27 Patena Lane

4. APN: 073-050-33

5. Approval Date: 4/1/08

Documents: ✓

Large Format: ✓



Consultant

Electrical  
JMPE Electrical Engineering  
196 W. Alamar Ave. Suite B  
Santa Barbara, CA, 93109  
(805) 563-9216

# ISSUED

City of Goleta Planning and Environmental Services  
Date: 3/14/08 By: JV

Projects **MUST** be built as per approved plans.

No alterations or modifications to this approved set of plans may be made without Revised Final review by the Design Review Board and/or a revised Planning permit.

Date	#	Remarks
3/16/07	1	Underground Fuel Tank

Client  
Direct Relief International  
27 La Patera Lane  
Goleta, CA 93117  
(805) 964-4161

## List of Drawings

- A1 Site Plan
- A2 General Notes, Symbols, Schedules
- A3 Electrical Site Plan

## Scope of Work

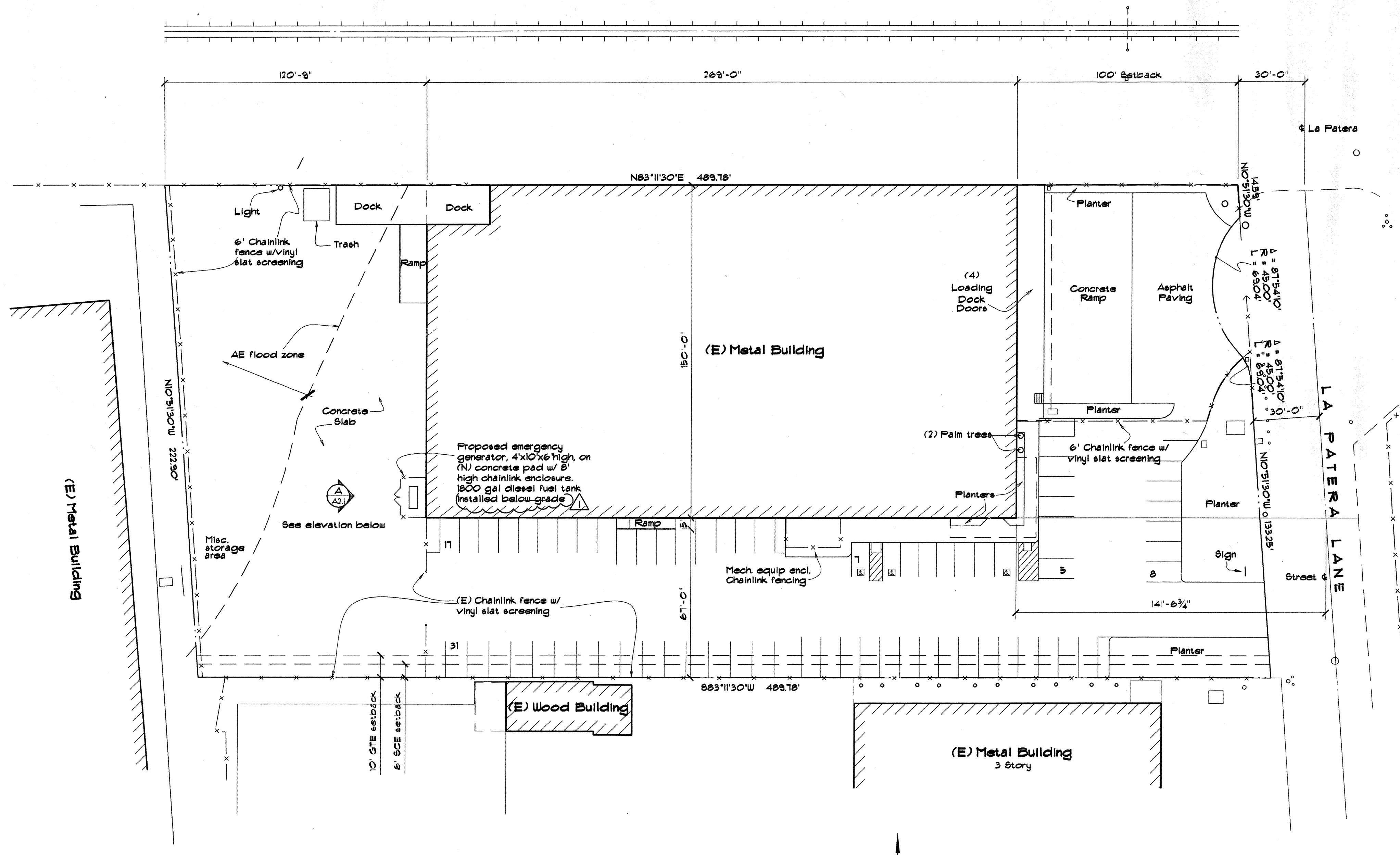
1. Install emergency generator and below grade fuel tank.
2. Install fencing around generator.
3. No new floor area. No change of use. No parking change.

CITY OF GOLETA  
BUILDING AND SAFETY DIVISION  
**APPROVED**

DATE 4/1/08 BY *Uls*  
The stamping of this set of plans and specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law. It is unlawful to make any changes or alterations on same without permission from the City of Goleta Building Official.

## Project Statistics

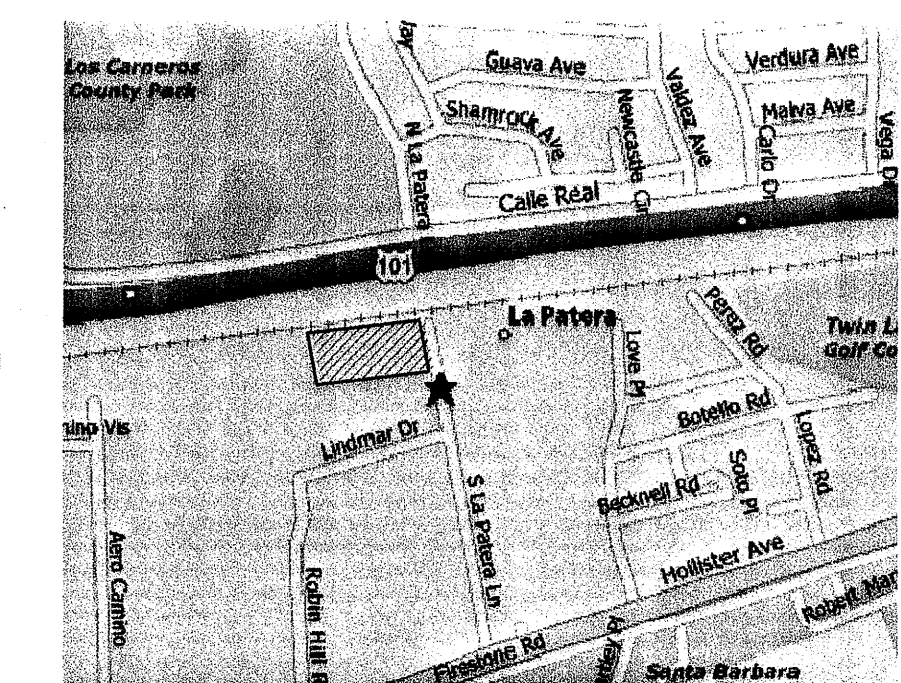
APN:	73-050-33
Zoning:	M-RP
General Plan:	Industrial Park
Site Coverage:	
Building	39,900 sf
Planter	5,281 sf
Paving	63,009 sf
Total	108,196 sf of 2.5 acres
Building Area:	
Ground Floor	39,900 sf
Second Floor	1,200 sf
Total	41,100 sf
Construction Type:	YN Sprinklered
Occupancy:	B - Office S-1 Storage
Parking Provided	69 (3 accessible)
Required	Office @ 1/500 sf = 1025 x 3 = 31 Warehouse @ 1/1000 sf = 30,869 x 1 = 62
Total Required	93



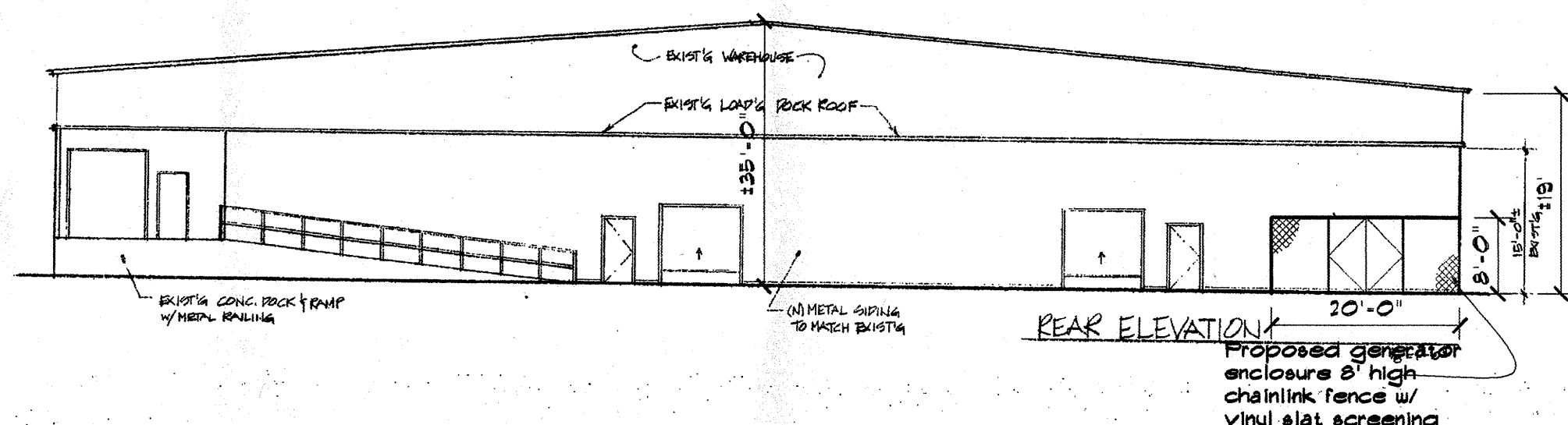
Site Plan  
1" = 30'-0"

## Symbols

- x - x - x - Chain link fencing
- ==== Railroad tracks
- Property line



Vicinity Map  
Not to scale



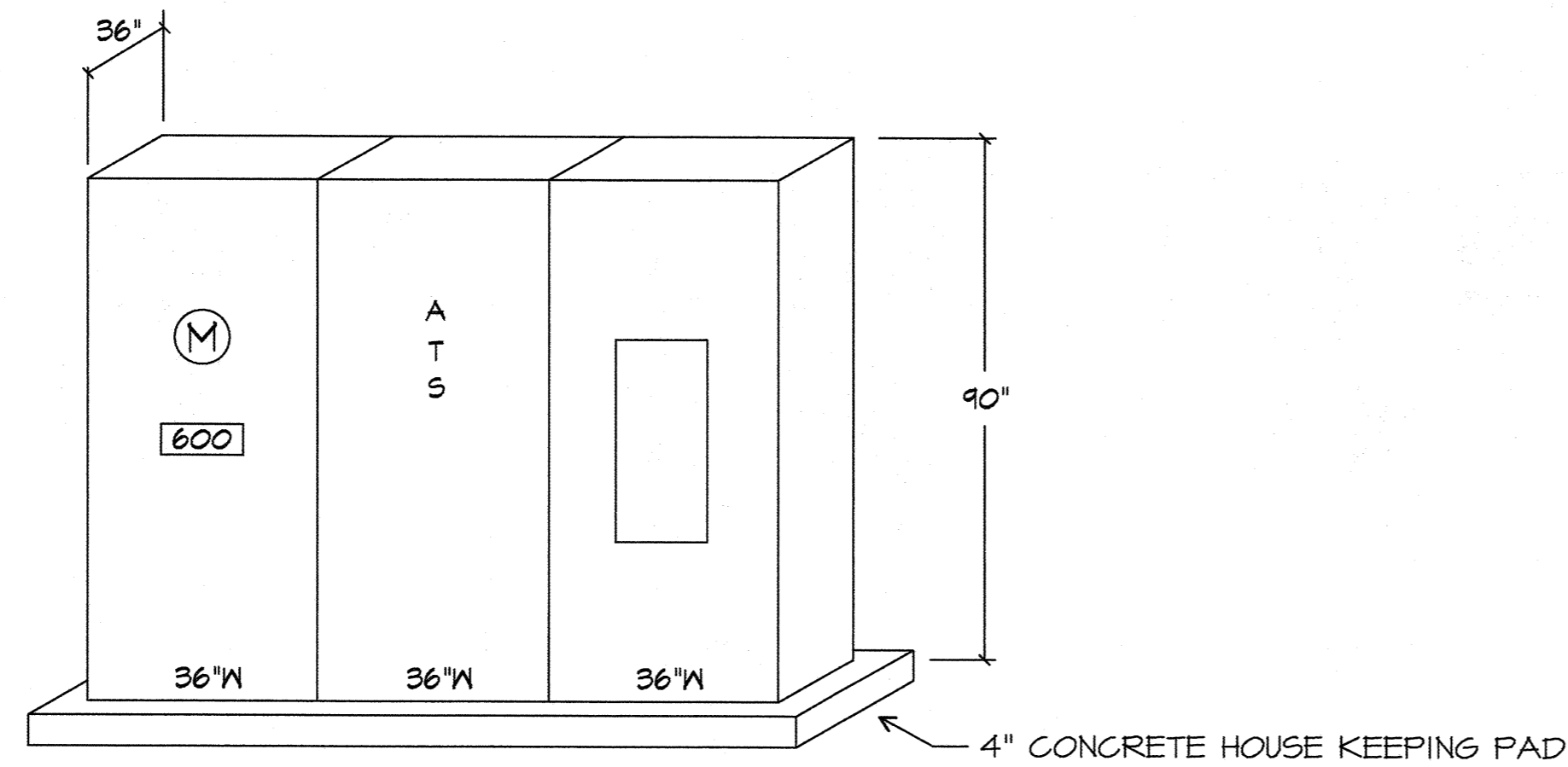
Rear Elevation  
1/16" = 1'-0"

## Site Plan

DATE Mar 25, 2008

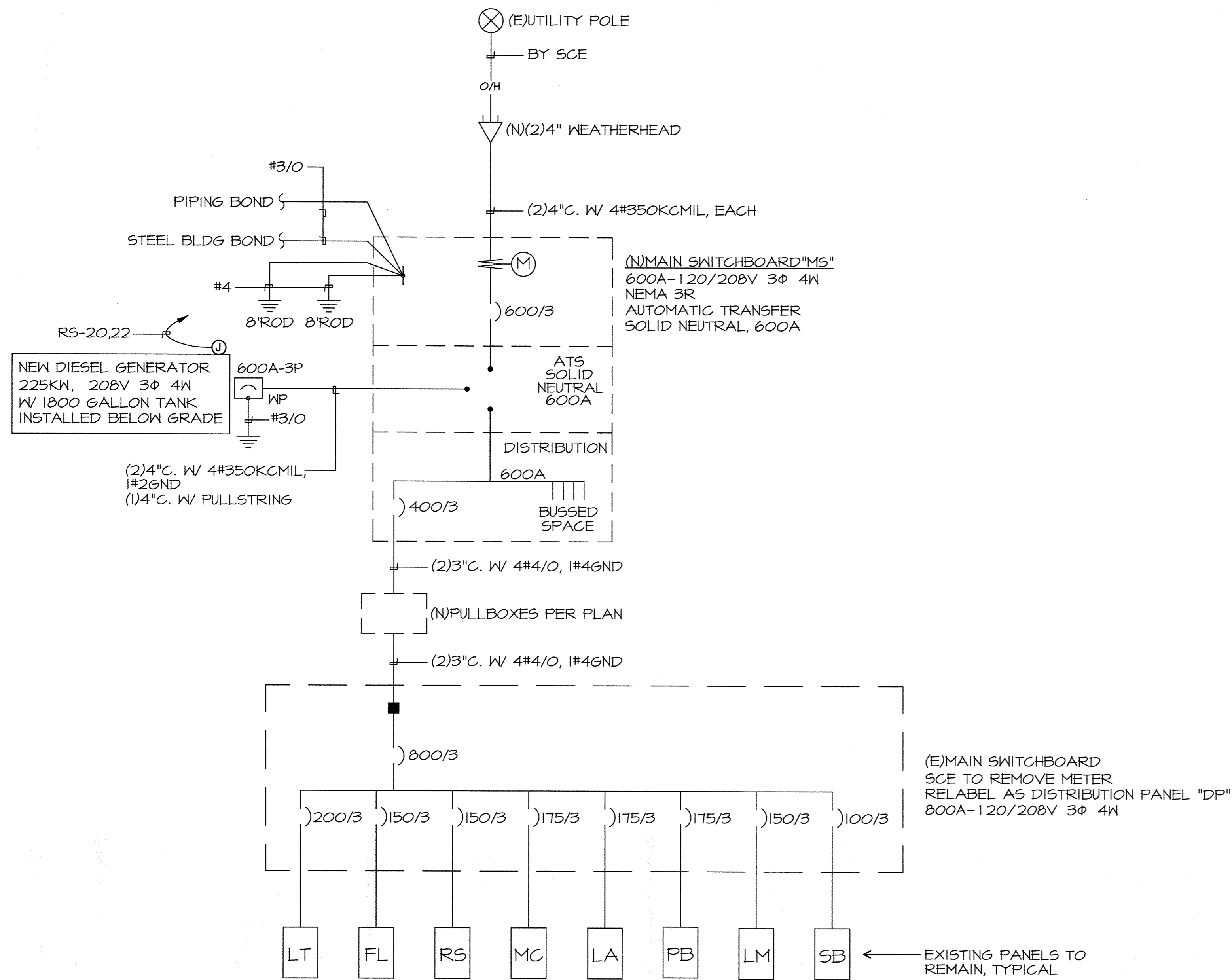
Date	Job Number
Drawn By	OT14
Checked by	DPJ
Sheet	of Sheets

# A1



SERVICE ELEVATION

(B)



SINGLE LINE DIAGRAM

SCALE: NONE

(A)

GENERAL NOTES

- VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES, WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- FURNISH DISCONNECT SWITCHES AT REMOTE MOTORS.
- ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSHING FOR FUTURE BREAKER OR SWITCH.
- CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
- GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
- ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
- THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ALL CONDUCTORS SHALL BE IN CONDUIT.
- ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.
- COORDINATE WITH SERVING ELECTRICAL UTILITY COMPANY AND MAKE PROVISIONS FOR ELECTRICAL SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND UTILITY COMPANY CHARGES IN BID.
- COORDINATE WITH SERVING TELEPHONE UTILITY COMPANY AND MAKE PROVISIONS FOR TELEPHONE SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- COORDINATE WITH SERVING CABLE TELEVISION COMPANY AND MAKE PROVISIONS FOR CABLE TELEVISION SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY CONTRACTOR.

LOAD CALCULATION

(E) SCE HIGH DEMAND = 74.5KW  
 x 1.50 = 112KW  
 + FUTURE LOADS = 25KW  
 TOTAL = 136.7KW  
 @ 208V 3P = 380AMPS

SCOPE OF WORK

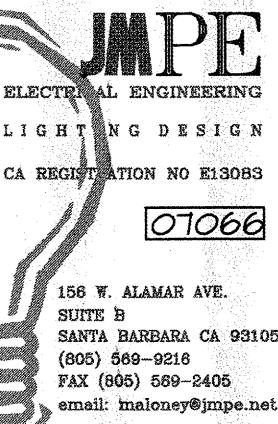
- NEW 600AMP SERVICE, AT NEW EXTERIOR LOCATIONS.
- INSTALL NEW 225KW DIESEL GENERATOR W/ 1800 GALLON TANK.
- BACKFEED EXISTING DISTRIBUTION PANEL.

SYMBOLS

---	CONDUIT EXISTING
---	CONDUIT CONCEALED IN WALL OR CEILING
---	CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
---	CONDUIT STUBBED OUT AND CAPPED
○	CONDUIT TURNED UP
○	CONDUIT TURNED DOWN
	HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1" C., NO MARKS = 2#12
A-3	HOME RUN LETTER INDICATES PANEL NUMBER(S) INDICATES CIRCUIT(S)
---	SAW CUT
---	GROUND CONNECTION
▨	DISTRIBUTION SWITCHBOARD OR PANEL
▨	PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH
▨	SIGNAL TERMINAL CABINET, SURFACE & FLUSH
○	FLUORESCENT FIXTURE
○	OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.
○	SURFACE FIXTURE ON FLUSH OUTLET.
○	RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
⊗	EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
⊗	LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB
⊗	LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
⊗	MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
⊗	SPECIAL RECEPTACLE - SEE PLAN
⊗	METER
⊗	FLUSH FLOOR RECEPTACLE
⊗	RECEPTACLE, DUPLEX, 15A, 125V, NEMA 5-PR +18" UNO.
⊗	DUPLEX RECEPTACLE MTP, ABOVE BACKSPLASH
⊗	DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
⊗	GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
⊗	DOUBLE DUPLEX RECEPTACLE
⊗	CEILING RECEPTACLE
⊗	RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" UNO.
⊗	JUNCTION BOX 4" SQUARE, 1-1/2" DEEP UNO.
⊗	THERMOSTAT F.D.O. +48"
⊗	MOTOR, NO. INDICATES HORSEPOWER
⊗	CLOCK OUTLET +7-6" UNO.
⊗	DISCONNECT SWITCH, NON-FUSED
⊗	DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
⊗	COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
⊗	MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
⊗	DIMMER W/INTEGRAL "ON-OFF" SW.
⊗	PUSHBUTTON
⊗	SPEAKER
⊗	PHOTOCELL
⊗	SMOKE DETECTOR
⊗	TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERPLATE & GROUND METED OPENING +18" UNO.
⊗	CABLE TV OUTLET +18" UNO.
⊗	MOTION SENSOR
⊗	EXISTING SWITCH
S	SINGLE POLE SWITCH
S <sup>2</sup>	DOUBLE POLE SWITCH
S <sup>3</sup>	THREE WAY SWITCH
S <sup>P</sup>	SWITCH W/PILOT LT.
S <sup>M</sup>	MANUAL MOTOR STARTER
FACP	FIRE ALARM CONTROL PANEL
GFIC	GROUND FAULT CIRCUIT INTERRUPTING
LST	LABOR SAVING TANDUM
MLO	MAIN LUGS ONLY
W/	WITH
C.O.	CONDUIT ONLY
W.P.	WEATHERPROOF
F.B.O.	FURNISHED BY OTHERS, INSTALL & CONNECT
U.N.O.	UNLESS NOTED OTHERWISE
N.E.C.	NATIONAL ELECTRICAL CODE
N.I.C.	NOT IN CONTRACT
(E)	EXISTING
(N)	NEW
(R)	REMOVE
(RL)	RELOCATE
S/M	SURFACE MOUNT
U/G	UNDERGROUND
CWP	COLD WATER PIPE
AFF	ABOVE FINISHED FLOOR
HACR	HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER
N.L.	NIGHT LIGHT

APPROVED  
 SIGNATURE: [Signature]  
 MAR 31 2008  
 THE APPROVAL OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE HELD TO BE AN APPROVAL OF THE VIOLATION OF ANY FEDERAL, STATE, COUNTY OR CITY LAWS OR ORDINANCES WILLIAM

REVISIONS	BY



DIRECT RELIEF INTERNATIONAL  
 27 S. LA PATERA RD.  
 GOLETA, CA 93117

GENERAL NOTES, SYMBOLS  
 SCHEDULES & DETAILS

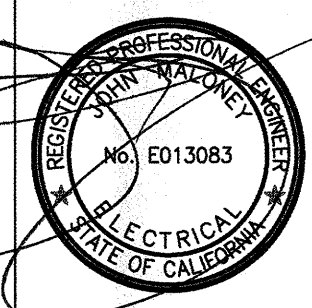
DATE	03-06-07
SCALE	NONE
DRAWN	MG
JOB	07066
SHEET	E-1
OF	SHEETS

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.

REVISIONS	BY

**IMPE**  
ELECTRICAL ENGINEERING  
LIGHTING DESIGN  
CA REGISTRATION NO. E13083  
07066

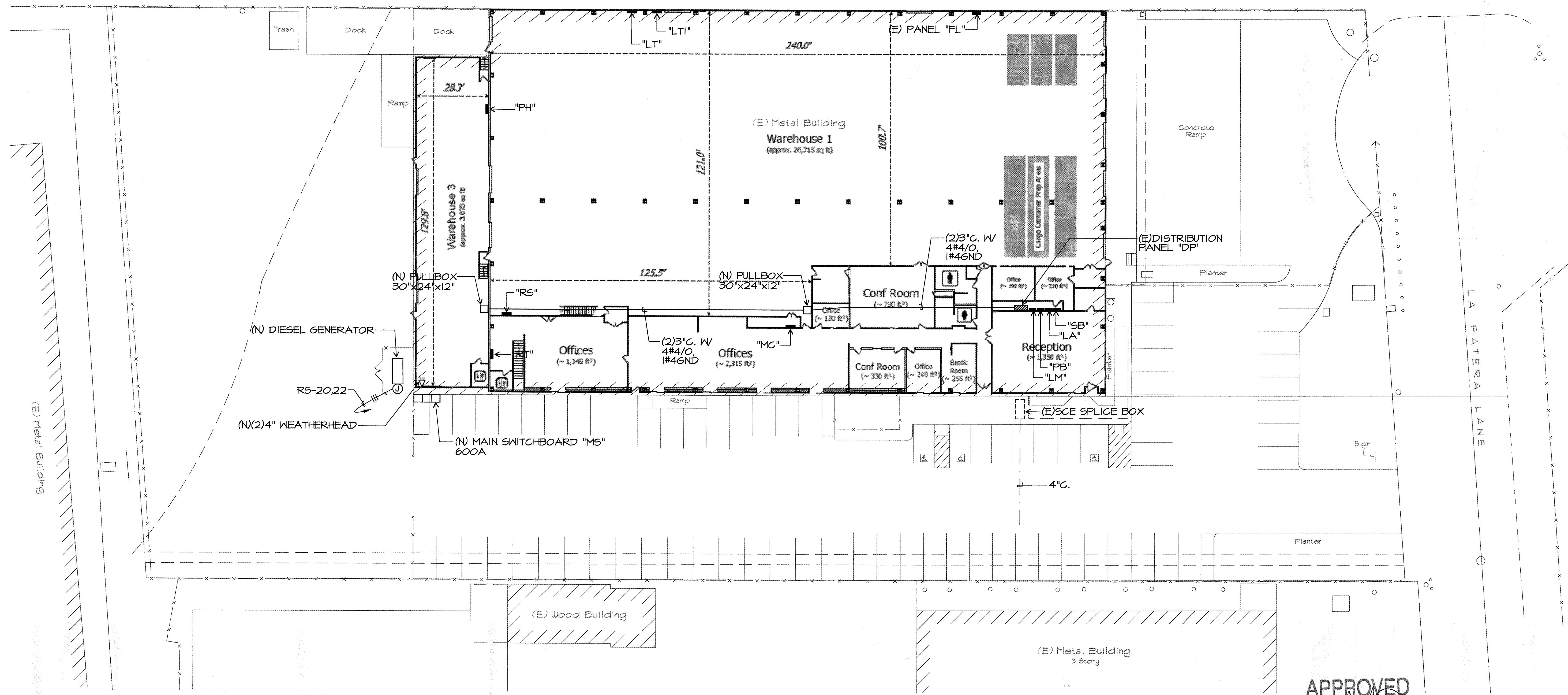
108 W. ALAMAR AVE.  
SUITE 3  
SANTA BARBARA, CA 93103  
(805) 569-8216  
FAX (805) 569-8405  
email: mcaloney@impe.net



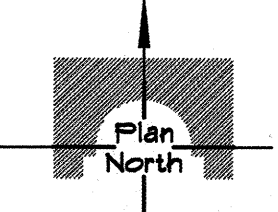
**DIRECT RELIEF INTERNATIONAL**  
27 S. LA PATERA RD.  
GOLETA, CA 93117

**ELECTRICAL SITE PLAN**

DATE	03-06-07
SCALE	NONE
DRAWN	MG
JOB	07066
SHEET	E-2
OF	SHEETS



**Electrical Site Plan**  
1" = 20'-0"



**APPROVED**  
SIGNATURE: *[Signature]*  
MAR 31 2008

THE APPROVAL OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE HELD TO BE AN APPROVAL OF THE VIOLATION OF ANY FEDERAL, STATE, COUNTY OR CITY LAWS OR ORDINANCES. WILLIAM



**NOTICE OF FINAL APPROVAL**  
Intent to Issue a Land Use Permit

Planning and Environmental Services  
130 Crenshaw Drive, Suite B, Goleta, CA 93117  
Phone: (805) 961-7500 Fax: (805) 965-2635  
www.cityofgoleta.org

Case No: 07-070-LUP Planner: Laura Vlk Initials: *LVL*  
Project Address: 27 S. La Patera Lane Project Name: DRI Back-Up Generator  
A.P.N.: 073-050-033 Zone District: Industrial Research Park (M-RP) General Plan Designation: Business Park

Planning and Environmental Services grants final approval and intends to issue this Land Use Permit for the development described below, based upon the required findings and subject to the attached terms and conditions.

FINAL APPROVAL DATE: February 20, 2008

POSTING DATE/APPEAL PERIOD BEGINS: February 21, 2008

APPEAL PERIOD ENDS: March 3, 2008

DATE OF PERMIT ISSUANCE (if no appeal is filed): March 4, 2008

NOTE: This final approval may be appealed to the Planning Commission by the applicant, owner, or any interested person adversely affected by such decision. The appeal must be filed in writing with an appeal application and any required fee within ten (10) calendar days following the Posting Date identified above with Planning and Environmental Services located at 130 Crenshaw Drive, Suite B, Goleta, CA 93117 (Section 35-327). If you have questions regarding this project please contact the planner at (805) 961-7546.

PROJECT DESCRIPTION SUMMARY:  
The property includes a 39,900-square foot commercial building on a 2.5-acre lot in the M-RP zone district. The applicant proposes the addition of a 40-square-foot concrete pad on the southwest corner of the existing warehouse building, which will support a back-up generator powered by a 1,800 gallon, underground, diesel fuel tank. A 6-foot chain link fence will surround the generator, and an existing chain link fencing with slat screening will screen the generator from adjacent properties. The project was filed by agent David Jones on behalf of Direct Relief International, property owner. Related cases: 07-070-SCD.

ASSOCIATED CASE NUMBERS: N/A

**TERMS OF PERMIT ISSUANCE:**

- Posting Notice:** A weather-proofed copy of this Notice/Permit, with Attachments, shall be posted by the Applicant in three (3) conspicuous places along the perimeter of the subject property. At least one notice shall be visible from the nearest street. Each copy of this Notice shall be posted on the identified Posting Date and shall remain posted for a minimum of ten (10) consecutive calendar days. (Section 35-328.3)
- Work Prohibited Prior to Permit Issuance:** No work, development, or use intended to be authorized pursuant to this approval shall commence prior to issuance of this Land Use Permit and/or any other required permit (e.g., building permit).

**WARNING! THIS IS NOT A BUILDING/GRADING PERMIT.**

- Date of Permit Issuance:** This Permit shall be deemed effective and issued on the Date of Permit Issuance as identified above, provided:
  - All terms and conditions including the requirement to post notice must be met and this Notice/Permit has been signed.
  - The Affidavit of Posting was returned to the Planning and Environmental Services after the Appeal Period has closed. Failure to submit the affidavit by such date shall render the approval null and void, and
  - No appeal has been filed.
- Conditions of Approval:** This permit is issued subject to compliance with the attached Conditions of Approval. Failure to comply with the conditions of this permit may result in a civil fine pursuant to the City Code and for permit revocation.

NOTE: This Notice of Final Approval/Intent to Issue a Land Use Permit serves as the Approval and the Land Use Permit once the permit is deemed effective and issued. Issuance of a permit for this project does not allow construction or use outside of the project description, or terms or conditions; nor shall it be construed to be an approval of a violation of any provision of any City policy, ordinance, or other governmental regulation.

**OWNER/APPLICANT ACKNOWLEDGMENT:** Undersigned permittee acknowledges receipt of this approval and agrees to abide by all terms and conditions thereof.

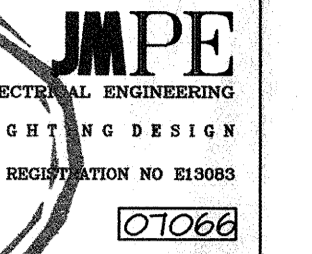
JUDY BAETCH *Judy Baetch* 2/20/08  
File Name: Signature Date  
Planning and Environmental Services Issued by  
L Vlk 2/14/08  
Planner: Date

**Attachment A**  
**CONDITIONS OF APPROVAL**  
Land Use Permit 07-070-LUP

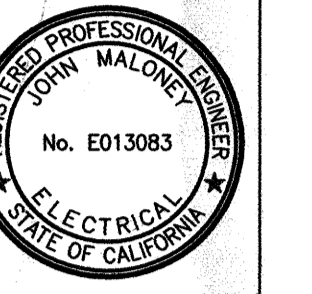
- This permit is granted for the plans stamped 'APPROVED' on file with the Planning and Environmental Services Department ('the plans') and dated February 20, 2008. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a modification to the plans is approved.
- This permit is granted for the property described in the application on file with the Planning and Environmental Services Department, and may not be transferred from one property to another.
- This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of an appropriate permit and the construction of substantial improvements, or the beginning of the proposed use.
- Developer agrees, as a condition of this approval, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process.
- If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant may be subject to a civil fine pursuant to the City Code and/or permit revocation.
- Developer shall provide for dust control at all times during site preparation and project construction.
- Site preparation and construction activity shall be limited to the hours between 8:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on State observed holidays. Maintenance of construction equipment shall be limited to the same hours. Construction activities that do not generate noise, such as interior painting, are not subject to these restrictions.
- All exterior lighting shall be hooded and not directed toward any property zoned residential.
- A copy of this permit including Conditions of Approval must be reproduced on a full size sheet and included with all plan sets submitted to Building and Safety.

- End of Conditions -

REVISIONS	BY



105 W. ALAMAR AVE.  
SUITE B  
SANTA BARBARA, CA 93105  
(805) 569-8818  
FAX (805) 569-8805  
email: maloney@jmpe.com



DIRECT RELIEF INTERNATIONAL  
27 S. LA PATERA RD.  
GOLETA, CA 93117

CONDITIONS OF APPROVAL

DATE	04-02-08
SCALE	NONE
DRAWN	MG
JOB	07066
SHEET	COA
OF	SHEETS

27 S. LA PATERA LANE

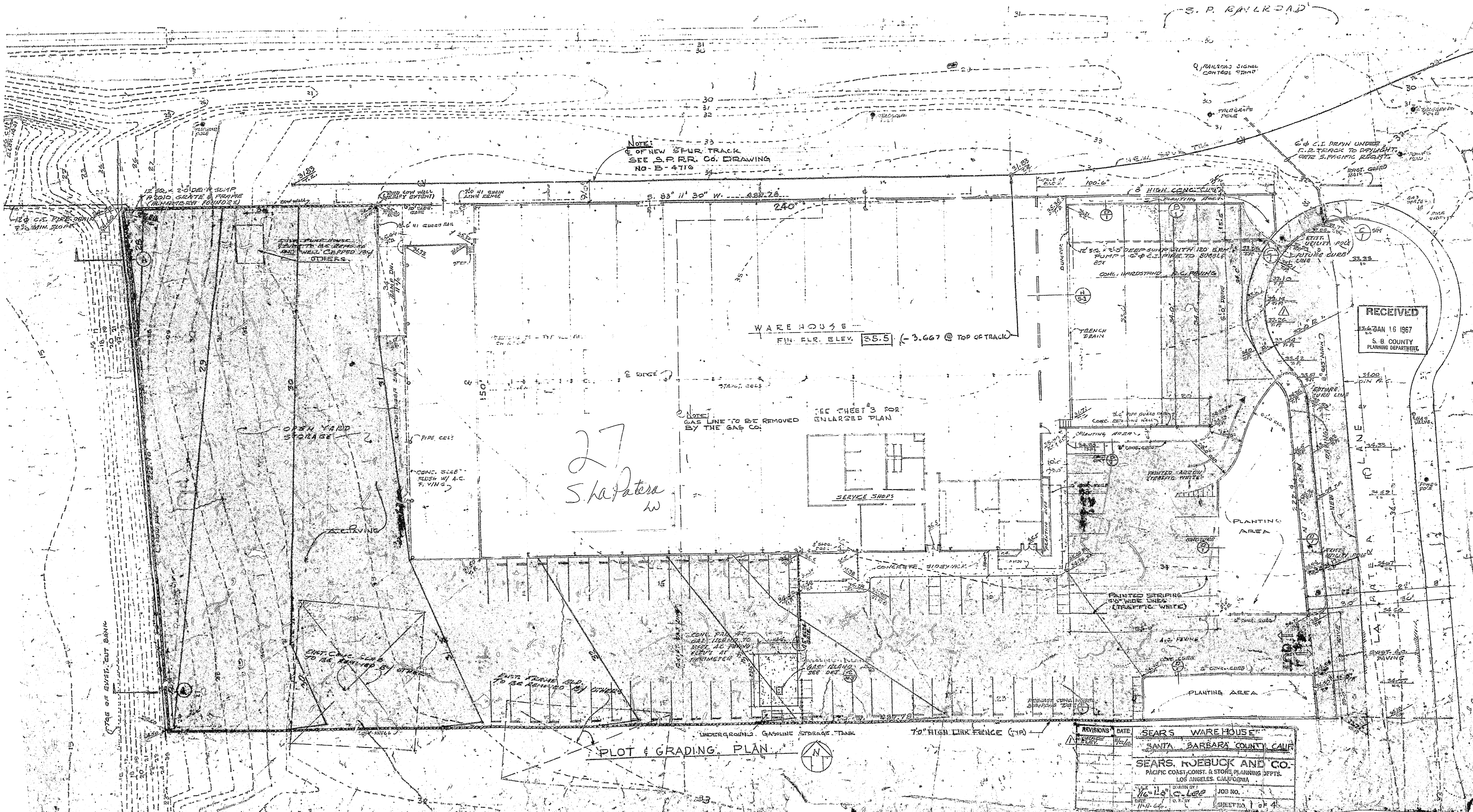
1 of 2



S. P. RAILROAD

NOTE:  
E OF NEW SPUR TRACK  
SEE S.P.R.R. CO. DRAWING  
NO. B-4716

C & I DRAW UNDER  
C.R. TRACK TO DRAINAGE  
SEE S.P.R.R. DRAWING



27  
S. La Patena  
W

WAREHOUSE  
FIN. FLR. ELEV. 35.5 (-3.667 @ TOP OF TRACK)

SEE SHEET 3 FOR  
ENLARGED PLAN

NOTE:  
GAS LINE TO BE REMOVED  
BY THE GAS CO.

PLOT & GRADING PLAN



RECEIVED  
JAN 16 1967  
S. B. COUNTY  
PLANNING DEPARTMENT

REVISIONS	DATE	BY	SEARS WAREHOUSE
1	11-1-66	C. Lee	SANTA BARBARA COUNTY CALIF
SEARS, ROEBUCK AND CO. PACIFIC COAST CONST. & STORE PLANNING DEPTS. LOS ANGELES, CALIFORNIA			
DRAWN BY C. Lee		JOB NO.	
DATE 11-1-66		SHEET NO. 1 OF 4	

S. P. NAYLOR - 112

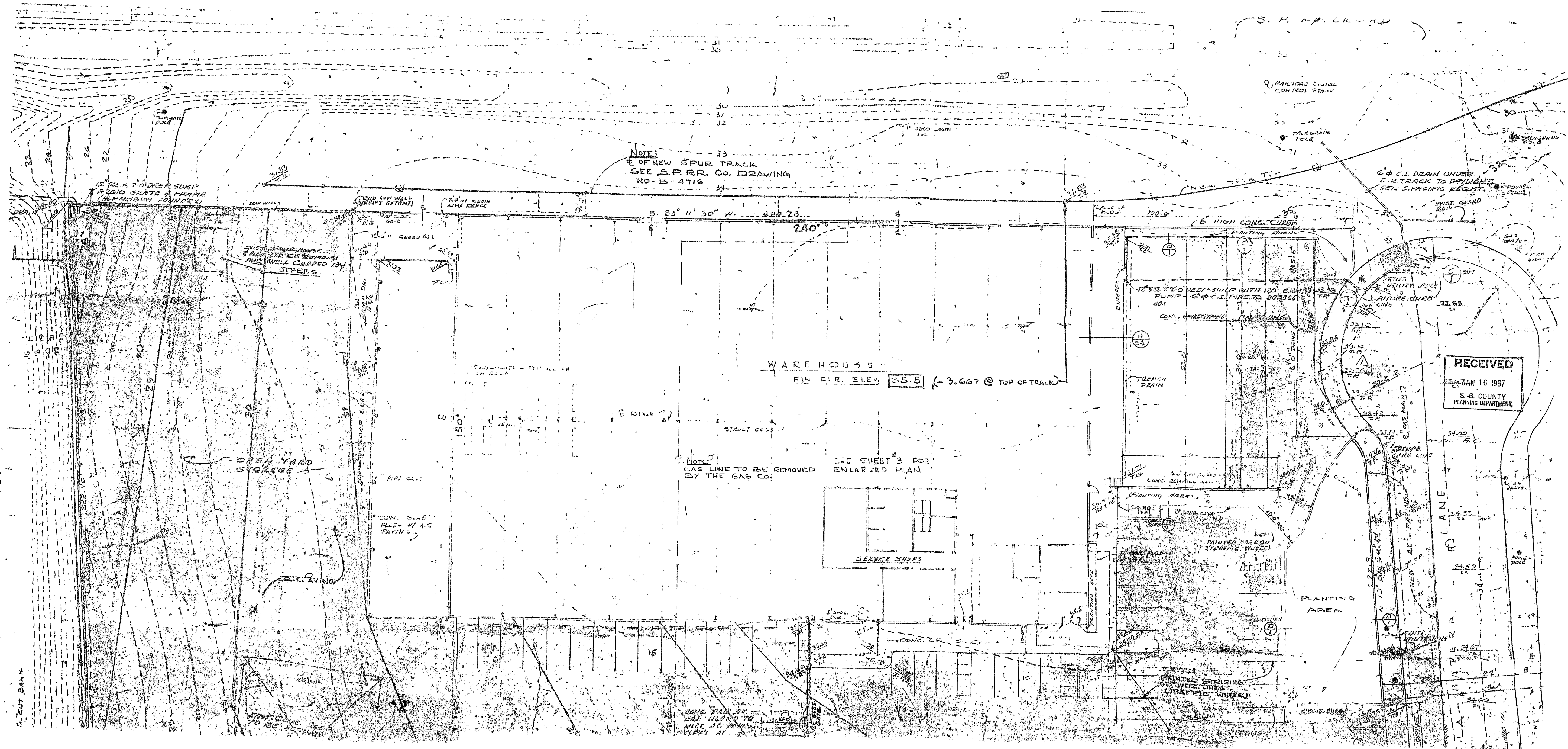
NOTE:  
E OF NEW SPUR TRACK  
SEE S.P.R.R. CO. DRAWING  
NO. B-4716

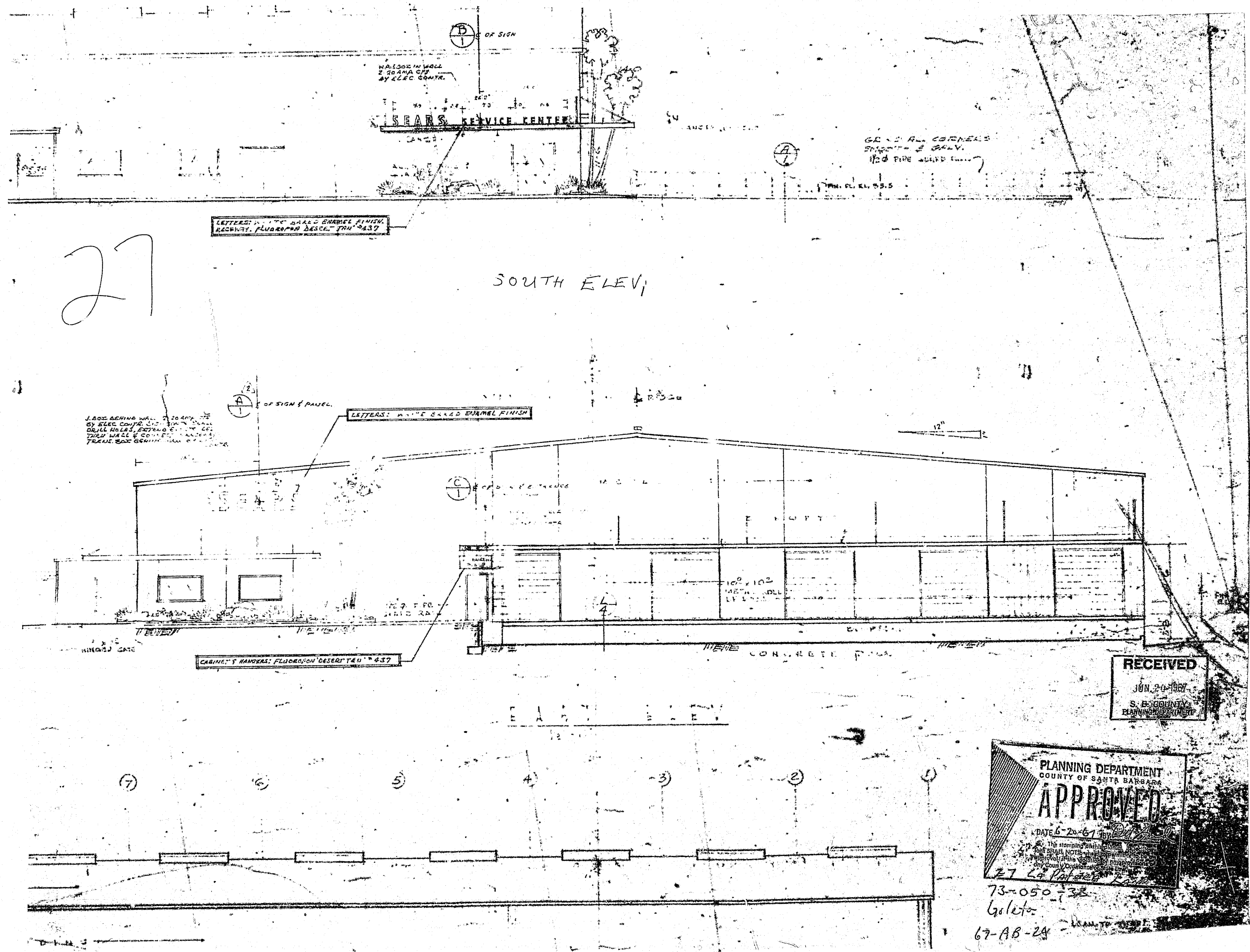
WAREHOUSE  
FIN. FLR. ELEV. 25.5 (-3.667 @ TOP OF TRACK)

NOTE:  
GAS LINE TO BE REMOVED  
BY THE GAS CO.

SEE SHEET 3 FOR  
ENLARGED PLAN

RECEIVED  
JAN 16 1967  
S. B. COUNTY  
PLANNING DEPARTMENT





27

SOUTH ELEV.

EAST ELEV.

LETTERS: WHITE GRAYED FINISH  
LOCATIONS: FLOOR PLAN 45.00 - 70.00 9437

LETTERS: WHITE GRAYED FINISH

CABINET: 1" BARRAS: FLOOR PLAN 45.00 - 70.00 9437

RECEIVED  
JUN 20 1967  
S. B. COUNTY  
PLANNING DEPARTMENT

PLANNING DEPARTMENT  
COUNTY OF SANTA BARBARA  
**APPROVED**  
DATE: 6-20-67  
BY: [Signature]

73-050-38  
67-AB-24

ESS  
ATION

27 La Patera Lane  
Goleta

DESCRIPTION

ZONE

USE Sears S.B. Retail Warehouse

PERMIT NO.	DATE	NAME
38255	2-8-67	Sears S.B. Warehouse
39283	6-20-67	✓ ✓ SIGN
40747	12-11-67	- - -

VARIANCES

EXCEPTIONS

CONDITIONAL PERMITS

VIOLATIONS

REMARKS

HW  
172

November 22, 1966

M. H. R. Callahan  
Public Works  
Building Department  
Court House  
Santa Barbara, California

Dear Mr. Callahan:

Re: Santa Barbara Retail Warehouse  
27 La Patera Lane

We are proceeding posthaste with the preparation for construction of our warehouse in Santa Barbara. Bids are out and due back by the end of November. Attached is a copy of our letter to Mr. R. McClelland of the Southern Pacific Company, dated November 9, 1966, requesting permission to landscape the right-of-way along the north side of our spur track. Also attached is a copy of S.P.'s letter dated November 9, 1966 which acknowledged receipt of our request and our plot plan. S.P. will progress our request for landscaping a portion of the right-of-way through their company to secure management approval. S.P. advised that the matter may also be reviewed by the Public Utilities Commission for the State of California.

During the numerous sessions with the Architectural Review Board for the County of Santa Barbara, I pointed out that we would comply with their requests providing the necessary approvals of the Southern Pacific Company and the Public Utilities Commission can be obtained. We are proceeding to obtain these approvals and are hopeful that they will be granted. However, should they be disapproved, may we please have your assurance that our occupancy will not be denied on this basis alone.

Thank you for your kind attention in this matter.

Yours very truly,

SEARS, ROEBUCK AND CO.

R. C. Owens  
Staff Assistant  
Property Department

RCG/ra  
Att.  
cc/P. D. Scott

*(address envelope)*

November 28, 1966

Mr. R. C. Owens  
Staff Assistant  
Property Dept.  
Sears, Roebuck & Co.  
2650 E. Olympic Blvd.  
Los Angeles, Calif., 90054

Re: R. C. Owens letter  
11-22-66 Occupancy.

Dear Mr. Owens:

Your letter addressed to H. R. Callahan, Bldg. Dept. was referred to me by Mr. Robt. Ritchie of that Department. There is an H. R. Callahan in the Road Dept. and I have forwarded your letter to him on the slim possibility that you meant him to receive it.

The Building Dept. has asked me to answer your letter since they do not have your plans.

The question of occupancy seems a little bit premature but may be due to our way of processing permits.

At this point you need a zoning clearance which is dependant upon your ability to comply with the conditions imposed by the Planning Commission when you were granted a variance and the Architectural Board of Review, all of which you are familiar with.

Should you be unable to obtain the Southern Pacific Company's approval, you would need to appeal to the Architectural Board of Review which set that particular condition or to the County Board of Supervisors.

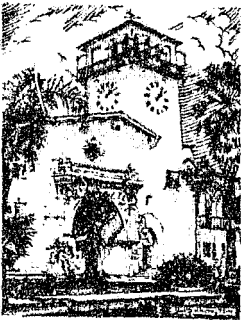
Please feel free to contact us further in this matter at any time.

Very truly yours,

ROBT. A. SCOTT  
Zoning Administrator

RAS:ap

*add enclosed*



COUNTY OF SANTA BARBARA  
CALIFORNIA

DEPARTMENT OF PLANNING

ENGINEERING BUILDING  
123 E. ANAPAMU ST.  
SANTA BARBARA  
CALIFORNIA

May 10, 1967

RICHARD S. WHITEHEAD  
DIRECTOR  
PHONE 966-1811  
Ext. 230

C  
O  
P  
Y

STUART R. COURTICE  
Staff Architect  
Construction Department  
Pacific Coast Administrative Office  
Sears, Roebuck and Co.  
2690 East Olympic Blvd.  
Los Angeles, Calif. 90054

cc: Sears-Roebuck & Co.  
Fence design & color scheme  
Case 757-AD-24 Enclosed  
27 to Patricia Lee, Colton

Dear Mr. Courtice:

The Planning Commission at it's meeting of October 26, 1966 and the Board of Supervisors at it's meeting of Nov. 7, 1966 via approve as I.C. 1 of Case 756-7-111 a screen fence six feet in height in the location where you propose. This fence may be chain-link, interweave with organic plastic strips or other suitable screening materials approved by the Planning Director.

Mr. Whitehead, the Planning Director, has approved the fence screening as set out in the Board of Supervisors letter of Nov. 7, 1966 and as per your submission to this department of April 26, 1967.

Please accept my apologies for the inconvenience this may have caused you as I certainly should have caught this action by the Board's District very diplomatic proposal.

I would now that you have a sign company which will be responsible 1 per cent for the signs and that the fence is a part of the existing boundary permit.

Very truly,

ROBERT A. SUGRE  
SOLING ADMINISTRATOR

RSW:ms

DATE 12-11-67 "

LAND USE RIDER

ZONE M-1-B CENSUS TR. G029 E. D. 42-12N

PERMIT: 40747

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT VALUE: 800  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

LESSOR/OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

PLOTTED:

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: Modern Neon Sign Co.

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: \_\_\_\_\_

M.P.A. Golera PROPOSED USE: Sign

VARIANCE \_\_\_\_\_ C.U.P. \_\_\_\_\_

ARCHITECTURAL APPROVAL 67-AB-65 DATE: 12-8-67

ZONING APPROVAL R. Scott DATE: 12-8-67

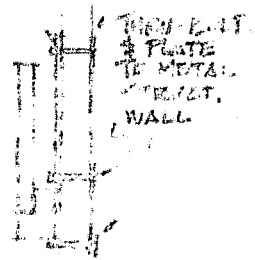
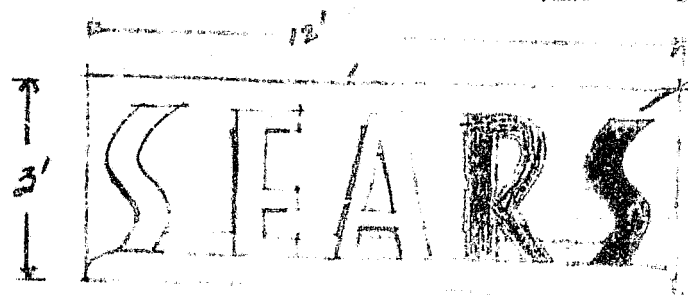
A	LUR Envelope _____	M	Coverage _____	I	Nuisance Abate- ment _____
L	Map Book _____	U		N	D. _____
L	L/S Folder _____	L	R LUR _____	S	Area _____
		T	4 _____	I	
	Tract Conditions _____	C	Develop. Plan _____	G	Height _____
	Zone _____	O		N	
		M	Zone Restrictions _____	S	Sign area/ Wall area _____
R	Yards Front _____	M			
E		E	Design _____		Yards _____
S	Single _____ Double _____	R			
I		C	Coverage _____		Use _____
D	Yards Side _____	I			
E		A	Landscaping _____		Subdivision _____
N	" Rear _____				C.U.P. _____
T					
I	" Corner _____				
A					
L	Use _____				
	Parking _____				
	Driveways _____				
	Height _____				
	Area _____				
	Distance _____				
	Design Control _____				



Edg  
Face

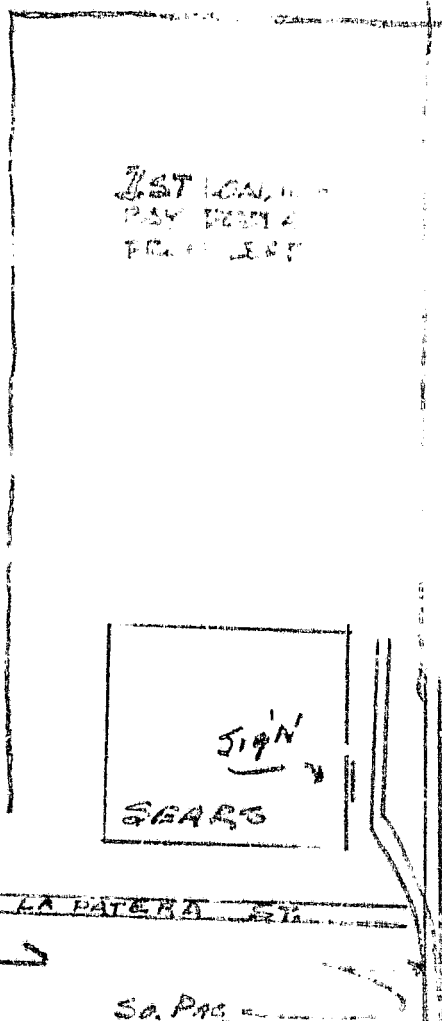
Edg  
Face

background of  
sign to match  
background of  
storefront.



INSTALL SIGN IN CENTER OF SPAN OF WALL

SECTION



TOP OF WALL

INSTALL SIGN IN CENTER OF SPAN OF WALL

1937 Plan

at 2nd Station Line  
73-050-33  
white

SEARS ROEBUCK & CO.  
CITY VALLEY

REGISTRATION SIGN CO.  
20 E. HALL ST.  
SANTA BARBARA, CALIF.

No 1

S.O. PAS. R.R.

DATE 2-8-67

LAND USE RIDER

ZONE M-1-B CENSUS TR. GO-29 E.D. 42-12N

PERMIT: 38255

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 339,300

PLOTTED:

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: \_\_\_\_\_

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: \_\_\_\_\_

M.P.A. Goleta PROPOSED USE: Warehouse

VARIANCE 66-U-111 ~~e.u.p.~~

ARCHITECTURAL APPROVAL \_\_\_\_\_ DATE: \_\_\_\_\_

ZONING APPROVAL 8000 DATE: 2-6-67

A LUR Envelope \_\_\_\_\_

L Map Book \_\_\_\_\_

L L/S Folder \_\_\_\_\_

Tract Conditions \_\_\_\_\_

Zone \_\_\_\_\_

R E S I D E N T I A L Yards Front \_\_\_\_\_

" Side \_\_\_\_\_

" Rear \_\_\_\_\_

" Corner \_\_\_\_\_

Use \_\_\_\_\_

L Parking \_\_\_\_\_

Driveways \_\_\_\_\_

Height \_\_\_\_\_

Area \_\_\_\_\_

Distance \_\_\_\_\_

Design Control \_\_\_\_\_

M R Coverage \_\_\_\_\_

U 4 LUSR \_\_\_\_\_

L T. \_\_\_\_\_

C Develop. Plan \_\_\_\_\_

O M Zone Restrictions \_\_\_\_\_

M E Design \_\_\_\_\_

R C Coverage \_\_\_\_\_

I A Landscaping \_\_\_\_\_

L \_\_\_\_\_

I Nuisance Abate-  
N ment \_\_\_\_\_

D. \_\_\_\_\_

S Area - \_\_\_\_\_

I Height \_\_\_\_\_

N Sign area/  
S Wall area \_\_\_\_\_

Yards \_\_\_\_\_

Use \_\_\_\_\_

Subdivision \_\_\_\_\_

C.U.P. \_\_\_\_\_

DATE 6-20-67

LAND USE RIDER

ZONE M-1-B CENSUS TR. GO-29 E.D. 42-12N

PERMIT: 39283

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 800

PLOTTED: ✓

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: Heath & Co.

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: 213-223-4141

M.P.A. Goleta PROPOSED USE: 1-10 sq.ft.wall sign  
1-36 sq.ft.wall sign  
1-28 sq.ft.roof sign

VARIANCE \_\_\_\_\_ C.U.P. \_\_\_\_\_

ARCHITECTURAL APPROVAL 67-AB-24 DATE: \_\_\_\_\_

ZONING APPROVAL Duffy DATE: 6-20-67

LUR Envelope \_\_\_\_\_

Map Book \_\_\_\_\_

L/S Folder \_\_\_\_\_

Tract Conditions \_\_\_\_\_

Zone \_\_\_\_\_

Yards Front \_\_\_\_\_

" Side \_\_\_\_\_

" Rear \_\_\_\_\_

" Corner \_\_\_\_\_

Use \_\_\_\_\_

Parking \_\_\_\_\_

Driveways \_\_\_\_\_

Height \_\_\_\_\_

Area \_\_\_\_\_

Distance \_\_\_\_\_

Design Control \_\_\_\_\_

M R Coverage \_\_\_\_\_

U 4 LUSR \_\_\_\_\_

L \_\_\_\_\_

T. \_\_\_\_\_

C Develop. Plan \_\_\_\_\_

M Zone Restrictions \_\_\_\_\_

M Design \_\_\_\_\_

R Coverage \_\_\_\_\_

I Landscaping \_\_\_\_\_

A \_\_\_\_\_

L \_\_\_\_\_

I Nuisance Abate-  
N ment \_\_\_\_\_  
D. \_\_\_\_\_

S Area - 36# - 29# 107

I G Height \_\_\_\_\_

N S Sign area/  
Wall area OK

Yards \_\_\_\_\_

Use \_\_\_\_\_

Subdivision \_\_\_\_\_

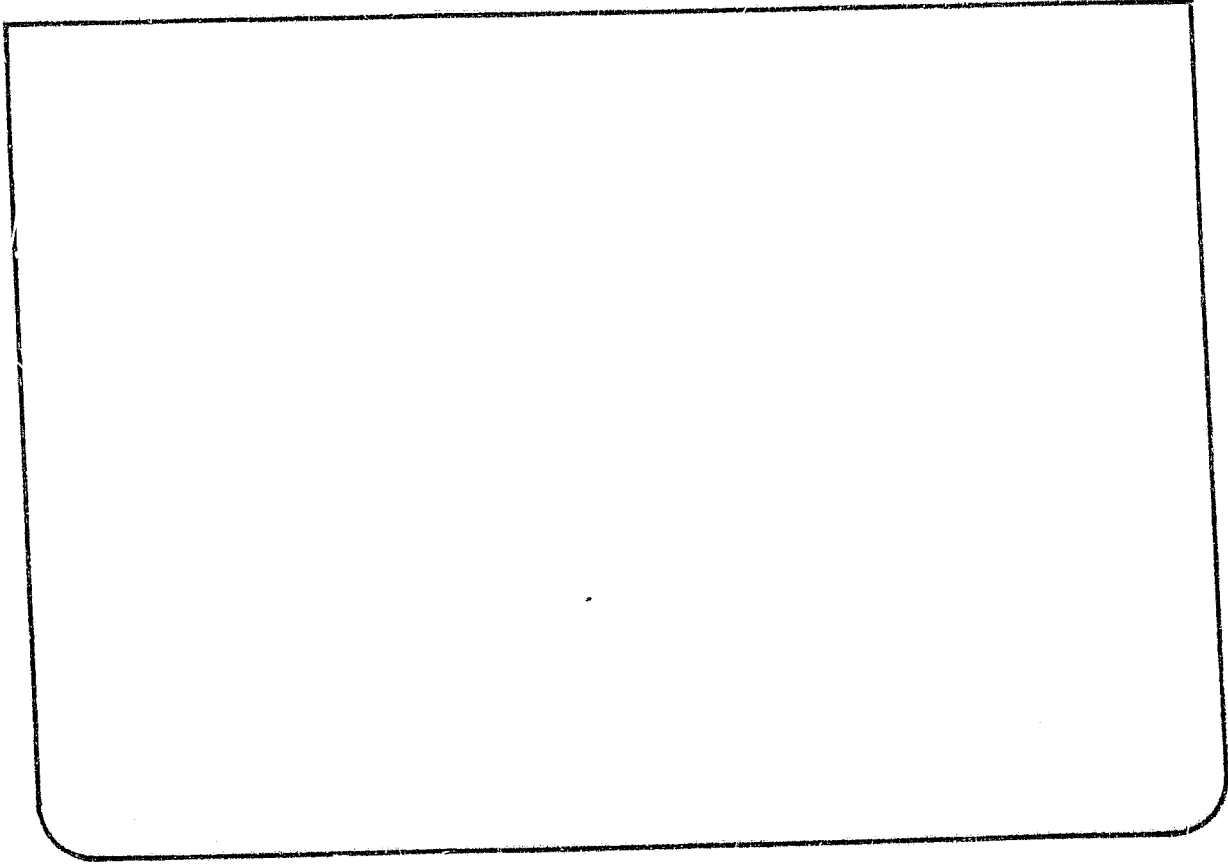
C.U \_\_\_\_\_

# LAND USE RIDER

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit:
Value:

ADDRESS OF JOB <i>27 S LA PATERA LN.</i>		PARCEL NO. <i>73-050-B3</i>
PROPOSED USE <i>SERVICE AND STORAGE OF BUSES</i>		ZONE <i>M-1-B</i>
LESSOR/OWNER <i>SEARS.</i>		CENSUS TR.
AC.	LOT SPLIT NO.	
SQ. FT.	TR.	LOT
SEWAGE DISPOSAL	<input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM	
WATER SUPPLY	<input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE	
ZONING APPROVAL <i>for Driveway</i>	DATE <i>6/17/82.</i>	
REMARKS: <i>RUSSELL TRANSPORTATION IS LEASING A PORTION OF THE SITE FROM SEARS.</i>		



OFFICE MEMORANDUM

To Marta  
From Carl

Date 7/26/82  
In re Attached -

I have no objection to the procedure recommended by Charlie & Courtney. I could not personally support approval by the Board -

7/27/82 : Talked to Mrs. Tackenberg : EA would not support Mrs. Tackenberg's request  
No B/s -

Back approval : file for CUP : EA -

ORAL messages waste your time and the time of the other person; they often cause annoying interruptions and are apt to be misunderstood or forgotten. Put it in writing.

Mrs. Tackenberg indicated that she'll file with Marta

<sup>Brick</sup>  
Charlie - please see me  
at your convenience...  
NO RUSH

7/21/82

The Matter



BEENIE TOOKS BERRY  
27 LA PATERA LN.  
GOLF CA.  
906-8671-72

RECEIVED  
JUL 21 1982  
S. B. COUNTY  
RESOURCE MGT. DEPT.

DEPARTMENT

4-82

Russell Transportation, Inc.  
Complete Transportation Services  
P.O. BOX 457  
9508 VALLEY BOULEVARD  
ROSENCAO, CALIF. 91770-0457  
PHONE: (213) 578-1660

- 1) Has a contract with S.B. Co. School District to bus "Special Education" students.
- 2) is acquiring former "Sears warehouse" at 27 La Patera Ln. APN 73-05<sup>D</sup>-33 (2.48 AC)  
H-1-B
- 3) needs to set up a trailer for office use in July & August, 1982. Z.A. 244 (Sears did not vacate according to the lease agreement.)
- 4) can't wait for "Minor" CUP process.
- 5) can any agency authorize the use?

*[Faint, mostly illegible handwritten notes and signatures at the bottom of the page.]*

- 7/22/82  
1) Talked to Mr. Tooksberry; ~~no answer~~ 1:45 7/22/82  
2) mailed him CUP application.

RECEIVED

NOV 1982

S. D. C. P. S.

RESEARCH CENTER

So. Maryland

2

Page 402

100  
1000

STATE OF MARYLAND  
COUNTY OF [illegible]  
[illegible]  
[illegible]





**PLANNING & DEVELOPMENT  
PERMIT APPLICATION**

Case No. \_\_\_\_\_ Application No. \_\_\_\_\_

**TYPE OF WORK:** (Check all that apply)  
 New Structure  Addition  Ext. Alter.  Int. Remodel  Change of Use  Demo  Move  Exempt  Sign  
 Grading  Retaining Walls  Stockpiling  Electrical  Plumbing  Mechanical  Other \_\_\_\_\_

<b>SITE ADDRESS:</b> <u>2736 PATERA LN</u> <u>SANTA BARBARA, CA 93117</u>	<b>PROJECT DESCRIPTION SUMMARY:</b> <u>ADDING</u> <u>2 RESTROOMS IN INTERIOR OF BLDG</u>
<b>Assessor Parcel No.(s):</b> <u>21-050-33</u>	<b>Estimated work value \$</b> <u>12,000</u>
<b>Parcel Size:</b> <u>0.25</u> <b>Tract No.:</b> _____	<b>Did you have a Planner Consult?</b> <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes

**1. Owner:** PETER COPELAND INTERNATIONAL Phone: \_\_\_\_\_ FAX: \_\_\_\_\_  
**Mailing Address:** 2736 PATERA LN, SB, CA 93117

**2. Agent:** \_\_\_\_\_ Phone: \_\_\_\_\_ FAX: \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_

**3. Architect/Designer:** KATHY HANCOCK Phone: 687-4605 FAX: PETER COPELAND  
**Mailing Address:** P.O. Box 20248, SB, CA 93120 State/Reg Lic# 19827

**4. Engineer/Surveyor:** \_\_\_\_\_ Phone: \_\_\_\_\_ FAX: \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_ State/Reg Lic# \_\_\_\_\_

**5. Contractor:** PETER COPELAND Phone: 962-5777 FAX: \_\_\_\_\_  
**Mailing Address:** P.O. Box 651, SB, CA 93102 State/Reg Lic# 480879

**6. Soil Lab:** \_\_\_\_\_ Phone: \_\_\_\_\_ Reg. \_\_\_\_\_

**PARCEL INFORMATION:** (Check each that apply. Fill in all blanks or indicate "N/A")

- Existing Use:  Agric  SFD  Duplex  Multi-Family  Retail  Office  Indus  Other WAREHOUSE
- Proposed Use:  Agric  SFD  Duplex  Multi-Family  Retail  Office  Indus  Other WAREHOUSE
- Existing: # of Buildings \_\_\_\_\_ Gross Floor Area: 37,000 sq ft Age of Oldest Struct.: 35<sup>+</sup> # Res. Units \_\_\_\_\_
- Proposed: # of Buildings ONE Gross Floor Area: \_\_\_\_\_ # Res. Units \_\_\_\_\_
- Parking Spaces: Existing # ONE Proposed Total # \_\_\_\_\_ Handicapped # \_\_\_\_\_
- Utilities: Water  Public  Private Sewer Disposal  Public  Private
- Grading (cu. yd.): Cut \_\_\_\_\_ Fill \_\_\_\_\_ Import \_\_\_\_\_ Export \_\_\_\_\_ Total: \_\_\_\_\_
- Maximum Slope: Parcel 10% Work site: \_\_\_\_\_ Max Height: Cut/fill combined slope \_\_\_\_\_ Retaining wall \_\_\_\_\_
- Tree Removal:  No  Yes \_\_\_\_\_ Vegetation removal:  No  Yes Sq. Ft./acres: \_\_\_\_\_

Applicant's signature authorizes County staff to enter the property described above for the purposes of inspection.

I hereby declare under penalty of perjury that the information contained in this application is true and complete. I acknowledge and agree that the County of Santa Barbara is relying on the information submitted in order to process this application and that any permits issued based on the information and materials submitted are not true and correct. I further warrant that the information and materials submitted are true and correct. I further warrant that the information and materials submitted are not limited to any litigation.

Kathy Hancock      KATHY HANCOCK, ARCHITECT      12.12.97  
 Signature      Print Name      Firm      Date

PLANNING & DEVELOPMENT  
 COUNTY OF SANTA BARBARA  
 12-12-1997 09:10 AM  
 \$55.00  
 093-658-033  
 \*\*\*\*\*  
 12-12-1997

27 S. LA PATERA LANE

1 of 2

S. P. RAILROAD

NOTE:  
E OF NEW SPUR TRACK  
SEE S.P.R.R. CO. DRAWING  
NO. B-4716

S. 83° 11' 30" W. 489.72'

WAREHOUSE  
FIN. FLR. ELEV. 35.5 (-3.667 @ TOP OF TRACK)

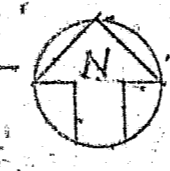
NOTE:  
GAS LINE TO BE REMOVED  
BY THE GAS CO.

SEE SHEET 3 FOR  
ENLARGED PLAN

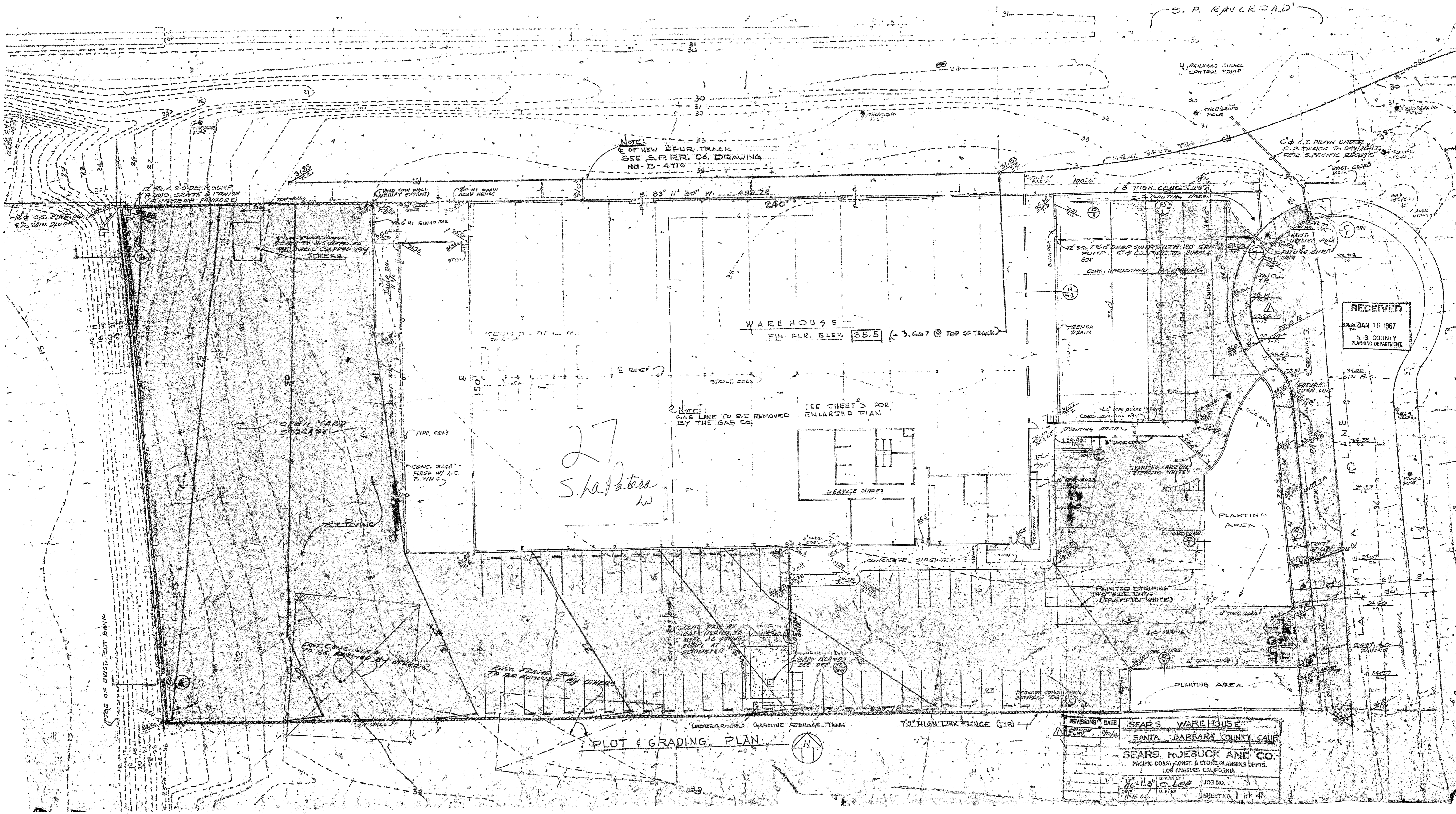
27  
S. La Patena  
W

RECEIVED  
JAN 16 1967  
S. B. COUNTY  
PLANNING DEPARTMENT

PLOT & GRADING PLAN



REVISIONS	DATE	BY	SEARS WAREHOUSE
1	11-1-66	C. Lee	SANTA BARBARA COUNTY CALIF
SEARS, ROEBUCK AND CO. PACIFIC COAST CONST. & STORE PLANNING DEPTS. LOS ANGELES, CALIFORNIA			
DRAWN BY C. Lee		JOB NO.	
DATE 11-1-66		10. P. 57	SHEET NO. 1 OF 4



S. P. NAYLOR - 112

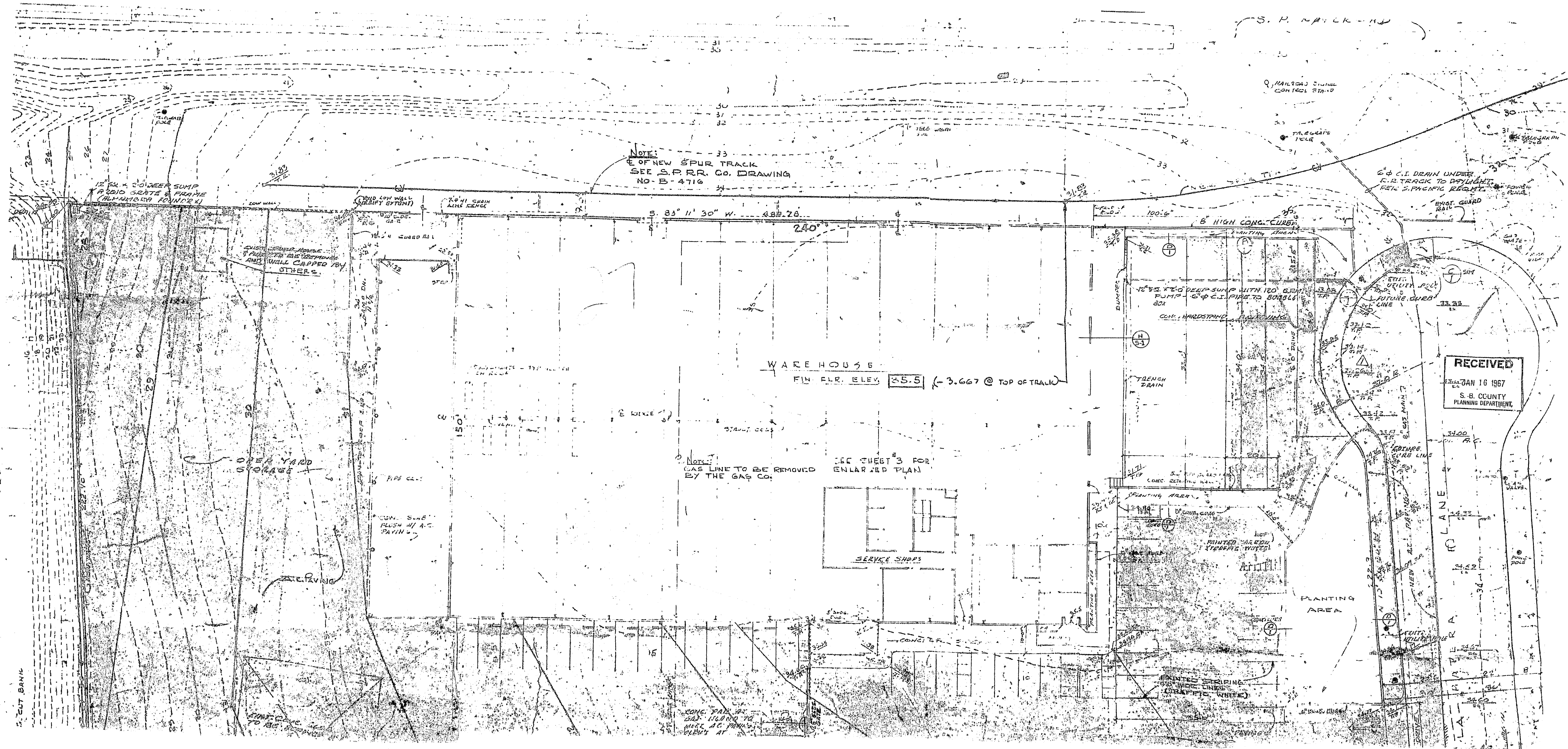
NOTE:  
E OF NEW SPUR TRACK  
SEE S.P.R.R. CO. DRAWING  
NO. B-4716

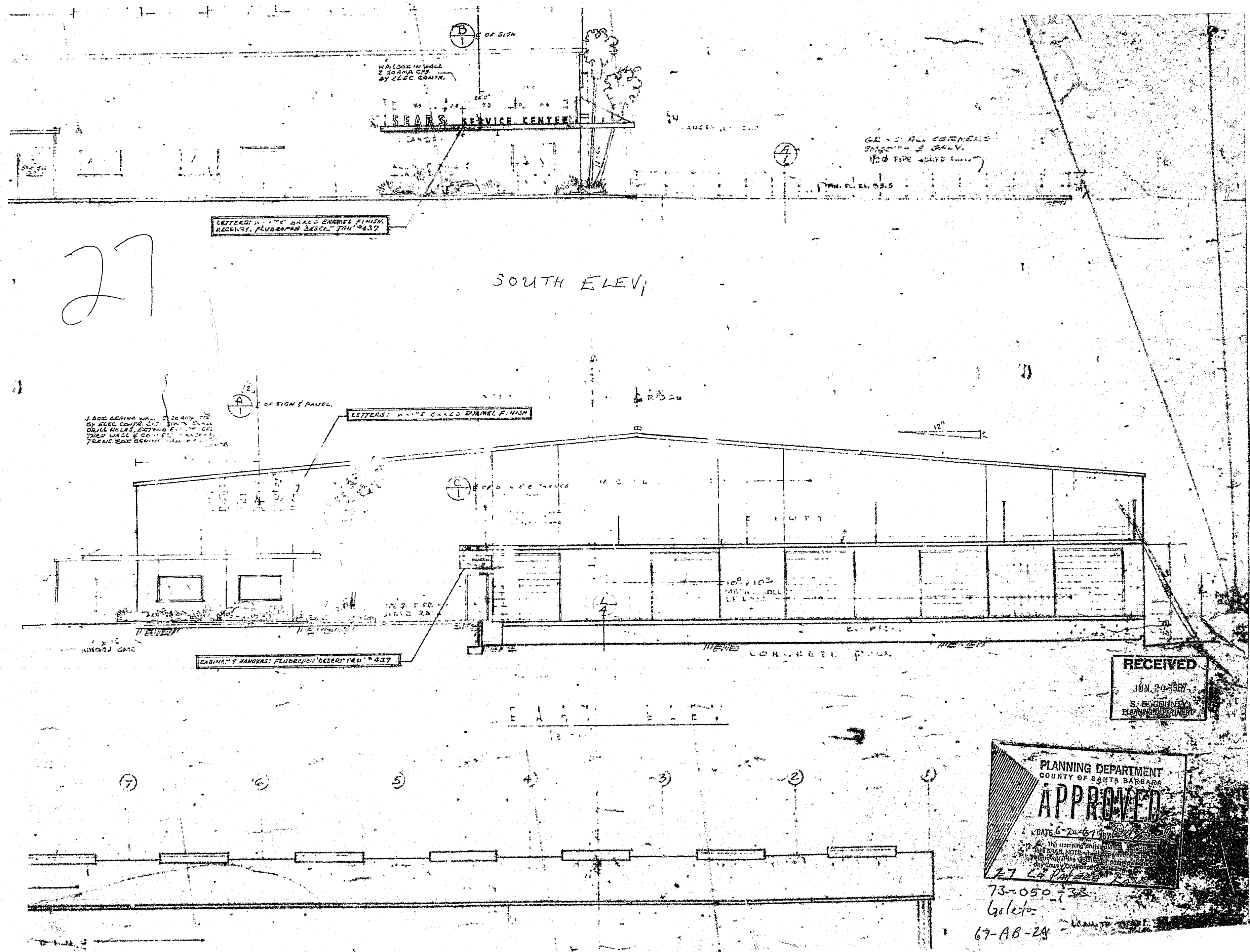
WAREHOUSE  
FIN. FLR. ELEV. 25.5 (-3.667 @ TOP OF TRACK)

NOTE:  
GAS LINE TO BE REMOVED  
BY THE GAS CO.

SEE SHEET 3 FOR  
ENLARGED PLAN

RECEIVED  
JAN 16 1967  
S. B. COUNTY  
PLANNING DEPARTMENT





27

SOUTH ELEV.

EAST ELEV.

LETTERS: WHITE GRAYED FINISH  
LOCATIONS: FLOOR PLAN 45.00 - 70.00 9437

LETTERS: WHITE GRAYED FINISH

LETTERS: WHITE GRAYED FINISH  
LOCATIONS: FLOOR PLAN 45.00 - 70.00 9437

RECEIVED  
JUN 20 1967  
S. B. COUNTY  
PLANNING DEPARTMENT

PLANNING DEPARTMENT  
COUNTY OF SANTA BARBARA  
**APPROVED**  
DATE: 6-20-67  
BY: [Signature]

73-050-38  
67-AB-24

ESS  
ATION

27 La Patera Lane  
Goleta

DESCRIPTION

ZONE

USE Sears S.B. Retail Warehouse

PERMIT NO.	DATE	NAME
38255	2-8-67	Sears S.B. Warehouse
39283	6-20-67	✓ ✓ SIGN
40747	12-11-67	- - -

VARIANCES

EXCEPTIONS

CONDITIONAL PERMITS

VIOLATIONS

REMARKS

WM  
172

November 22, 1966

M. H. R. Callahan  
Public Works  
Building Department  
Court House  
Santa Barbara, California

Dear Mr. Callahan:

Re: Santa Barbara Retail Warehouse  
27 La Patera Lane

We are proceeding posthaste with the preparation for construction of our warehouse in Santa Barbara. Bids are out and due back by the end of November. Attached is a copy of our letter to Mr. R. McClelland of the Southern Pacific Company, dated November 9, 1966, requesting permission to landscape the right-of-way along the north side of our spur track. Also attached is a copy of S.P.'s letter dated November 9, 1966 which acknowledged receipt of our request and our plot plan. S.P. will progress our request for landscaping a portion of the right-of-way through their company to secure management approval. S.P. advised that the matter may also be reviewed by the Public Utilities Commission for the State of California.

During the numerous sessions with the Architectural Review Board for the County of Santa Barbara, I pointed out that we would comply with their requests providing the necessary approvals of the Southern Pacific Company and the Public Utilities Commission can be obtained. We are proceeding to obtain these approvals and are hopeful that they will be granted. However, should they be disapproved, may we please have your assurance that our occupancy will not be denied on this basis alone.

Thank you for your kind attention in this matter.

Yours very truly,

SEARS, ROEBUCK AND CO.

R. C. Owens  
Staff Assistant  
Property Department

RCG/ra  
Att.  
cc/P. D. Scott

*(address envelope)*

November 28, 1966

Mr. R. C. Owens  
Staff Assistant  
Property Dept.  
Sears, Roebuck & Co.  
2650 E. Olympic Blvd.  
Los Angeles, Calif., 90054

Re: R. C. Owens letter  
11-22-66 Occupancy.

Dear Mr. Owens:

Your letter addressed to H. R. Callahan, Bldg. Dept. was referred to me by Mr. Robt. Ritchie of that Department. There is an H. R. Callahan in the Road Dept. and I have forwarded your letter to him on the slim possibility that you meant him to receive it.

The Building Dept. has asked me to answer your letter since they do not have your plans.

The question of occupancy seems a little bit premature but may be due to our way of processing permits.

At this point you need a zoning clearance which is dependant upon your ability to comply with the conditions imposed by the Planning Commission when you were granted a variance and the Architectural Board of Review, all of which you are familiar with.

Should you be unable to obtain the Southern Pacific Company's approval, you would need to appeal to the Architectural Board of Review which set that particular condition or to the County Board of Supervisors.

Please feel free to contact us further in this matter at any time.

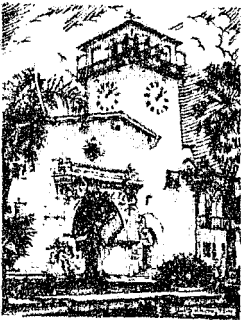
Very truly yours,

ROBT. A. SCOTT  
Zoning Administrator

RAS:ap



*add enclosed*



COURTY OF SANTA BARBARA  
CALIFORNIA

DEPARTMENT OF PLANNING

ENGINEERING BUILDING  
123 E. ANAPAMU ST.  
SANTA BARBARA  
CALIFORNIA

May 10, 1967

RICHARD S. WHITEHEAD  
DIRECTOR  
PHONE 966-1811  
Ext. 230

C  
O  
P  
Y

STUART R. COURTICE  
Staff Architect  
Construction Department  
Pacific Coast Administrative Office  
Sears, Roebuck and Co.  
2690 East Olympic Blvd.  
Los Angeles, Calif. 90054

cc: Sears-Roebuck & Co.  
Fence design & color scheme  
Case 967-AD-24 (enclosed)  
27 to Patricia Hill, Colton

Dear Mr. Courtice:

The Planning Commission at it's meeting of October 26, 1966 and the Board of Supervisors at it's meeting of Nov. 7, 1966 via approve as I.C. 1 of Case 966-7-111 a screen fence six feet in height in the location where you propose. This fence may be chain-link, interweave with organic plastic strips or other suitable screening materials approved by the Planning Director.

Mr. Whitehead, the Planning Director, has approved the fence screening as set out in the Board of Supervisors letter of Nov. 7, 1966 and as per your submission to this department of April 26, 1967.

Please accept my apologies for the inconvenience this may have caused you as I certainly should have caught this action by the Board's District very diplomatic proposition.

I would now that you have a sign company which will be responsible 1 per cent for the signs and that the fence is a part of the existing boundary permit.

Very truly,

ROBERT A. SUGRE  
SOLING ADMINISTRATOR

RSW:ms

DATE 12-11-67 "

LAND USE RIDER

ZONE M-1-B CENSUS TR. G029 E. D. 42-12N

PERMIT: 40747

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 800

PLOTTED:

LESSOR/OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: Modern Neon Sign Co.

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: \_\_\_\_\_

M.P.A. Golera PROPOSED USE: Sign

VARIANCE \_\_\_\_\_ C.U.P. \_\_\_\_\_

ARCHITECTURAL APPROVAL 67-AB-65 DATE: 12-8-67

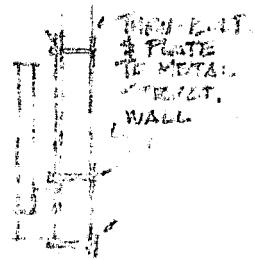
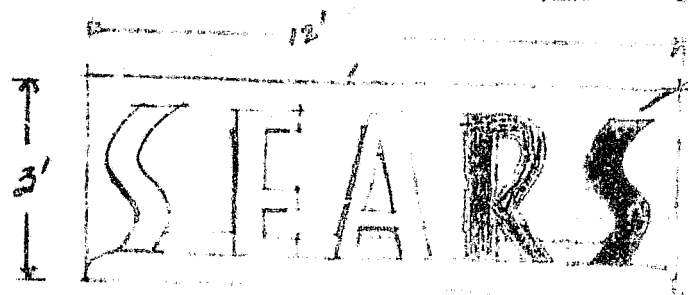
ZONING APPROVAL R. Scott DATE: 12-8-67

A	LUR Envelope _____	M	Coverage _____	I	Nuisance Abate-
L	Map Book _____	U		N	ment _____
L	L/S Folder _____	L	R LUR _____	D.	
		T	4 _____	S	Area _____
				I	
	Tract Conditions _____	C	Develop. Plan _____	G	Height _____
		O		N	
	Zone _____	M	Zone Restrictions _____	S	Sign area/ Wall area _____
		M			
R	Yards Front _____	E	Design _____		Yards _____
E		R			
S	Single _____ Double _____	C	Coverage _____		Use _____
I		I			
D	Yards Side _____	A	Landscaping _____		Subdivision _____
E					
N	" Rear _____				C.U.P. _____
T					
I	" Corner _____				
A					
L	Use _____				
	Parking _____				
	Driveways _____				
	Height _____				
	Area _____				
	Distance _____				
	Design Control _____				

Edg  
Face

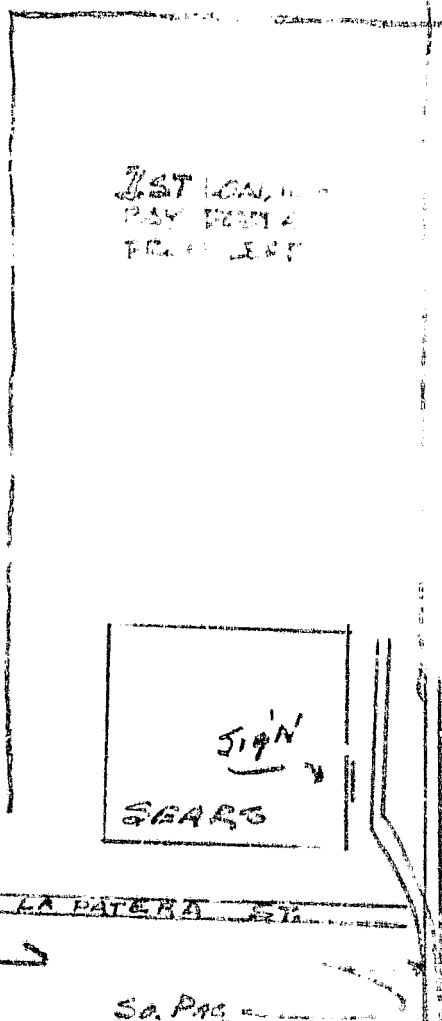
Edg  
Face

background of  
sign to match  
background of  
storefront.



INSTALL SIGN IN CENTER OF SPAN OF WALL

SECTION



TOP VIEW

1937 Plan

at 1st floor level  
73-050-33  
white

SEARS ROEBUCK & CO.  
GENERAL MERCHANDISE

DEPARTMENT STORE  
202 HALL ST.  
SANTA BARBARA, CALIF.

So. Pac. R.R.

DATE 2-8-67

LAND USE RIDER

ZONE M-1-B CENSUS TR. GO-29 E.D. 42-12N

PERMIT: 38255

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 339,300

PLOTTED:

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: \_\_\_\_\_

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: \_\_\_\_\_

M.P.A. Goleta PROPOSED USE: Warehouse

VARIANCE 66-U-111 ~~e.u.p.~~

ARCHITECTURAL APPROVAL \_\_\_\_\_ DATE: \_\_\_\_\_

ZONING APPROVAL 8000 DATE: 2-6-67

A LUR Envelope \_\_\_\_\_

L Map Book \_\_\_\_\_

L L/S Folder \_\_\_\_\_

Tract Conditions \_\_\_\_\_

Zone \_\_\_\_\_

R E S I D E N T I A L Yards Front \_\_\_\_\_

" Side \_\_\_\_\_

" Rear \_\_\_\_\_

" Corner \_\_\_\_\_

Use \_\_\_\_\_

L Parking \_\_\_\_\_

Driveways \_\_\_\_\_

Height \_\_\_\_\_

Area \_\_\_\_\_

Distance \_\_\_\_\_

Design Control \_\_\_\_\_

M R Coverage \_\_\_\_\_

U 4 LUSR \_\_\_\_\_

L T. \_\_\_\_\_

C Develop. Plan \_\_\_\_\_

O M Zone Restrictions \_\_\_\_\_

M E Design \_\_\_\_\_

R C Coverage \_\_\_\_\_

I A Landscaping \_\_\_\_\_

L \_\_\_\_\_

I Nuisance Abate-  
N ment \_\_\_\_\_  
D. \_\_\_\_\_

S Area - \_\_\_\_\_

I Height \_\_\_\_\_

N Sign area/  
S Wall area \_\_\_\_\_

Yards \_\_\_\_\_

Use \_\_\_\_\_

Subdivision \_\_\_\_\_

C.U.P. \_\_\_\_\_

DATE 6-20-67

LAND USE RIDER

ZONE M-1-B CENSUS TR. GO-29 E.D. 42-12N

PERMIT: 39283

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT  
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 800

PLOTTED: ✓

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: \_\_\_\_\_ CONTRACTOR: Heath & Co.

PARCEL NO. 73-050-33 LOT SPLIT: \_\_\_\_\_ PHONE: 213-223-4141

M.P.A. Goleta PROPOSED USE: 1-10 sq.ft.wall sign  
1-36 sq.ft.wall sign

VARIANCE \_\_\_\_\_ C.U.P. \_\_\_\_\_  
1-28 sq.ft.roof sign

ARCHITECTURAL APPROVAL 67-AB-24 DATE: \_\_\_\_\_

ZONING APPROVAL Def. Am. 2 DATE: 6-20-67

LUR Envelope \_\_\_\_\_

Map Book \_\_\_\_\_

L/S Folder \_\_\_\_\_

Tract Conditions \_\_\_\_\_

Zone \_\_\_\_\_

Yards Front \_\_\_\_\_

" Side \_\_\_\_\_

" Rear \_\_\_\_\_

" Corner \_\_\_\_\_

Use \_\_\_\_\_

Parking \_\_\_\_\_

Driveways \_\_\_\_\_

Height \_\_\_\_\_

Area \_\_\_\_\_

Distance \_\_\_\_\_

Design Control \_\_\_\_\_

M R Coverage \_\_\_\_\_

U 4 LUSR \_\_\_\_\_

L \_\_\_\_\_

T. \_\_\_\_\_

C Develop. Plan \_\_\_\_\_

O Zone Restrictions \_\_\_\_\_

M \_\_\_\_\_

E Design \_\_\_\_\_

R Coverage \_\_\_\_\_

C \_\_\_\_\_

I Landscaping \_\_\_\_\_

A \_\_\_\_\_

L \_\_\_\_\_

I Nuisance Abate-  
N ment \_\_\_\_\_  
D. \_\_\_\_\_

S Area - 36# - 29# 107

I G Height \_\_\_\_\_

N S Sign area/  
Wall area OK

Yards \_\_\_\_\_

Use \_\_\_\_\_

Subdivision \_\_\_\_\_

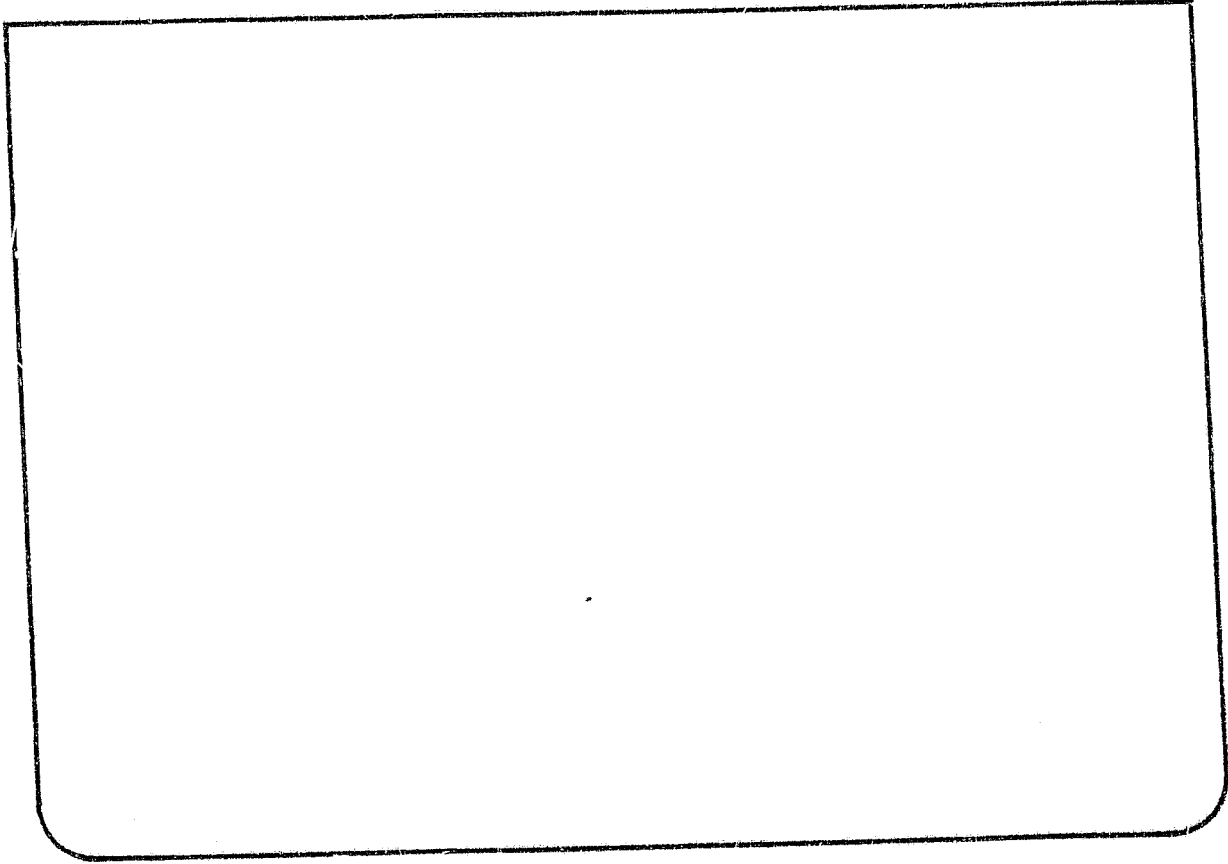
C.U \_\_\_\_\_

# LAND USE RIDER

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit:
Value:

ADDRESS OF JOB <i>27 S LA PATERA LN.</i>		PARCEL NO. <i>73-050-83</i>
PROPOSED USE <i>SERVICE AND STORAGE OF BUSES</i>		ZONE <i>M-1-B</i>
LESSOR/OWNER <i>SEARS.</i>		CENSUS TR.
AC.	LOT SPLIT NO.	
SQ. FT.	TR.	LOT
SEWAGE DISPOSAL <input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL <i>for Driveway</i>		DATE <i>6/17/82.</i>
REMARKS: <i>RUSSELL TRANSPORTATION IS LEASING A PORTION OF THE SITE FROM SEARS.</i>		



OFFICE MEMORANDUM

To Marta  
From Carl

Date 7/26/82  
In re Attached -

I have no objection to the procedure recommended by Charlie & Courtney. I could not personally support approval by the Board -

7/27/82 : Talked to Mrs. Tackenberg : EA would not support Mrs. Tackenberg's request.  
No B/S -

Back approval : file for CUP : EA -

ORAL messages waste your time and the time of the other person; they often cause annoying interruptions and are apt to be misunderstood or forgotten. Put it in writing.

Mrs. Tackenberg indicated that she'll write

<sup>Britt</sup>  
Chantelle - please see me  
at your convenience...  
NO RUSH

7/21/82

The Matter



BEENIE TOOKS BERRY  
27 LA PATERA LN.  
GOLF CA.  
906-8671-72

RECEIVED  
JUL 21 1982  
S. B. COUNTY  
RESOURCE MGT. DEPT.

DEPARTMENT OF ENVIRONMENT

4-92

Russell Transportation, Inc.  
Complete Transportation Services  
P.O. BOX 457  
9508 VALLEY BOULEVARD  
ROSENCAO, CALIF. 91770-0457  
PHONE: (213) 578-1660

- 1) Has a contract with S.B. Co. School District to bus "Special Education" students.
- 2) is acquiring former "Sears warehouse" at 27 La Patera Ln. APN 73-05<sup>D</sup>-33 (2.48 AC)  
H-1-B
- 3) needs to set up a trailer for office use in July & August, 1982. Z.A. 244 (Sears did not vacate according to the lease agreement.)
- 4) can't wait for "Minor" CUP process.
- 5) can any agency authorize the use?

*[Faint, mostly illegible handwritten notes and signatures at the bottom of the page.]*



- 7/22/82  
1) Talked to Mr. Tookberry; ~~no answer~~ 1:45 7/22/82  
2) mailed him CUP application.

RECEIVED

NOV 1982

S. D. C. P. S.  
RESEARCH CENTER

So. Maryland

2

Page 402

100  
1000

STATE OF MARYLAND  
COUNTY OF [illegible]  
[illegible]  
[illegible]



## PLANNING & DEVELOPMENT PERMIT APPLICATION

Case No. \_\_\_\_\_ Application No. \_\_\_\_\_

TYPE OF WORK: (Check all that apply)

New Structure  Addition  Ext. Alter.  Int. Remodel  Change of Use  Demo  Move  Exempt  Sign

Grading  Retaining Wall  Stockpiling  Electrical  Plumbing  Mechanical  Other \_\_\_\_\_

SITE ADDRESS: 2736 PATERA LN  
SANTA BARBARA, CA 93117

Assessor Parcel No.(s): 21-050-33

Parcel Size: 0.25 Acres Tract No. \_\_\_\_\_

PROJECT DESCRIPTION SUMMARY: ADDING  
2 RESTROOMS IN INTERIOR OF BLDG

Estimated work value \$ 12,000

Did you have a Planner Consult?  No  Yes

1. Owner: PETER RELAND INTERNATIONAL Phone: \_\_\_\_\_ FAX: \_\_\_\_\_

Mailing Address: 2736 PATERA LN, SB, CA 93117

2. Agent: \_\_\_\_\_ Phone: \_\_\_\_\_ FAX: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

3. Architect/Designer: KATHY HANCOCK Phone: 687-4605 FAX: PETER COPELAND

Mailing Address: P.O. Box 20248, SB, CA 93120 State/Reg Lic# 3198

4. Engineer/Surveyor: \_\_\_\_\_ Phone: \_\_\_\_\_ FAX: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ State/Reg Lic# \_\_\_\_\_

5. Contractor: PETER RELAND Phone: 962-5777 FAX: \_\_\_\_\_

Mailing Address: P.O. Box 651, SB, CA 93102 State/Reg Lic# 480879

6. Soil Lab: \_\_\_\_\_ Phone: \_\_\_\_\_ Reg. \_\_\_\_\_

PARCEL INFORMATION: (Check each that apply. Fill in all blanks or indicate "N/A")

1. Existing Use:  Agric  SFD  Duplex  Multi-Family  Retail  Office  Indus  Other WAREHOUSE

2. Proposed Use:  Agric  SFD  Duplex  Multi-Family  Retail  Office  Indus  Other WAREHOUSE

3. Existing: # of Buildings: \_\_\_\_\_ Gross Floor Area: 37,000 sq ft Age of Oldest Struct.: 35 yrs # Res. Units: \_\_\_\_\_

4. Proposed: # of Buildings: N/A Gross Floor Area: \_\_\_\_\_ # Res. Units: \_\_\_\_\_

5. Parking Spaces: Existing # N/A Proposed Total # \_\_\_\_\_ Handicapped # \_\_\_\_\_

6. Utilities: Water:  Public  Private Sewer Disposal:  Public  Private

7. Grading (cu. yd.): Cut: \_\_\_\_\_ Fill: \_\_\_\_\_ Import: \_\_\_\_\_ Export: \_\_\_\_\_ Total: \_\_\_\_\_

8. Max Slope: Parcel: 10% Work site: \_\_\_\_\_ Max Height: Cut/fill combined slope Retaining wall: \_\_\_\_\_

9. Tree Removal:  No  Yes \_\_\_\_\_ Vegetation removal:  No  Yes Sq. Ft./acres: \_\_\_\_\_

Applicant's signature authorizes County staff to enter the property described above for the purposes of inspection.

I hereby declare under penalty of perjury that the information contained in this application is true and complete. I acknowledge that the County of Santa Barbara is relying on the information submitted in order to process this application and that any permits issued based on such information are not true and correct. I further warrant that the information submitted is true and correct. I further warrant that the information submitted is not limited to any litigation.

Kathy Hancock \_\_\_\_\_ KATHY HANCOCK, ARCHITECT \_\_\_\_\_ 12.12.97 \_\_\_\_\_

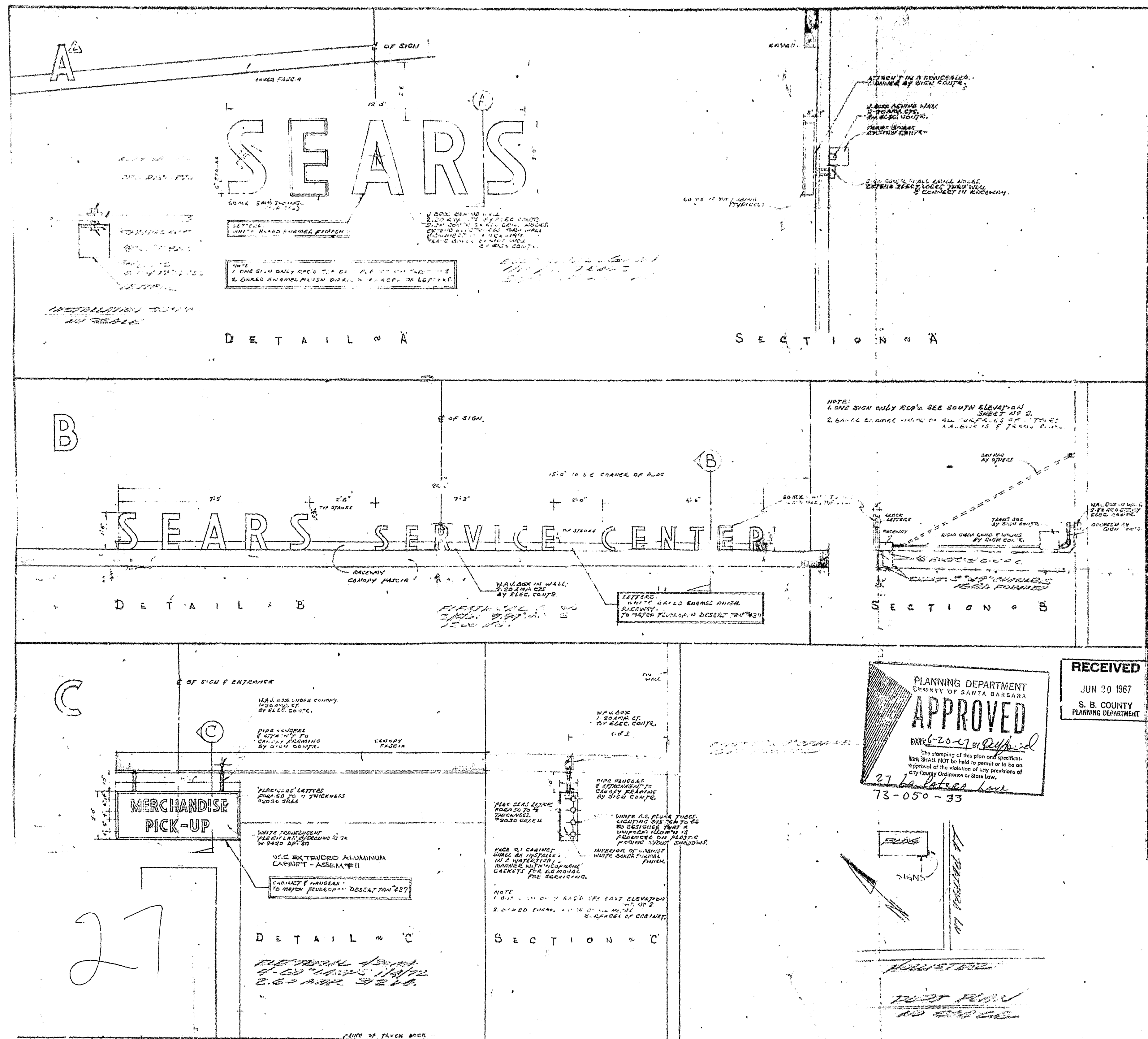
Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Firm \_\_\_\_\_ Date \_\_\_\_\_

PLANNING & DEVELOPMENT  
 COUNTY OF SANTA BARBARA  
 12-12-1997 09:10 AM  
 \$55.00  
 093-658-633  
 \*\*\*\*\*  
 12-12-1997

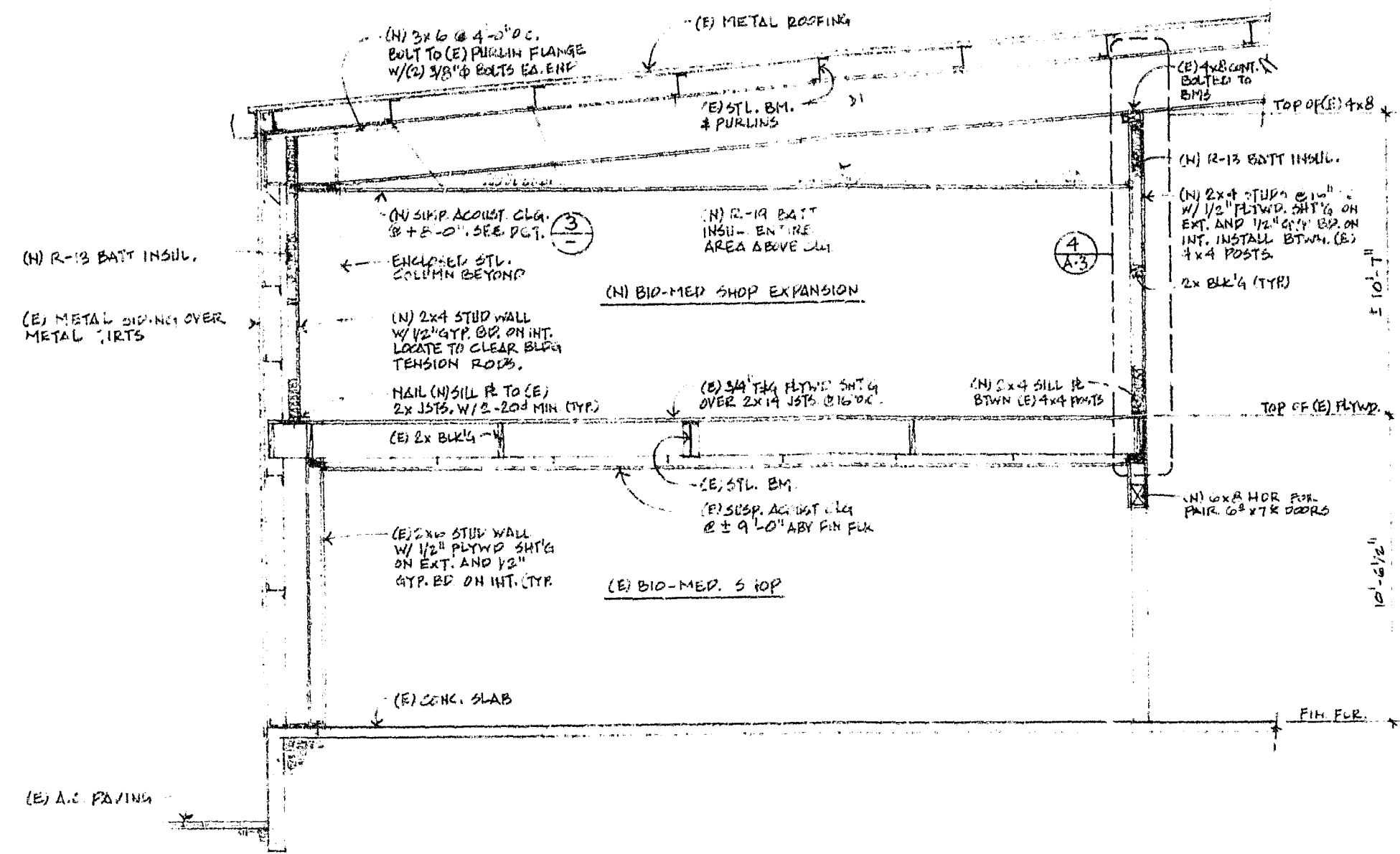
27 S. LA PATERA LANE

2 of 2

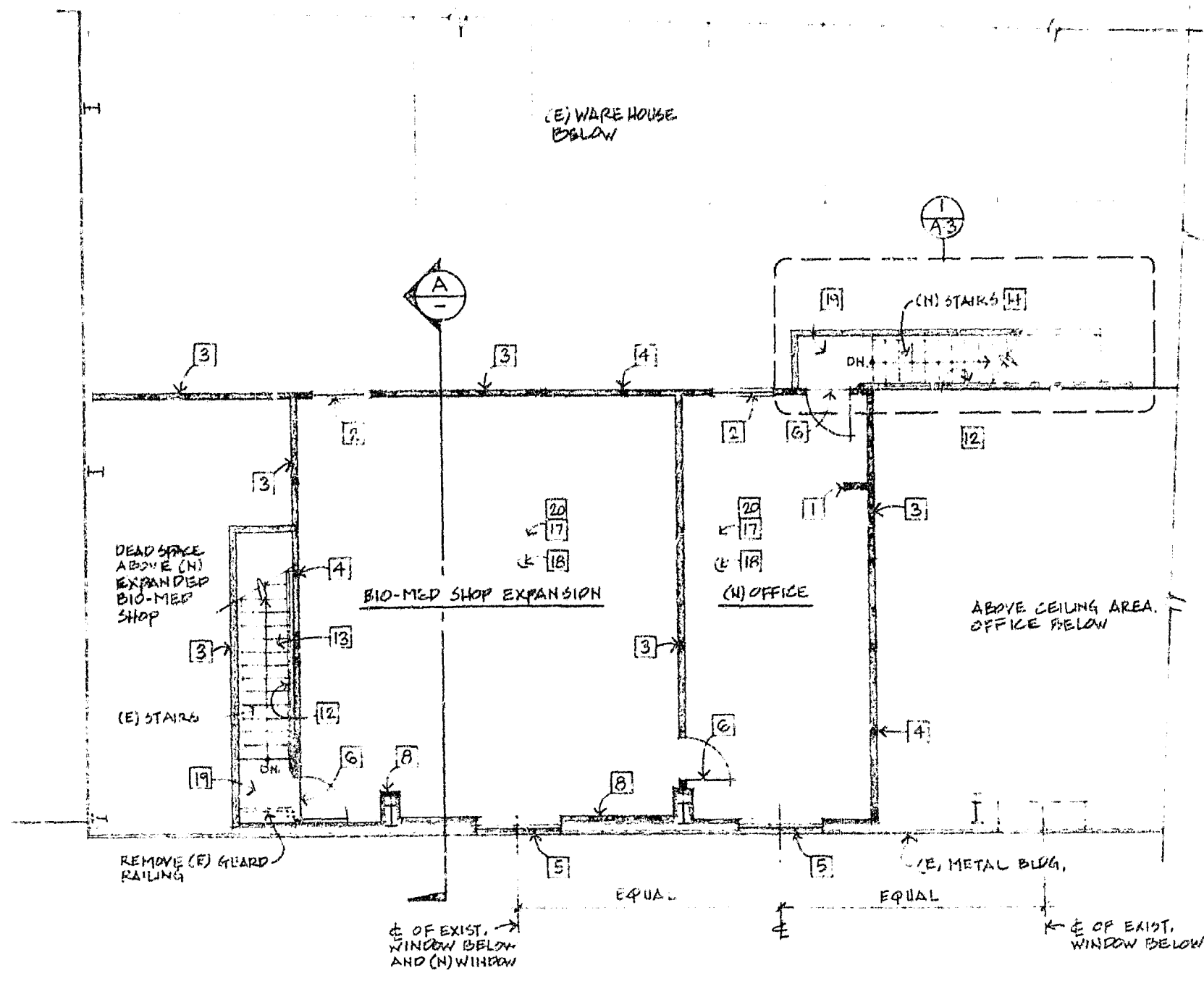
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**A Partial Building Section**  
1/4" = 1'-0"



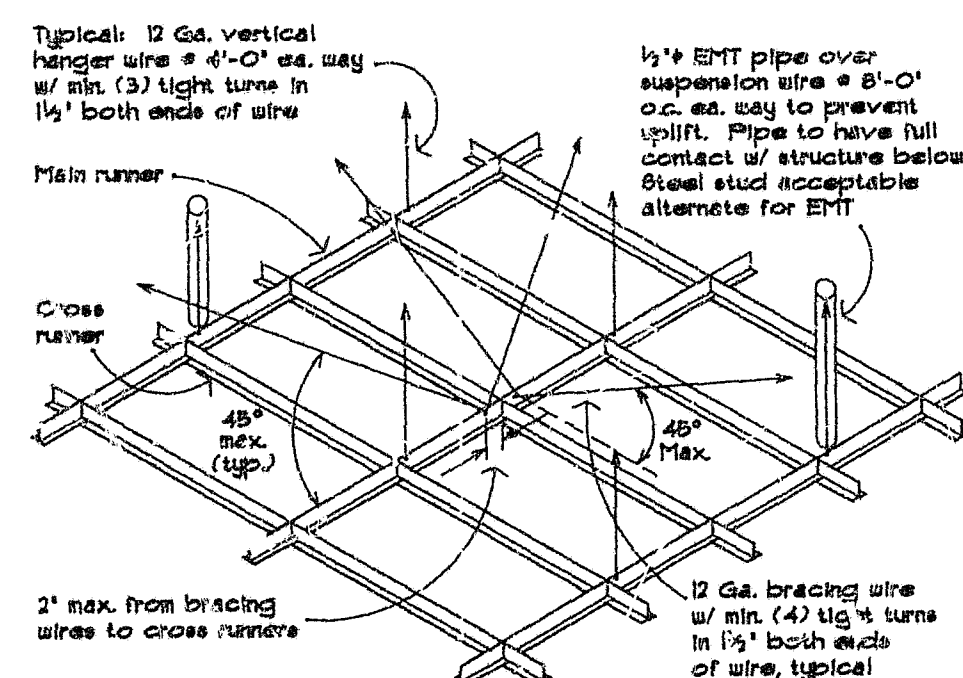
**Second Floor Plan**  
1/8" = 1'-0"

**Floor Plan Notes**

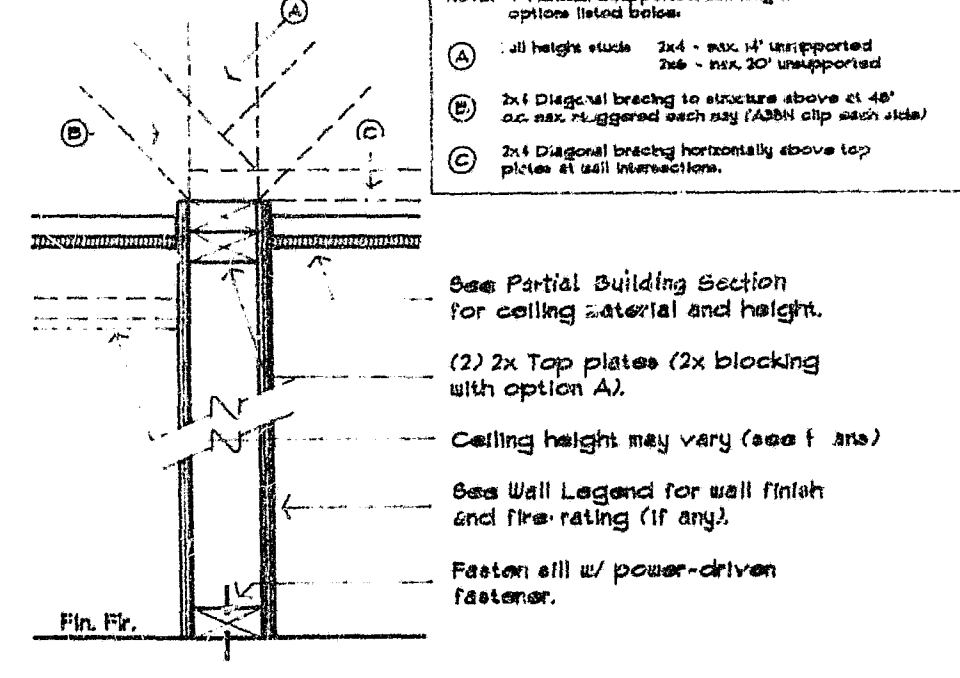
- DRYWALL CONSTRUCTION:** Install new drywall conforming to the published United States Gypsum Drywall/Hood Fitting Standards (System Folder 0424). Dryboard application and finishing shall conform to ASTM C840. Apply light texture finish to walls and ceilings as approved by Architect. All new drywall to be 1/2" unless noted otherwise or required to be 5/8" type "X" to comply with code requirements.
- FLUSH WOOD DOORS:**
  - Provide solid core flush wood doors with hardboard faces on all new interior door openings.
  - Door construction shall comply with "Industry Standard for Wood Flush Door" of National Wood Window and Door Association (NWFA). Door shall have hardboard face with S-G-S construction.
  - Install doors to comply with manufacturers instructions. Align and fit doors in frame with the recommended clearances and bevels. Machine doors for hardware. Seal cut surfaces after fitting and machining.
  - Door Frames: Wood to match existing.
- HARDWARE:**
  - Provide 1-1/2" pair, 4 1/2 x 4 1/2, US28D butts for each door Hage 1279 or equal.
  - Provide Schlage D Series, Sparta design hardware. Finish to be 6026 Chrome plated #626.
  - Provide door stops and other hardware as required for a complete installation.
- ROUGH CARPENTRY:**
  - Properly frame and construct, in a first class and substantial manner, the rough carpentry framing throughout the work. Coordinate the work of all other trades.
  - Structural members shall not be cut for pipes, conduits, ducts, etc., unless specifically noted or detailed.
  - All studs shall be at 2' x 4' at 16" o.c., except as shown.
  - Provide 2" fire blocking at mid-height of all partitions over 8'-0" high.
  - Use common nails throughout, except as otherwise noted. Box nails may be used for connections listed in UEG Table 25.0 if not detailed otherwise.
  - Framing details: Studs shall be placed with their dimension perpendicular to the wall. Not less than three (3) studs shall be installed at each corner of a wall.
- PAINTING:** All new interior walls, drywall, ceiling, door, and exposed ductwork/misc. metals are to be painted unless noted otherwise. Paint to be Freese as follows:
  - Wood/hardboard - Gloss/Semi-Gloss (100% Acrylic)
    - 1st Coat: 957 Freese
    - 2nd Coat: 143 Miro-Glo
    - Use on wood or hardboard doors
  - Wallboard - Egg Shell (100% Acrylic)
    - 1st Coat: 061 Aqua Seal
    - 2nd Coat: 022 Co-Glo
    - Use on drywall walls, ceiling unless required to be painted semi-gloss.
  - Wallboard - Semi-Gloss (100% Acrylic)
    - 1st Coat: 061 Aqua Seal
    - 2nd Coat: 021 Satin-Glo
    - Use on drywall walls and ceiling at restrooms.
  - Metal - Gloss (100% Acrylic)
    - 1st Coat: 061 Metal Prime
    - 2nd Coat: 143 Miro-Glo
    - Use on exposed ductwork and misc. metals, U.I.O.
- See electrical drawing for power and lighting.
- See mechanical drawing for all new A/C equipment, ducting and modifications of existing A/C system.

**Key List (Description of Work Refers to Numbers in Squares on Floor Plans)**

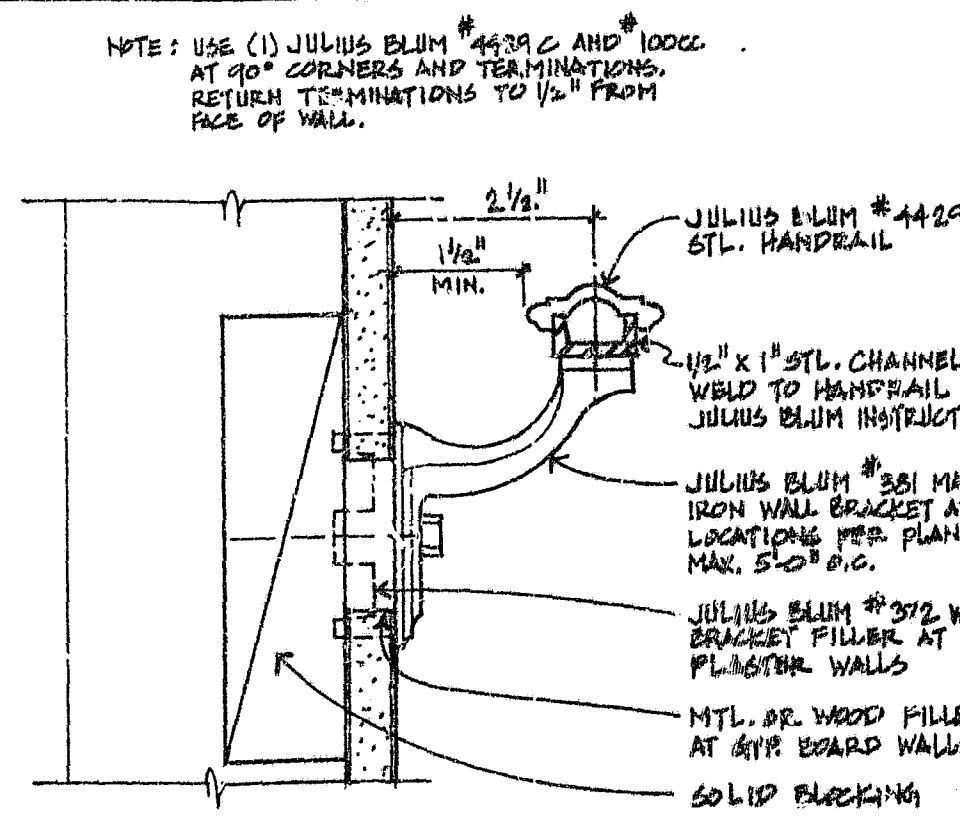
- Existing fire sprinkler standpipe. Box in with 2' x 4' framed wall and 1/2" gyp board.
- New 4' x 8' sliding aluminum framed window with nail on flanges. Windowmaster Series 210; bronze anodized. Do not provide screen.
- New 2' x 4 stud wall, 16" w/c with 1/2" gyp board each side, painted. All walls adjacent to unconditioned spaces shall be insulated with R-13 mineral bat insulation. Interior walls separating rooms shall be insulated with 4" thick sound control batt insulation. At walls adjoining dead space above ceiling, clay to minimize drywall.
- Existing 4' x 4 posts from mezzanine floor to bottom of building structure. See structural details for framing of new wall between posts to remain.
- New 6' x 2' sliding aluminum window to match existing type in exterior metal building wall. New opening to be cut above existing girt which is approximately 57'-10" AFF. New window shall be set in place per building manufacturer's recommendations and detail using operating reinforcing. Provide screen. Frame and finish drywall to window.
- New 3' x 6" solid core flush door. Provide complete with all hardware. Handle to be lever type. Provide saddle at top of door at steps. Paint door.
- Existing stud and drywall wall. Protect in place. Patch any damage.
- New 1' x wall frame at existing building wall and around existing building column. Keep framing as close to structure as possible. Finish with 1/2" drywall.
- Install 1/2" gyp board finish over existing plywood sheathing.
- Remove existing framed wall. Provide windows as required. No dropped head-ceiling to run through. Finish portions of wall to remain to match existing.
- At existing door install new pair of 6'-0" x 7'-6" solid core flush wood doors. Install wood frame to match existing. Install new header per attached typical detail. Provide all hardware.
- New iron hand-rail. Extend 12" above top landing rise; extend 24" beyond bottom rise. Provide backing in wall (existing & new). Patch existing wall where backing is added. Hand-rail to be 34" above tread nosing. Wall supports at 6'.
- New rubber treads and risers manufactured by Johnsonite. Treads to be "J" Heavy Duty with diamond pattern. Provide 2" minimum wearing strip for the visually impaired on the top and bottom treads at 1" maximum from edge of tread.
- New stairs to be constructed to match existing. Enclose all space below stair. See stair construction details.
- Existing stair to have guard-rails removed and open side walls extended so that a ceiling/soffit can be constructed. The ceiling height at top landing shall be 8' and the soffit shall be no lower than 6' at any point above treads.
- New acoustic panel ceiling, 24" x 48" x 3/4", to match existing. Continue grid pattern and ceiling height. Replace any existing ceiling tile that is damaged by construction, or that are required to be changed to meet new construction.
- New acoustic panel ceiling, 24" x 48" x 3/4", molded medium density mineral fiber, Armstrong Traverstone, or approved equal. Install in exposed grid suspension system. Intermediate w/c painted steel, white color. Install acoustic panels and suspension system in accordance with manufacturer's instructions. Coordinate installation with location of mechanical and electrical work to ensure proper locations.
- Install carpet on second floor office and shop areas. Carpet installation to be glue down. Provide 100% DuPont BCF Nylon "Stainmaster" 28 oz. textured cut pile; Philadelphia Carpet, "Starry Nights Plus-Flex", Style #51277, or approved equal. Provide 4" rubber carpet base at all walls.
- Install 12 x 12 x 1/8" w/c composition tile; standard Exolon, Imperial texture, by Armstrong or approved equal at new ground floor expansion area and at new and existing stair landings. At ground floor matching. At landings color to be selected by architect. Provide 4" rubber top-set base at walls.
- Insulate entire area above ceiling with R-13 bat insulation. Insulation to be un-faced to fit above joists in suspended ceiling system.
- HVAC fan coil units. See mechanical drawing sheet M-1.
- Remove existing chain link fence and gate enclosure. Reinstall as shown and as directed by Owner.



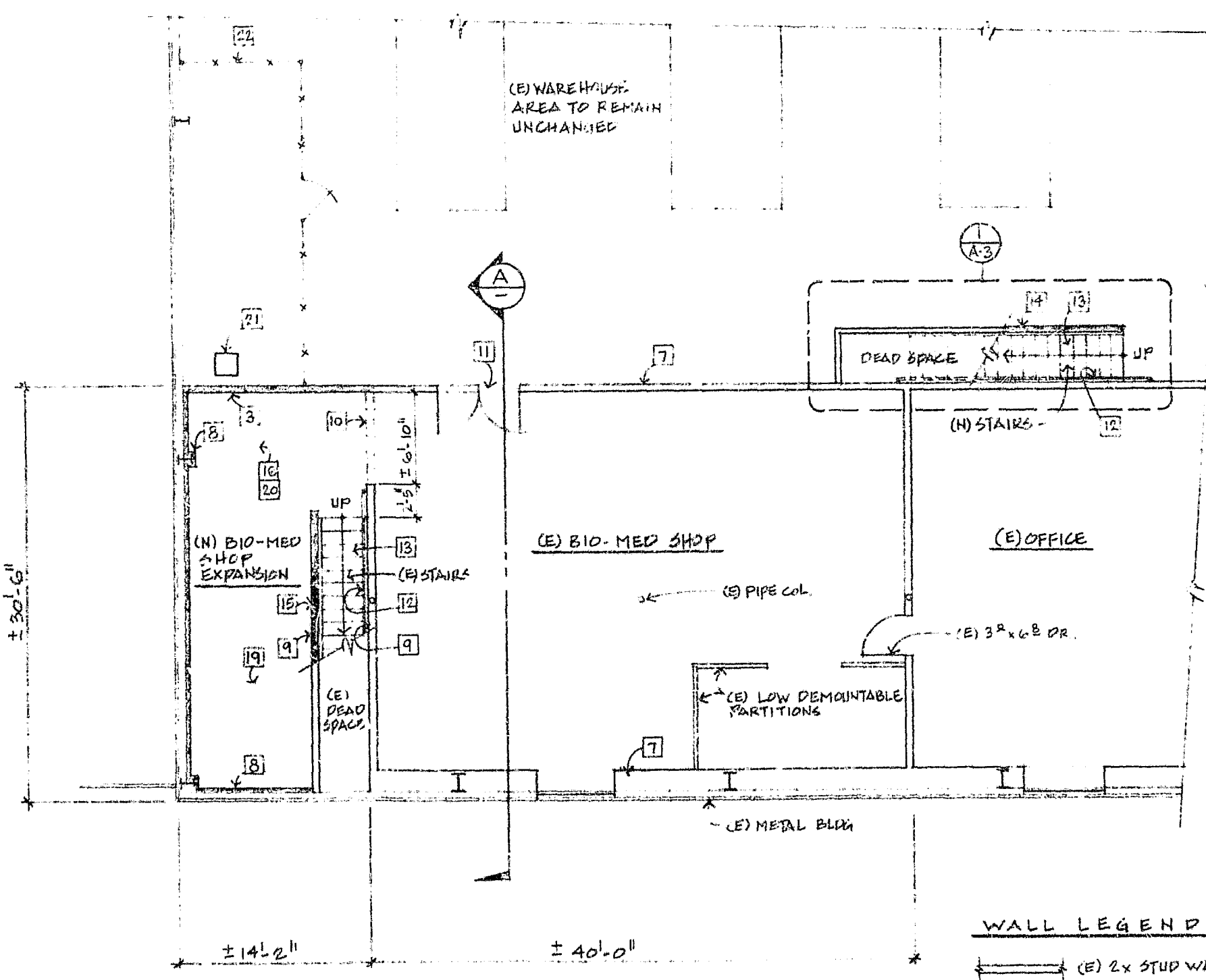
**3 Ceiling Grid Attachment**  
Not to scale



**1 Non-Bearing Partition**  
1/2" = 1'-0"



**2 HANDRAIL DETAIL**  
1/2" = 1'



**First Floor Plan**  
1/8" = 1'-0"

**LENVIK & MINOR Architects**  
 315 West Haley St., Santa Barbara, Ca. 93101  
 (805) 963-3357  
 A California Corporation  
 Interior Remodel for:  
**Direct Relief International**  
 27 S. La Patera Lane  
 Goleta, California 93117  
 APN: 073-060-033  
 First and Second Floor Plans  
 Building Section, Details  
 Date: 11/23/94  
 Drawn by: RFB  
 Job Number: 91-2302  
 Checked by: [Signature]  
 Sheet of: 2  
**A-2**

*27 S. La Patera Ln*

# LAND USE PERMIT

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF  
DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit: 110257  
value: 20,000.00

ADDRESS OF JOB 27 La Patina Lane - 50,		PARCEL NO. 73-050-33
PROPOSED USE Storage area above existing office - Interior alt.		ZONE M R 1 P
LESSOR/OWNER RAYFRED W		CENSUS TR.
AC.	LOT SPLIT NO.	
SQ. FT. 1200	TR.	LOT
SEWAGE DISPOSAL <input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL AMW		DATE 11/22/85
REMARKS: Bas. 00 # 3621		

no increase in employment.  
no int. alt. - no base



N 83°11'30" E 489.78

**BUILDING NO. 7**  
00 sq. ft.

loading dock

Parking Lot

outside storage area

March etc  
New construction

S 83°11'30" W 489.73

**BUILDING NO. 6**  
20,000 sq. ft.

Landscaped Area

Parking Lot

Property Line

LA PATERA LANE

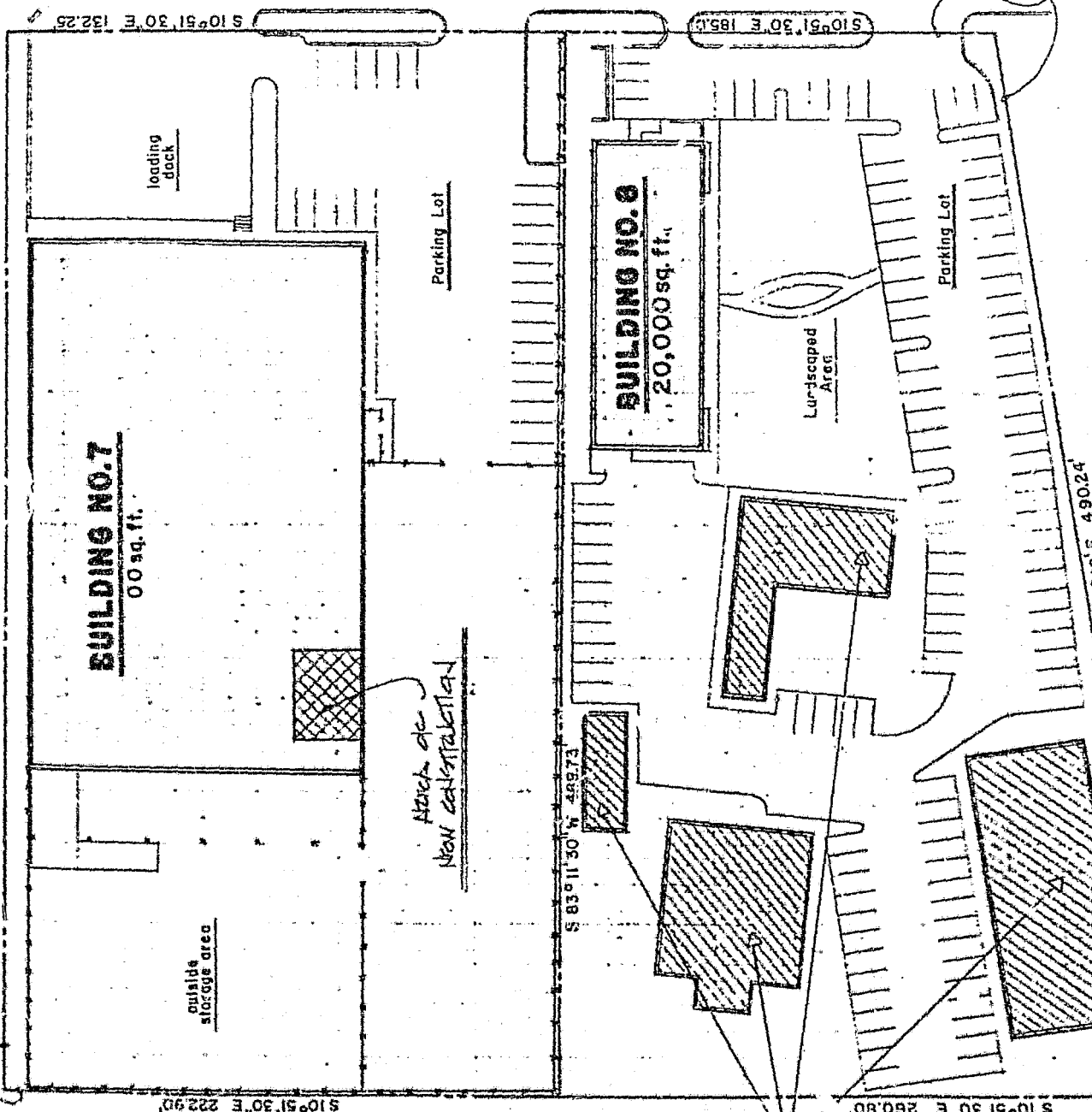
S 10°51'30" E 132.25

S 10°51'30" E 185.10

S 10°51'30" E 222.90

S 10°51'30" E 260.80

N 14°19' E 490.24



# LAND USE PERMIT

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF  
DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit: 113425  
Value:

ADDRESS OF JOB 27 La Palma Lane		PARCEL NO. 73-050-33
PROPOSED USE Storage Trailer		ZONE W.V.P.-P
LESSOR/OWNER Raytheon		CENSUS TR.
AC.	LOT SPLIT NO.	CASE NUMBERS  86-CIP-35(2A)  See attached
SQ. FT.	TR. LOT	
SEWAGE DISPOSAL <input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL Amw	DATE 5-27-86	
REMARKS: \$25.00 #0412		



# County of Santa Barbara

## RESOURCE MANAGEMENT DEPARTMENT

Dianne Czizman, AICP, Director  
Dev Vrat, Assistant Director

May 13, 1986

Mr. John Francese  
Facilities Services Dept., Raytheon Co.  
6380 Hollister Ave.  
Goleta, CA 93117-3197

Re: Raytheon Storage Trailer, 27 La Patera Lane, Goleta Valley, 86-CP-35(ZA)

Dear Mr. Francese:

On May 12, 1986, the Zoning Administrator took the following action:

1. Approved on the basis that the project is consistent with the provisions of Article III, Section 35-315.8 of the County Code.
2. Approved the attached Conditional Use Permit.

### Procedure:

The Ordinance provides that the applicant or any property owner to whom notice of the Zoning Administrator's hearing was required to be given, within ten (10) days after the Zoning Administrator Action, may appeal said action to the Board of Supervisors.

The Ordinance provides that the Board of Supervisors, within twelve (12) days after the Zoning Administrator Action, may appeal said action and set for public hearing.

If this decision is appealed, a filing fee of \$403 must be delivered to the Clerk of the Board.

Public Appeal period expires on May 22, 1986.

Board of Supervisors' appeal period expires on May 27, 1986.

  
Britt A. Johnson, Zoning Administrator

cc: County Assessor  
F. Keinath, Building Dept.  
Supervisor Wallace  
Case File

DAJ:nlr:5804F

May 27, 1986

SANTA BARBARA COUNTY CONDITIONAL USE PERMIT

CASE NO.86-CP-35(ZA)

I. A Conditional Use Permit is Hereby Granted:

TO: Raytheon Company

APN: 73-050-33

PROJECT ADDRESS: 27 La Patera Lane

ZONE: MR-P, Industrial Research Park

AREA/SUPERVISORIAL DISTRICT: Goleta Valley/Third

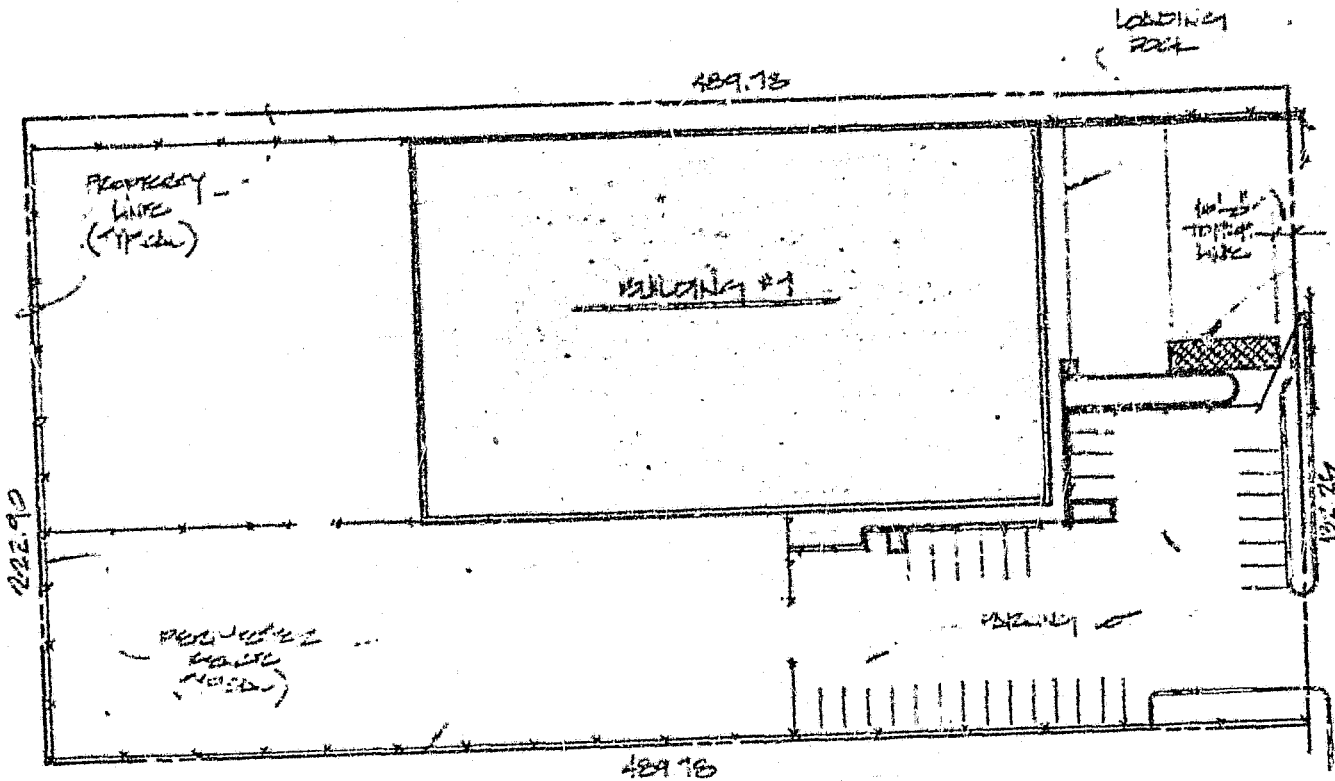
FOR: A storage trailer

II. This permit is subject to compliance with the following condition(s):

1. This permit shall be valid for two years from its effective date of May 27, 1986.
2. The permittee shall comply with the State Mobile Home Act. Prior to the issuance of a Land Use Permit (zoning clearance), permittee shall have made application for a site installation permit from the County Division of Building and Safety. Prior to placing the trailer on the property, the permittee shall obtain a Land Use Permit (zoning clearance) from the Resource Management Department; and all necessary permits from the County Division of Building and Safety.
3. Occupancy shall not be permitted until:
  - a) All necessary permits have been obtained from the County Division of Building and Safety.
  - b) All necessary inspections have been completed and approved.
  - c) Potable water including source and connection to the mobile home has been approved.
  - d) A certificate of occupancy has been issued.
4. The use at all times shall be conducted in compliance with conditions set out in Article III, Sections 35-315.8 of the County Code.
5. Development shall be in substantial conformity with Zoning Administrator Exhibit #1, dated May 12, 1986.

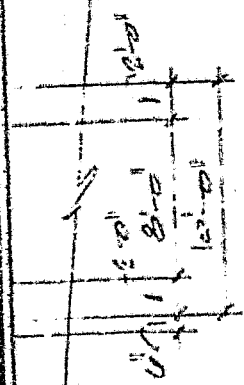
GR 0112 A, B

BAJ:nlr:5804F



NOTES  
 COST  
 HERE  
 LATE  
 WORK

de la postera



NOTES  
 (2) 10'-0"

CONCRETE NEW 2'0" DIA.  
 LINES TO BE SET BY E.O.  
 OR R.O. ON INDICATED

**-WARNING-**

THE ISSUANCE OF THIS LAND USE PERMIT IS SUBJECT TO APPEAL TO THE PLANNING COMMISSION BOARD OF SUPERVISORS BY ANY INTERESTED PERSON ADVERSELY AFFECTED BY THE DECISION FOR A PERIOD OF TEN (10) CALENDAR DAYS FOLLOWING THE ISSUANCE OF THIS PERMIT ANY CONSTRUCTION OR OTHER USE OF THIS PERMIT IS AT THE SOLE RISK AND EXPENSE OF THE APPLICANT IN THE EVENT THAT AN APPEAL OR LAWSUIT ULTIMATELY RESULTS IN DENIAL OR RECONDITION OF THE PROJECT.

RESOURCE MANAGEMENT DEPARTMENT  
COUNTY OF SAN DIEGO

**APPROVED**

Storage Trailer

DATE: 5-27-86 Amw

EXPIRES: \_\_\_\_\_

BY: \_\_\_\_\_

of \_\_\_\_\_

City of \_\_\_\_\_

ONE YEAR \_\_\_\_\_

structure \_\_\_\_\_

Department of \_\_\_\_\_

ADDRESS: 27 La Habra land

APN: 73-050-33

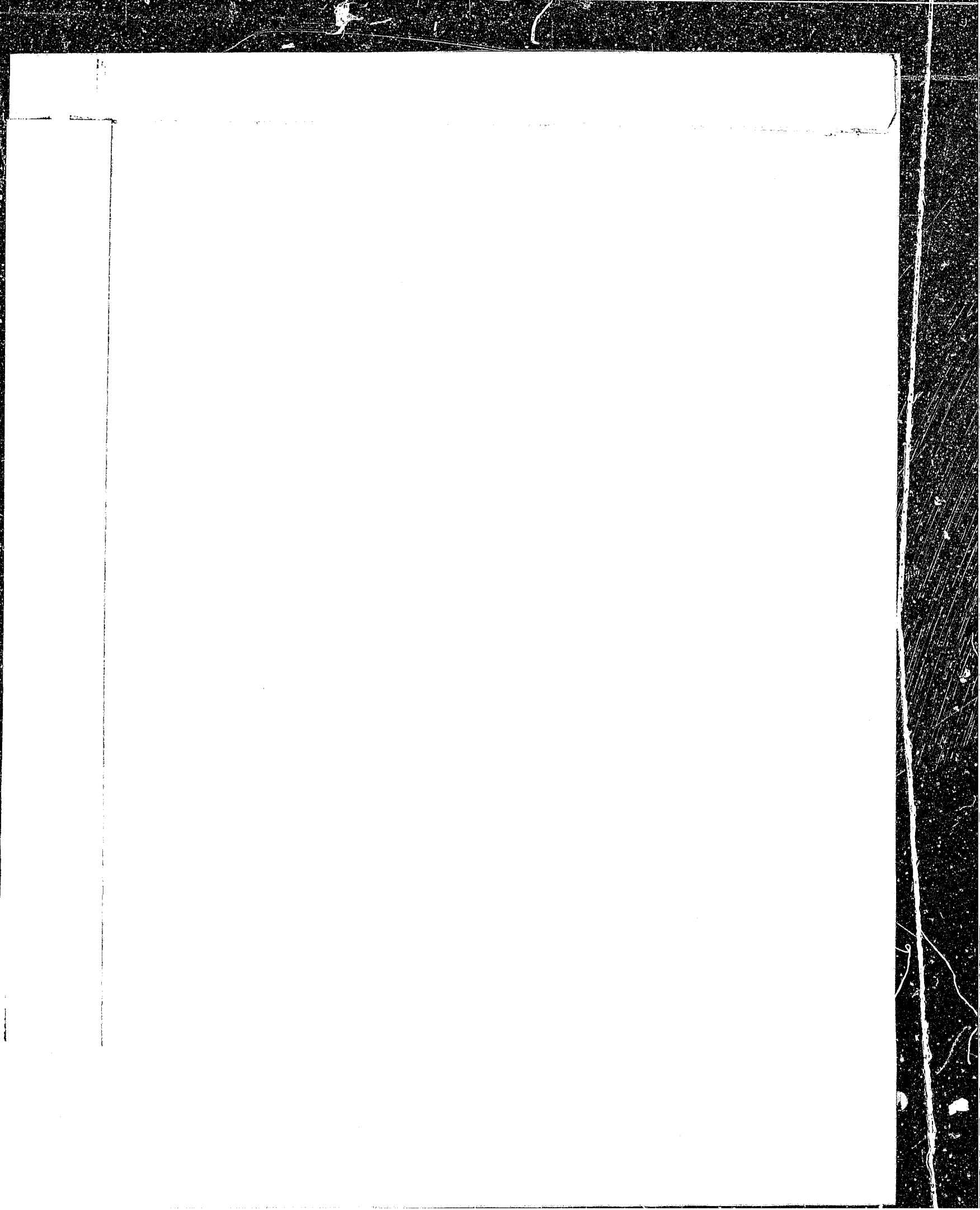
# LAND USE PERMIT

Permit:  
Value:

253455

The permit shall expire within ONE YEAR from the date of issuance (unless otherwise noted) if the use, building, or structure for which the permit was issued has not been established or commenced.

ADDRESS OF JOB 127 S. LA BASTKA BL., GLENVIEW, LA 70247		PARCEL NO. 077-0570-0777
LESSOR/OWNER DIRECT RELIEF INTERNATIONAL		ZONE M-RP
PROPOSED USE <del>REMODEL</del> ② INTERIOR REMODEL INCLUDING: EXTEND (E) BIO-MED STAY ON 1ST FLOOR; CONSTRUCT WARD & STAIRS TO (E) MED2 FOR BIO MED EXPANSION & OFFICE; UPDATE (E) RESTROOMS TO CURRENT IBC REQUIREMENTS & UPDATE VENTILATION TO CURRENT IBC REQTS.		SUPERVISORIAL DISTRICT MEX
		SETBACKS ✓
		VARIABLE ✓
		PARKING ✓
		ZONING VIOLATION \$ ✓
		DISCRETIONARY CASE —
REMARKS CONSIDERATE W/ GOLFERT COMP. P117A		AG. PRESERVE # —
		SQUARE FEET REMODELED AREA 1620 SF Total Bldg: 27,000 SF
<p>I agree to check with the Building Division and obtain all required permits for this project. I understand that all uses on this property must comply with this permit; all permits issued by other governmental agencies; and with applicable state and local laws. I understand that if I violate any permit conditions or laws, legal action may be taken.</p>		
<p><i>Don Baker</i> Project Applicant Signature</p>		<p>11/23/98 Date</p>
<p>ZONING APPROVAL <i>[Signature]</i></p>		<p>DATE 11/23/98</p>
<p>FEE: \$125 1044</p>		<p>RECEIPT NUMBER</p>

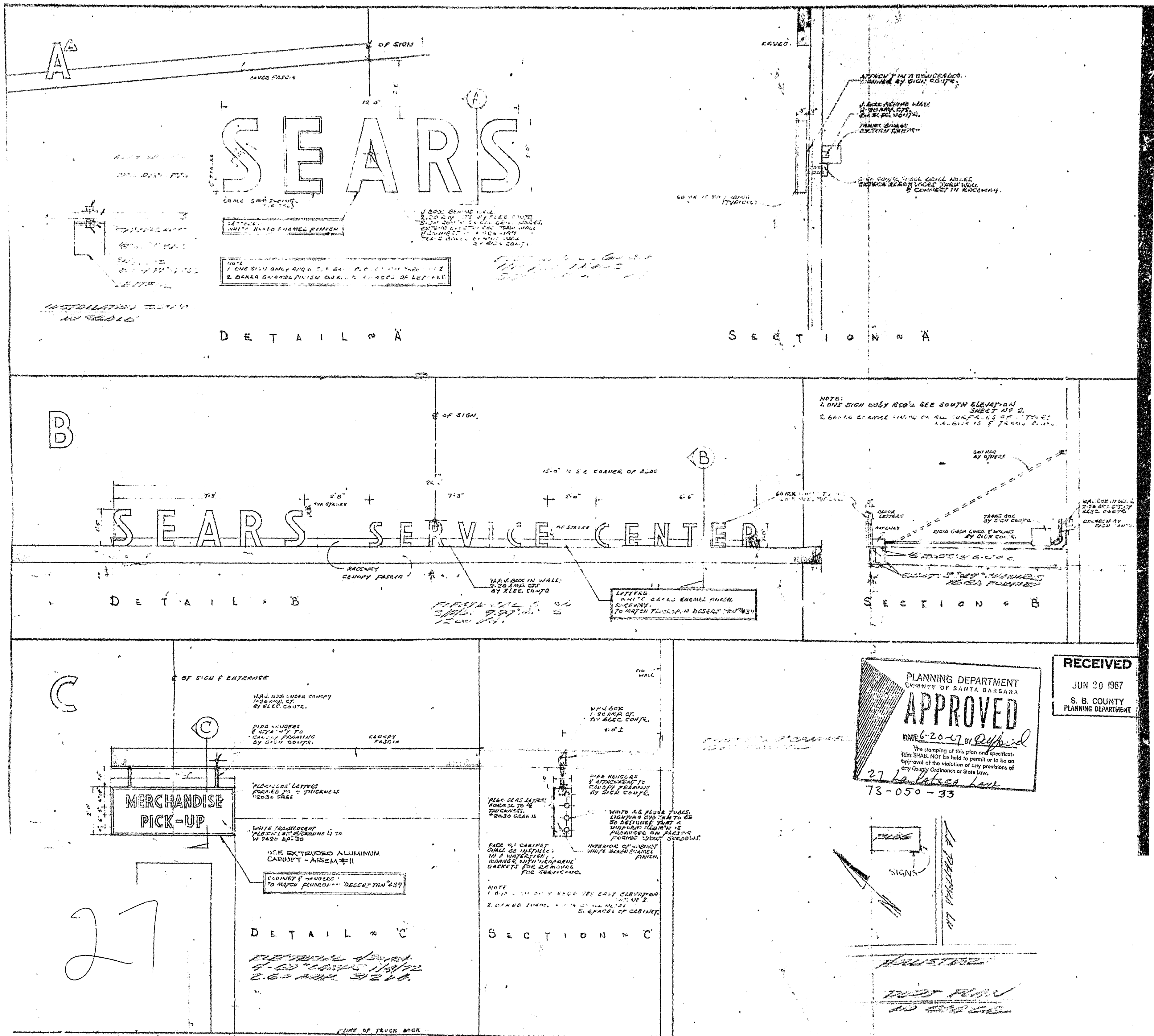


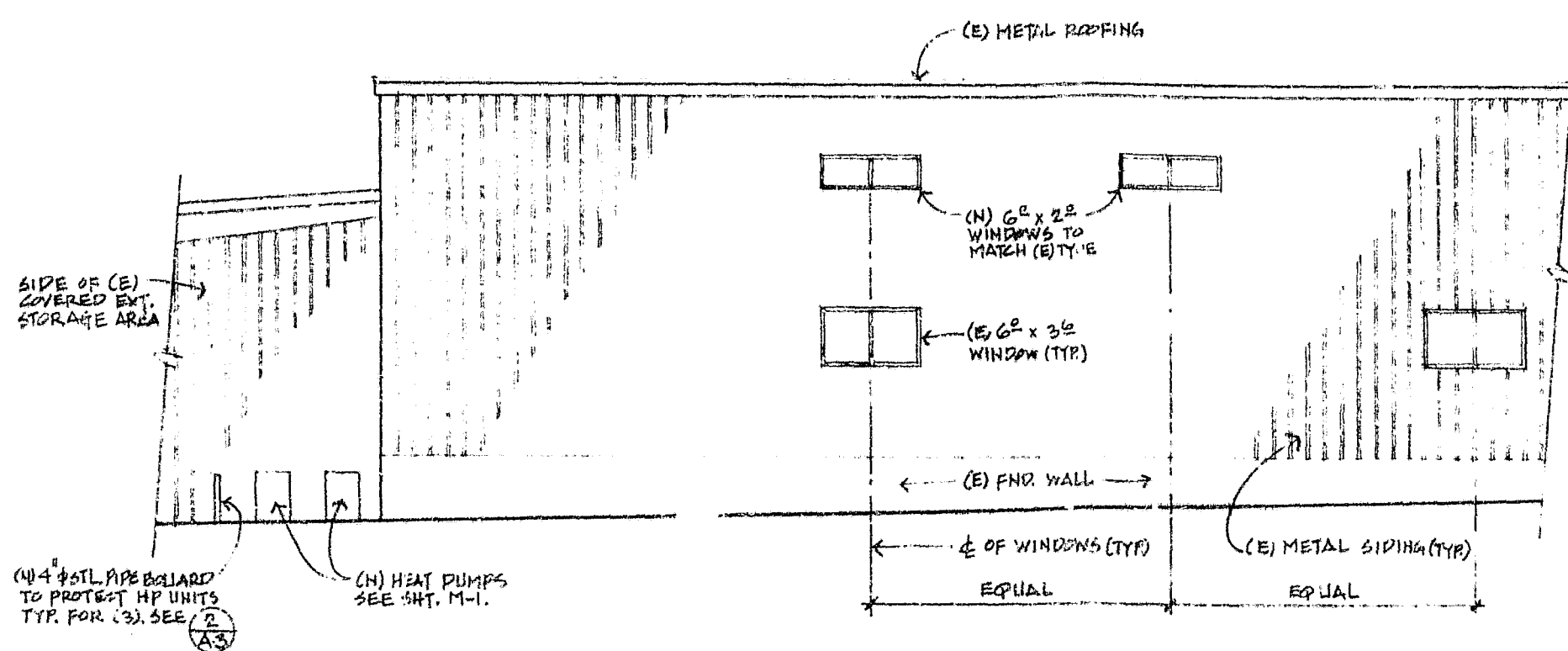


27 S. LA PATERA LANE

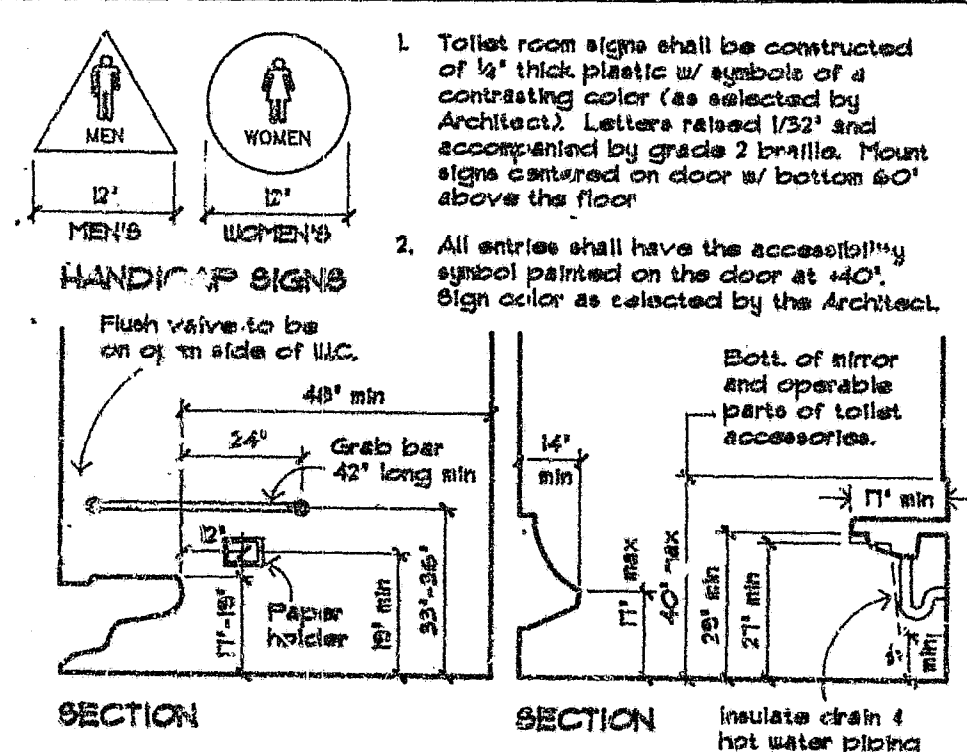
2 of 2

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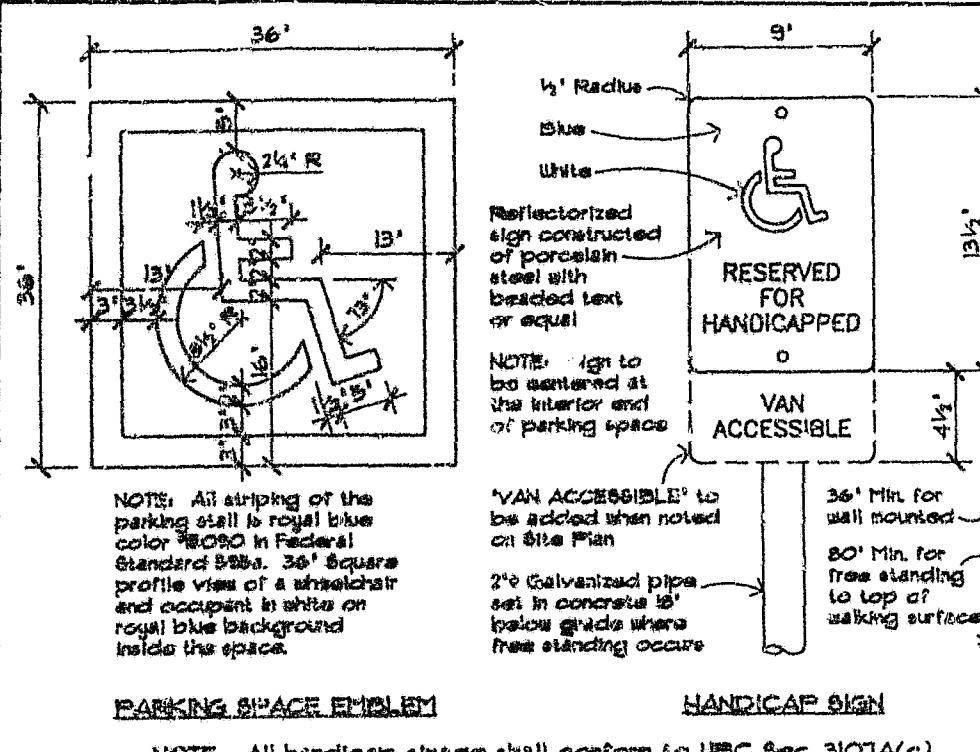




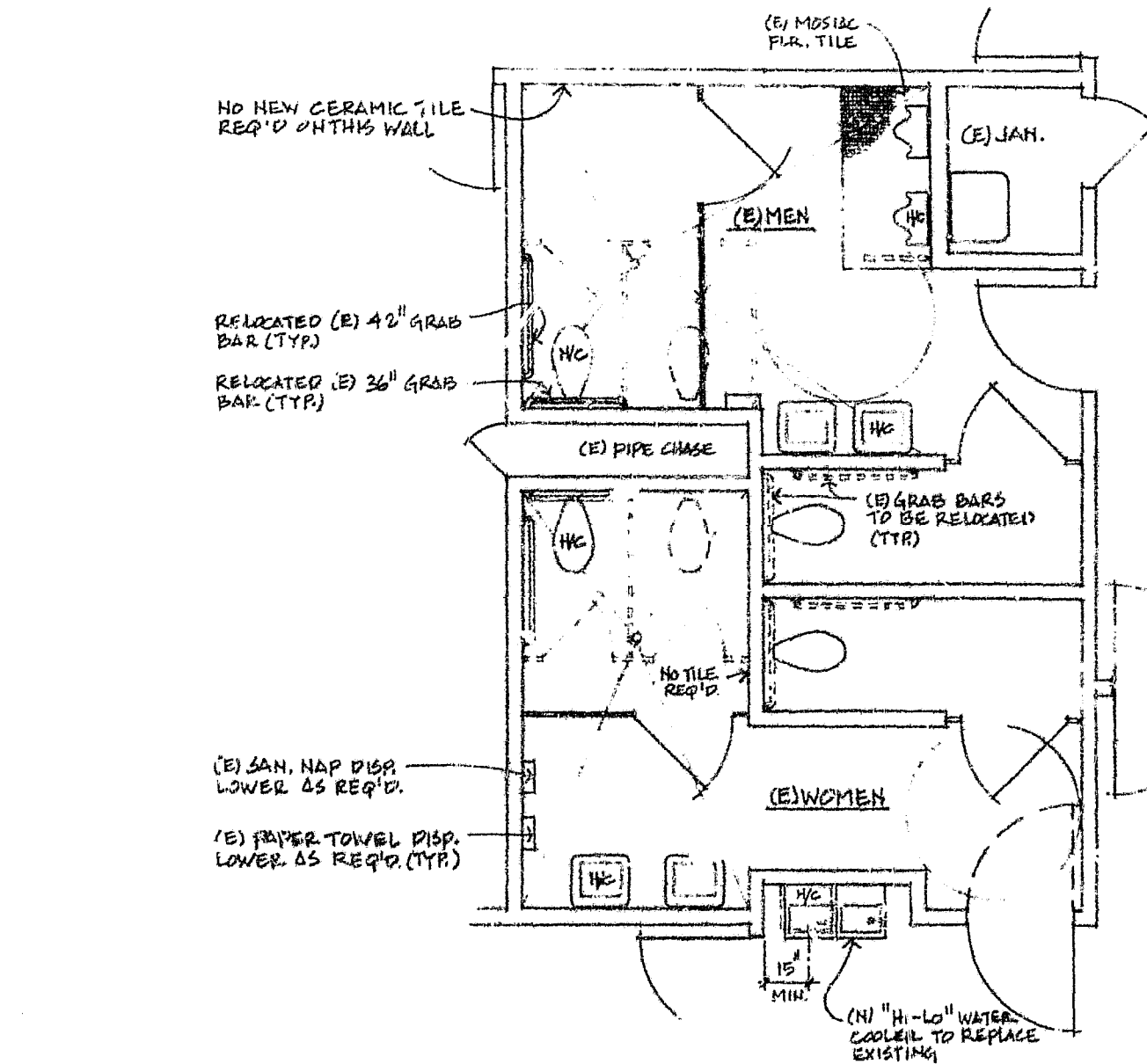
Partial South Exterior Elevation  
1/8\"/>



1 Handicap Rest Rooms  
3/8\"/>



2 Handicap Parking Signs  
Not to scale



Existing Restrooms  
(TO BE MODIFIED FOR HANDICAP ACCESSIBILITY)

- RESTROOM PLAN NOTES:**
- REMOVE EXISTING URINAL INDICATED WITH H/C AND REPLACE WITH AMER. STD MODEL # 0521132 HALLMARK OR EQUAL. ADJ. FLUSH VALVE AS REQ'D.
  - REMOVE EXISTING TOILET, TOILET FACILITIES, URINAL SCREEN AND GRAB BARS THAT ARE INDICATED WITH DASHED LINES. INSTALL NEW TOILET SEATS, FLUSH WITH PIN. FLOOR. INSTALL NEW TOILET POSITIONING TO MATCH EXISTING WITH 3\"/>
  - VERIFY THAT EXISTING LAVATORIES MARKED WITH H/C HAVE THE CLEARANCES INDICATED ON DETAIL. MAKE CORRECTIONS IF NECESSARY. REPLACE EXISTING KNOBS ON FAUCETS OF H/C LAVS. WITH LEVER HANDLES OR REPLACE FAUCETS WITH DETAILED MODEL # 8085 (LEVER HANDLE) OR EQUAL, AT OWNER'S OPTION.
  - ADJUST, RELOCATE OR PROVIDE TOILET ROOM ACCESSIBLE TO MEET HANDICAPPED REQUIREMENTS AS INDICATED ON DETAIL.
  - INSTALL CERAMIC TILE WAINSCOT TO +48\"/>
  - PATCH, REPAIR AND/OR PAINT ALL WALLS AND FLOORS WHERE ALTERATIONS ARE MADE, TO MATCH EXISTING.
  - REMOVE EXISTING WATER COOLER AND REPLACE WITH BARRIER FREE HAW'S "H-LO" PUEL UNIT MODEL # HW1858L OR EQUAL. SET LOW SIDE BUBBLER AT +36\"/>
  - REPLACE EXISTING TOILET SEATS ON PROVIDED H/C TOILETS WITH RAISED TOILET SEATS TO PROVIDE HANDICAPPED ACCESSIBILITY PER DETAIL. ALSO ADJUST FLUSH VALVE AS REQUIRED.

**General Notes**

- VERIFY DIMENSIONS: Contractor to verify dimensions prior to start of construction. Report any discrepancies between dimensions on plans and existing conditions to the Architect. Do not proceed where dimensions do not match.
- FIRE SPRINKLERS: The entire building is presently protected with a wet automatic fire protection system. Design drawings shall be furnished by the fire sprinkler contractor prior to starting alter/on work. Those drawings shall be approved by the County Fire Department and Building Department prior to start of the work. The fire sprinkler system is to be installed - see separate permit.
- PROTECTION OF EXISTING CONSTRUCTION: Contractor to take care to protect existing construction and improvements on-site. Any damage to existing improvements shall be repaired to its original condition to the satisfaction of the owner.
- EXIT DOORS: Exit doors are to be operable from the inside without use of a key or special knowledge of effort. Exit doors to be in conformance with UBC Section 3304.
- All work to be in accordance with the 1994 UBC, UPC, UMC, 1690 NEC, stain adopted, & State Title 24.
- All areas of proposed alteration to be made accessible to the physically handicapped.
- DETAILS: Conditions not specifically detailed shall be constructed the same as similar conditions detailed and/or indicated on the drawings or to match existing details on the building.
- SAFETY GLAZING: Glazing within a 24\"/>
- STRUCTURAL ELEMENTS: No structural members are to be removed, cut, or drilled without the approval of the Architect.

**Key List (Description of Work Refers to Numbers in Squares on Site/Building Plan)**

- Verify that existing threshold is 3/4\"/>
- Install minimum 5' x 5' handicapped symbol on or adjacent to door at +48\"/>
- Remove existing concrete curb ramp. Patch asphalt to match existing.
- Construct new concrete curb ramp, maximum 1:12 slope. Construct flared sides with maximum slope 1:8. Remove existing asphalt, prepare subgrade. All construction to conform to UBC section 3100A.
- Paint International symbol of accessibility at handicap parking spaces. Stripe new handicap loading/unloading zones with paint stripes at 36 inches on center. Painting to conform with UBC section 3105A(a) and figure 31-10A(1)(B).
- Install new handicapped parking sign at entrance to parking lot. Sign to conform to UBC section 3107A(a) (sign to read UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES.).
- Existing handicap parking sign removed on building.
- Install new handicapped parking sign on face of building in front of each new handicap parking space. See detail 2/A-1. Place "van accessible" sign where shown on drawings.
- New air conditioning heat pumps. See mechanical drawing sheet M-1. Install these, 4\"/>
- Remove existing doorknobs on 30\"/>
- At area of new handicap parking spaces seal coat existing asphalt to remove existing striping. Restripe with 4\"/>
- Remove existing doorknob hardware. Replace with new lever hardware for accessibility. Hardware to be similar to the Schlage "Sparta" lever.

**Project Information**

Owner: The Law Store Trust  
P.O. Box 28060  
Ventura, CA 93002

Building Tenant: Direct Relief International  
Ann Carol, Excc. Director  
27 S. La Patena Lane  
Goleta, CA 93117

Parcel Number: 073-050-033

Zoning: M-RP

Gen. Plan: Industrial Pari:

Site Area: 2.5 Acres

Building Area:  
Existing 1st Floor 34,800 s.f.  
Existing 2nd Floor 1,200 s.f.  
TOTAL 36,000 s.f.

Remodel Area:  
Existing 1st Floor 420 s.f.  
Existing 2nd Floor 1,200 s.f.  
TOTAL 1,620 s.f.

\*No new construction areas as part of this remodel.

Construction: Type V-N

Occupancy: B-2 Office  
B-4 Warehouse/Storage

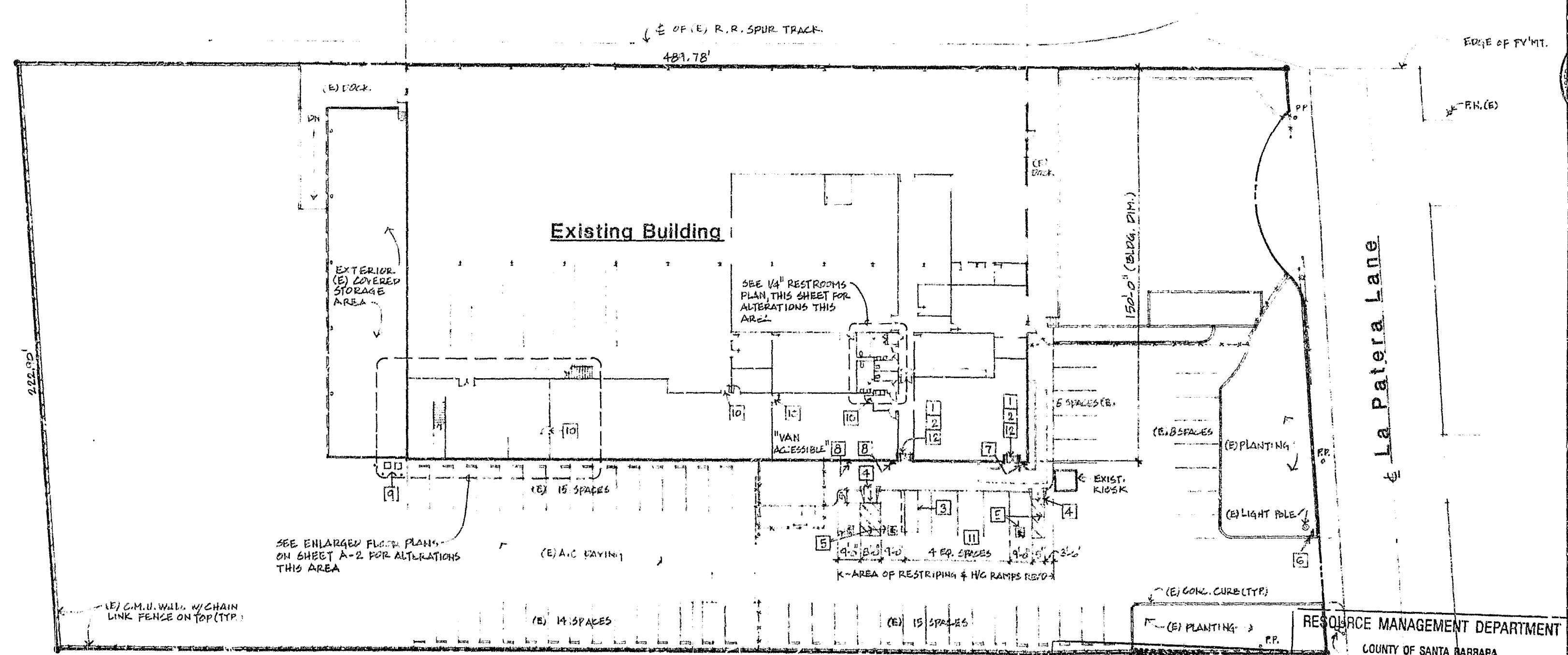
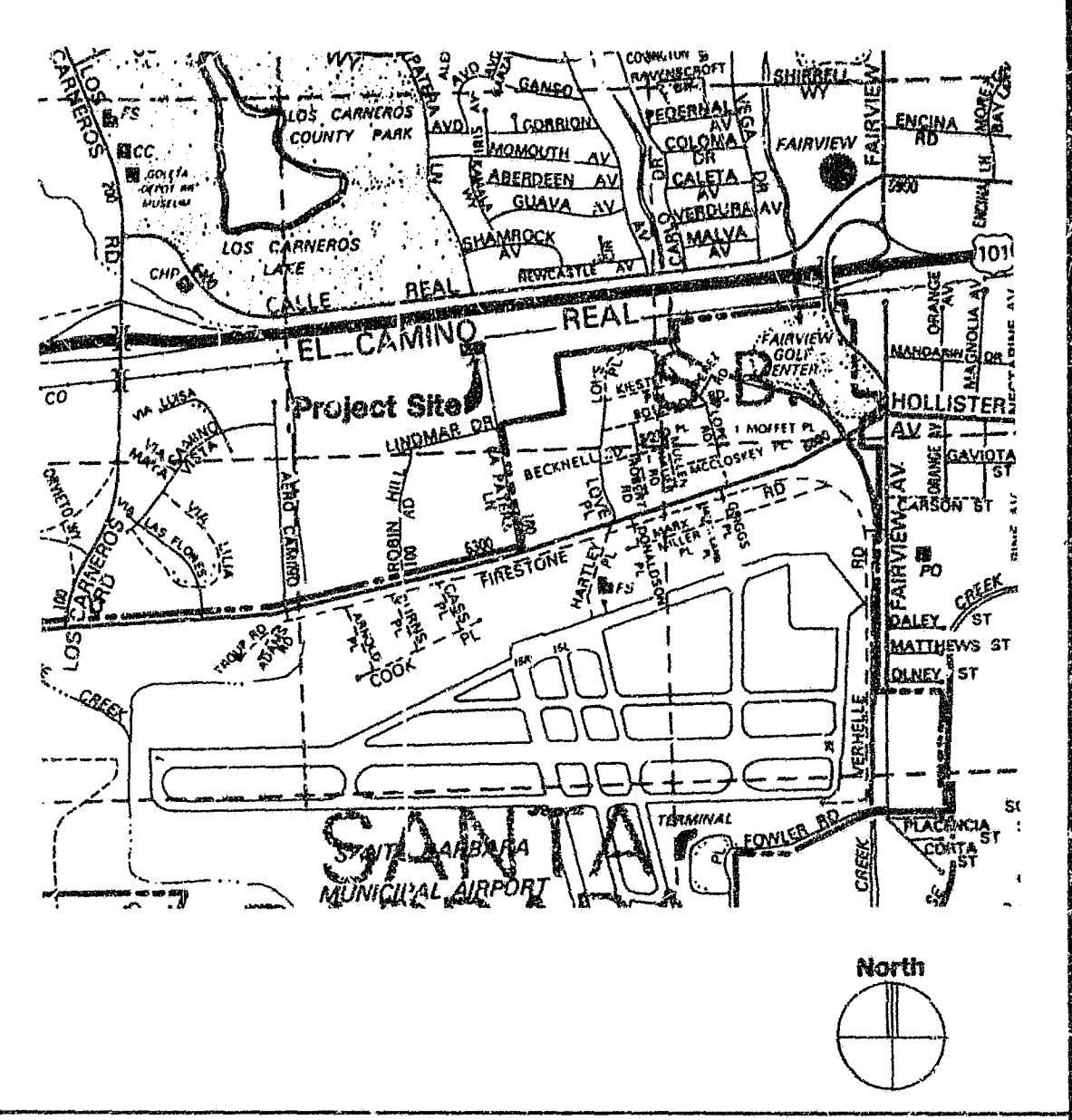
\*Buildings protected with fire sprinkler system.

Parking Spaces:  
Existing 64 STD., 1 Handicap  
Convert To 61 STD., 3 Handicap (1-van accessible)

**List of Drawings**

- A-1 Site/Building Plan, Enlarged Restroom, Ext. Elevation, Project Information, Notes, Vicinity Map, Details.
- A-2 First and Second Floor Plans, Building Section, Details.
- A-3 Stair plans, Details.
- M-1 First and Second floor Mechanical Plans, Equipment Schedule, Specifications, Legend, Control Diagram.
- M-2 Symbols, Notes, Single Line Diagram, Fixture and Panel Schedules.
- E-1 First and Second Floor Power and Lighting Plans.

**Vicinity Map**



Site/Building Plan  
1\"/>

RESOURCE MANAGEMENT DEPARTMENT  
COUNTY OF SANTA BARBARA

**APPROVED**

for the following proposed use:

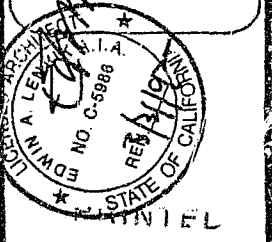
DATE: 1/12/04 BY: [Signature]

WARNING: THE ISSUANCE OF THIS LAND USE PERMIT IS SUBJECT TO APPEAL TO THE PLANNING COMMISSION/BOARD OF SUPERVISORS BY ANY INTERESTED PERSON ADVERSELY AFFECTED BY THE DECISION FOR A PERIOD OF TEN (10) CALENDAR DAYS FOLLOWING THE ISSUANCE OF THIS PERMIT. ANY CONSTRUCTION OR OTHER USE OF THIS PERMIT IS AT THE SOLE RISK AND EXPENSE OF THE APPLICANT, IN THE EVENT THAT AN APPEAL OR LAWSUIT ULTIMATELY RESULTS IN THE RECONSTRUCTION OF THE PROJECT.

ADDRESS: 27 S. LA PATERA LN  
APN 073-050-033

Revision	Number	Description

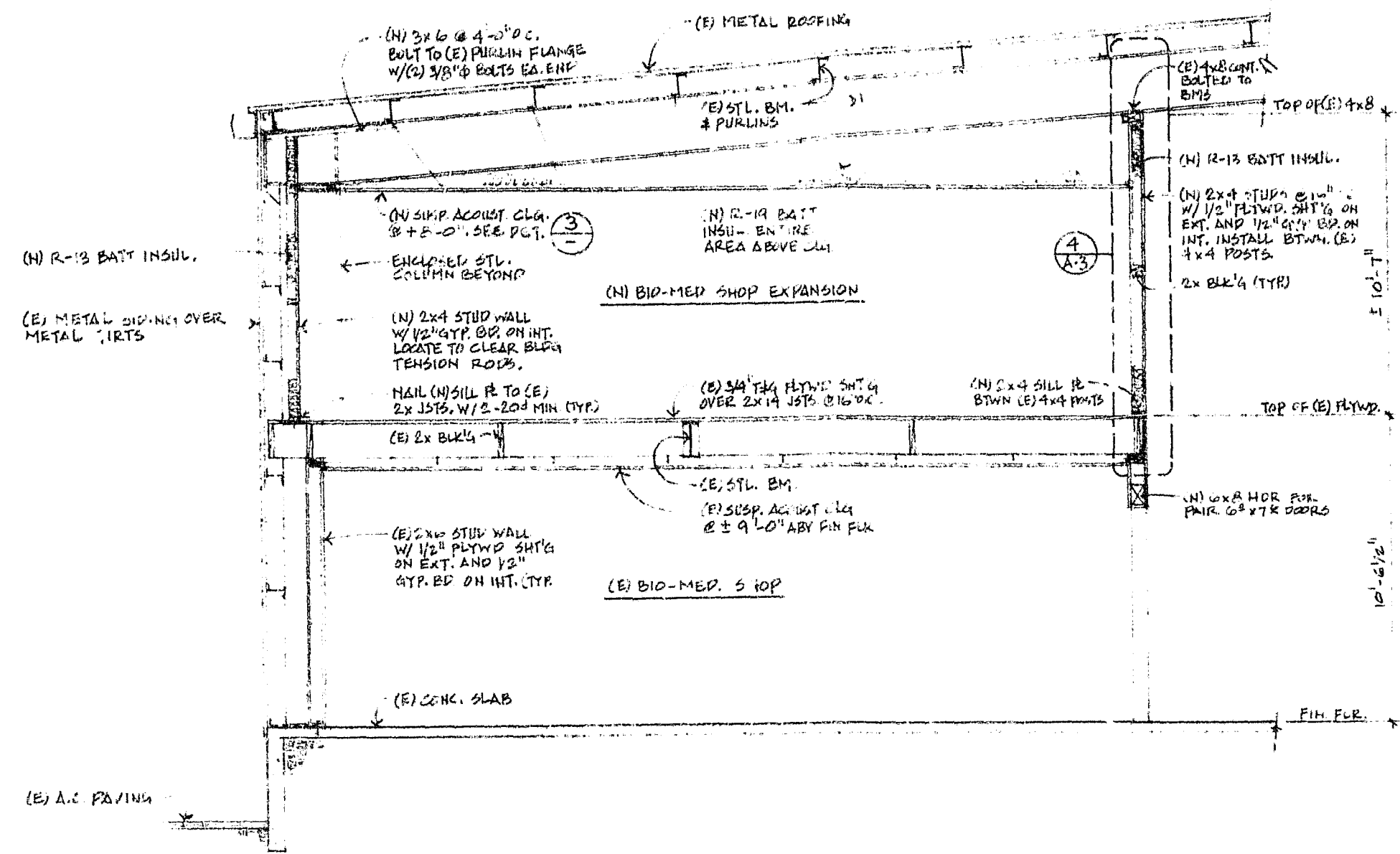
Interior Remodel for:  
**Direct Relief International**  
27 S. La Patena Lane  
Goleta, California 93117  
APN: 073-050-033



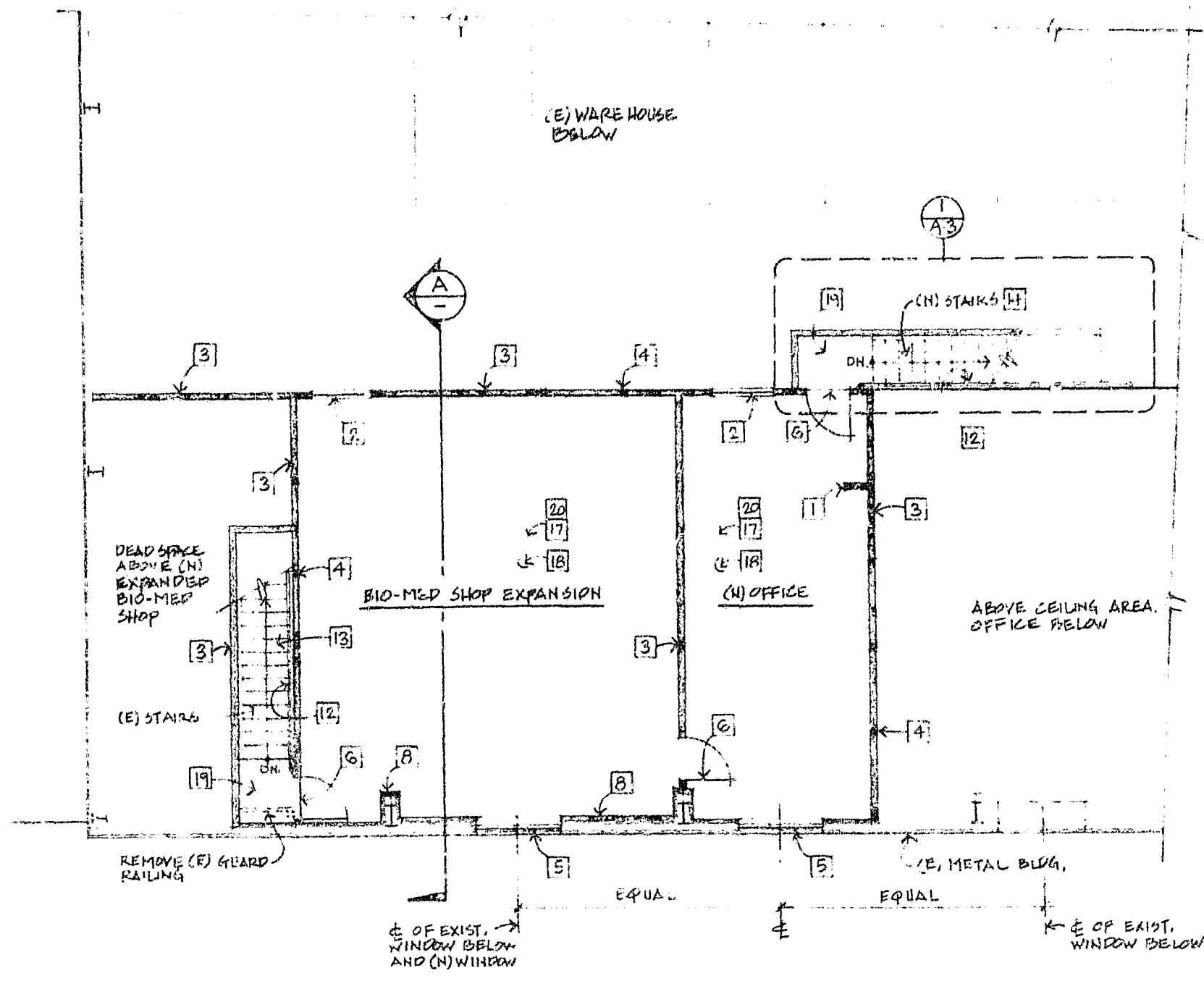
Erik & Minor Architects  
315 West Ashley St., Santa Barbara, Ca. 93101  
(805) 963-3357

Site/Building Plan, Details  
Project Information, Notes  
Enlarged Restroom Plan  
Exterior Elevation, Vicinity Map

**A-1**



**A Partial Building Section**  
1/4" = 1'-0"



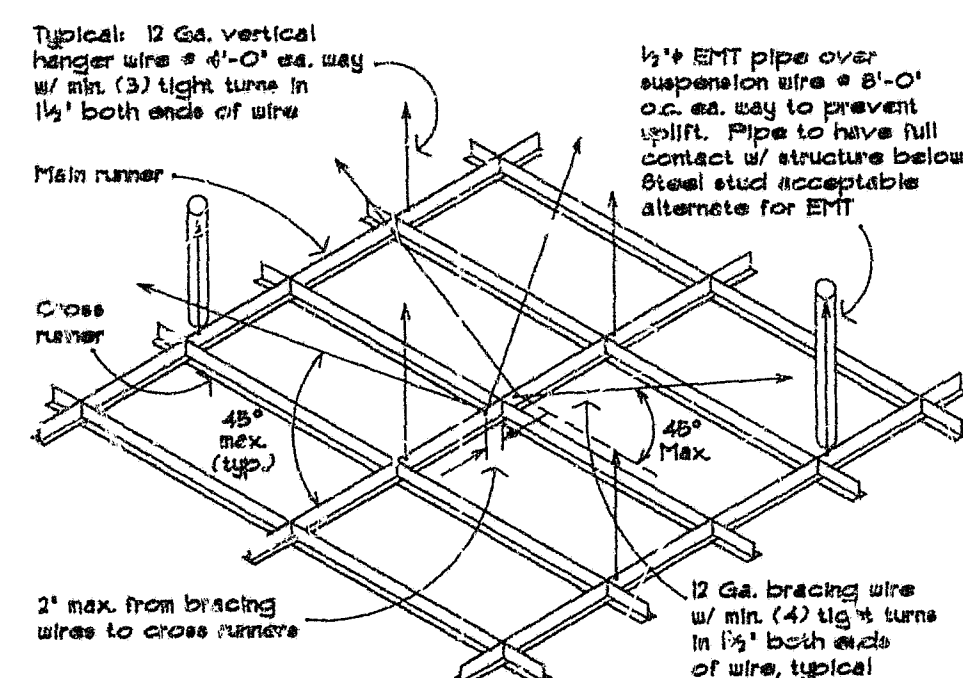
**Second Floor Plan**  
1/8" = 1'-0"

**Floor Plan Notes**

- DRYWALL CONSTRUCTION:** Install new drywall conforming to the published United States Gypsum Drywall/Hood Framing Standards (System Folder USA24). Dryboard application and finishing shall conform to ASTM C840. Apply light texture finish to walls and ceilings as approved by Architect. All new drywall to be 1/2" unless noted otherwise or required to be 5/8" type "X" to comply with code requirements.
- FLUSH WOOD DOORS:**
  - Provide solid core flush wood doors with hardboard faces on all new interior door openings.
  - Door construction shall comply with "Industry Standard for Wood Flush Door" of National Wood Window and Door Association (NWFA). Door shall have hardboard face with S-D-S construction.
  - Install doors to comply with manufacturers instructions. Align and fit doors in frame with the recommended clearances and bevels. Machine doors for hardware. Seal cut surfaces after fitting and machining.
  - Door Frames: Wood to match existing.
- HARDWARE:**
  - Provide 1-1/2" pair, 4 1/2 x 4 1/2, US26D butts for each door Hage 1279 or equal.
  - Provide Schlage D Series, Sparta design hardware. Finish to be 6026 Chrome plated #626.
  - Provide door stops and other hardware as required for a complete installation.
- ROUGH CARPENTRY:**
  - Properly frame and construct, in a first class and substantial manner, the rough carpentry framing throughout the work. Coordinate the work of all other trades.
  - Structural members shall not be cut for pipes, conduits, ducts, etc., unless specifically noted or detailed.
  - All studs shall be at 24" o.c. except as shown.
  - Provide 2" fire blocking at mid-height of all partitions over 8'-0" high.
  - Use common nails throughout, except as otherwise noted. Box nails may be used for connections listed in UEG Table 25.0 if not detailed otherwise.
  - Framing details: Studs shall be placed with their dimension perpendicular to the wall. Not less than three (3) studs shall be installed at each corner of a wall.
- PAINTING:** All new interior walls, drywall, ceiling, door, and exposed ductwork/misc. metals are to be painted unless noted otherwise. Paint to be Finesse as follows:
  - Wood/hardboard - Gloss/Semi-Gloss (100% Acrylic)
    - 1st Coat: 957 Finesse
    - 2nd Coat: 143 Miro-Glo
    - Use on wood or hardboard doors
  - Wallboard - Egg Shell (100% Acrylic)
    - 1st Coat: 061 Aqua Seal
    - 2nd Coat: 022 Co-Glo
    - Use on drywall walls, ceiling unless required to be painted semi-gloss.
  - Wallboard - Semi-Gloss (100% Acrylic)
    - 1st Coat: 061 Aqua Seal
    - 2nd Coat: 021 Satin-Glo
    - Use on drywall walls and ceiling in restrooms.
  - Metal - Gloss (100% Acrylic)
    - 1st Coat: 061 Metal Prime
    - 2nd Coat: 143 Miro-Glo
    - Use on exposed ductwork and misc. metals, U.I.O.
- See electrical drawing for power and lighting.
- See mechanical drawing for all new A/C equipment, ducting and modifications of existing A/C system.

**Key List (Description of Work Refers to Numbers in Squares on Floor Plans)**

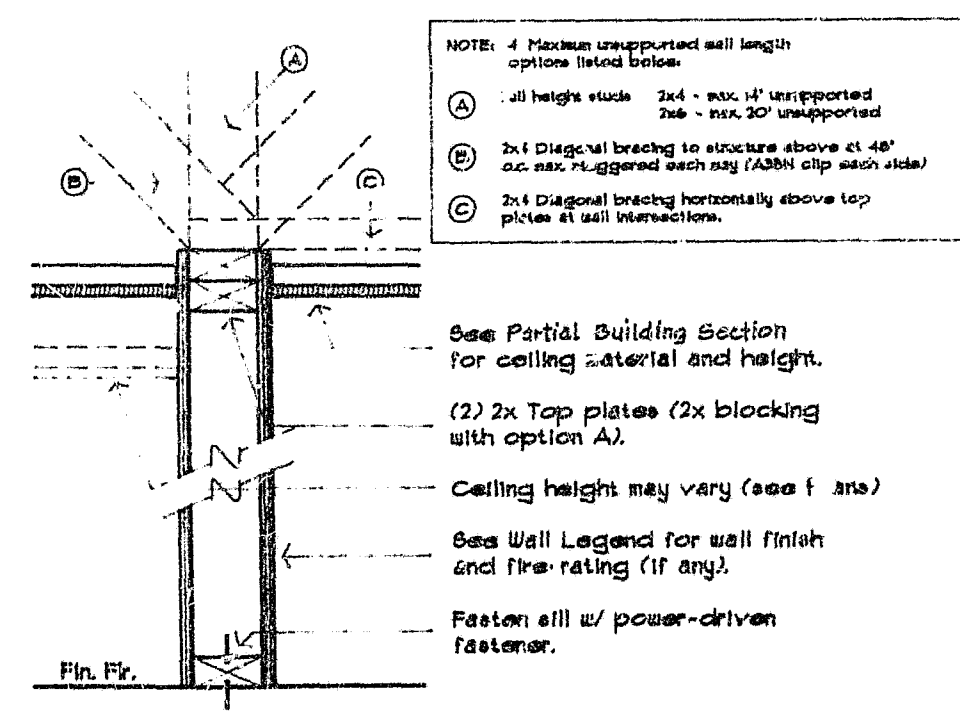
- Existing fire sprinkler standpipe. Box in with 2 x 4 framed wall and 1/2" gyp board.
- New 4' x 8' sliding aluminum framed window with nail on flanges. Windowmaster Series 210; bronze anodized. Do not provide screen.
- New 2' x 4 stud wall, 16" w/c with 1/2" gyp board each side, painted. All walls adjacent to unconditioned spaces shall be insulated with R-13 mineral bat insulation. Interior walls separating rooms shall be insulated with 4" thick sound control batt insulation. At walls adjoining dead space above ceiling, clay to minimize drywall.
- Existing 4 x 4 posts from mezzanine floor to bottom of building structure. See structural details for framing of new wall between posts to remain.
- New 6' x 2' sliding aluminum window to match existing type in exterior metal building wall. New opening to be cut above existing girt which is approximately 57'-10" AFF. New window shall be set in place per building manufacturer's recommendations and detail using operating reinforcing. Provide screen. Frame and finish drywall to window.
- New 3' x 6' solid core flush door. Provide complete with all hardware. Handle to be lever type. Provide saddle at top of door at steps. Paint door.
- Existing stud and drywall wall. Protect in place. Patch any damage.
- New 1' x wall frame at existing building wall and around existing building column. Keep framing as close to structure as possible. Finish with 1/2" drywall.
- Install 1/2" gyp board finish over existing plywood sheathing.
- Remove existing framed wall. Provide windows as required. No dropped head-ceiling to run through. Finish portions of wall to remain to match existing.
- At existing door install new pair of 6'-0" x 7'-6" solid core flush wood doors. Install wood frame to match existing. Install new header per attached typical detail. Provide all hardware.
- New iron hand-rail. Extend 12" above top landing rise; extend 24" beyond bottom rise. Provide backing in wall (existing & new). Patch existing wall where backing is added. Hand-rail to be 34" above tread nosing. Wall supports at 6'.
- New rubber treads and risers manufactured by Johnsonite. Treads to be "J" Heavy Duty with diamond pattern. Provide 2" minimum warning strip for the visually impaired on the top and bottom treads at 1" maximum from edge of tread.
- New stairs to be constructed to match existing. Enclose all space below stair. See stair construction details.
- Existing stair to have guard-rails removed and open side walls extended so that a ceiling/soffit can be constructed. The ceiling height at top landing shall be 8' and the soffit shall be no lower than 6' at any point above treads.
- New acoustic panel ceiling, 24" x 48" x 3/4", to match existing. Continue grid pattern and ceiling height. Replace any existing ceiling tile that is damaged by construction, or that are required to be changed to meet new construction.
- New acoustic panel ceiling, 24" x 48" x 3/4", molded medium density mineral fiber, Armstrong Traverstone, or approved equal. Install in exposed grid suspension system. Intermediate w/c painted steel, white color. Install acoustic panels and suspension system in accordance with manufacturer's instructions. Coordinate installation with location of mechanical and electrical work to ensure proper locations.
- Install carpet on second floor office and shop areas. Carpet installation to be glue down. Provide 100% DuPont BCF Nylon "Stairmaster" 28 oz. textured cut pile; Philadelphia Carpet, "Starry Nights Plus-Flex", Style #51277, or approved equal. Provide 4" rubber carpet base at all walls.
- Install 12 x 12 x 1/8" w/c composition tile; standard Exolon, Imperial texture, by Armstrong or approved equal at new ground floor expansion area and at new and existing stair landings. At ground floor matching existing. At landings color to be selected by architect. Provide 4" rubber top-set base at walls.
- Insulate entire area above ceiling with R-13 bat insulation. Insulation to be un-faced to fit above joists in suspended ceiling system.
- HVAC fan coil units. See mechanical drawing sheet M-1.
- Remove existing chain link fence and gate enclosure. Reinstall as shown and as directed by Owner.



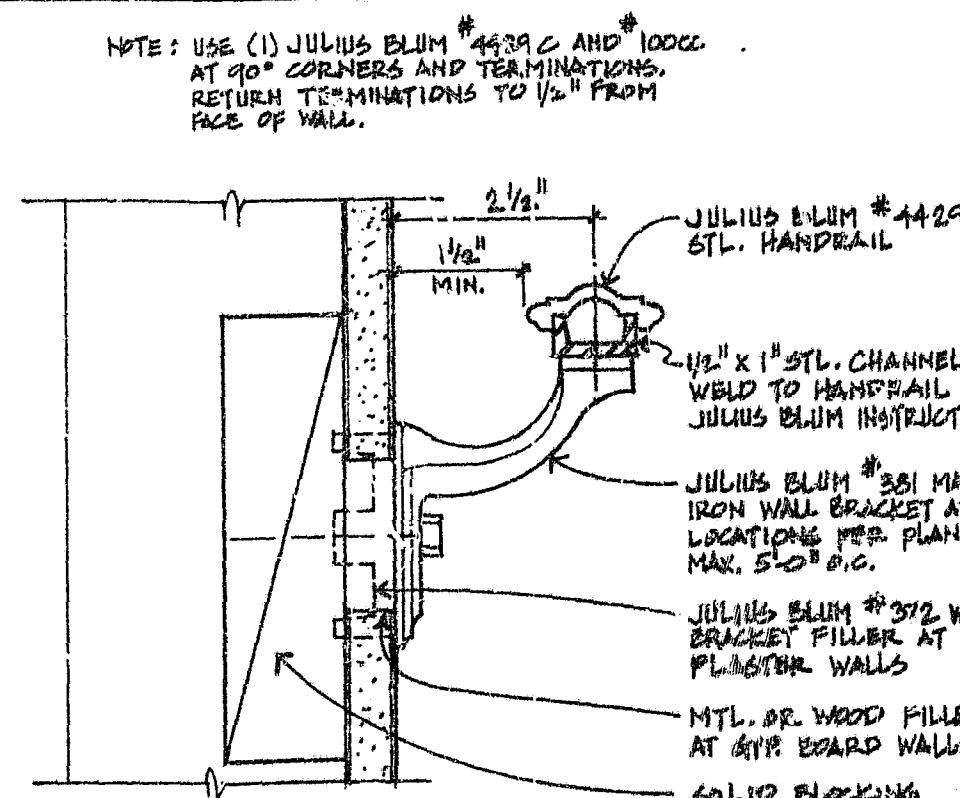
**Suspended Ceiling Notes**

- LATERAL FORCE BRACING:** Horizontal restraints shall be (4) no. 12 gal. wire secured to the main runner within 2' of the cross runner intersection and splayed 30 degrees from each other at an angle not exceeding 45 degrees from the plane of the ceiling. These horizontal restraint points shall be placed 12'-0" on center in both directions with the first point within 4'-0" from each wall. Attachment of the restraint wires to the structure above shall be adequate for the load imposed. Provide vertical restraint, 1/2" EMT pipe over suspension wire at 8'-0" o.c. as used to prevent uplift. Steel stud may be substituted for EMT pipe to provide vertical restraint.
- PERIMETER MEMBERS OF GRID SYSTEM:** Unless perimeter members are a part of the approved system, wall angles or channels shall be considered as aesthetic closures and shall have no structural value assessed to themselves or their method of attachment to the walls. For tile ceilings, ends of main runners and cross members shall be tied together to prevent their spreading.

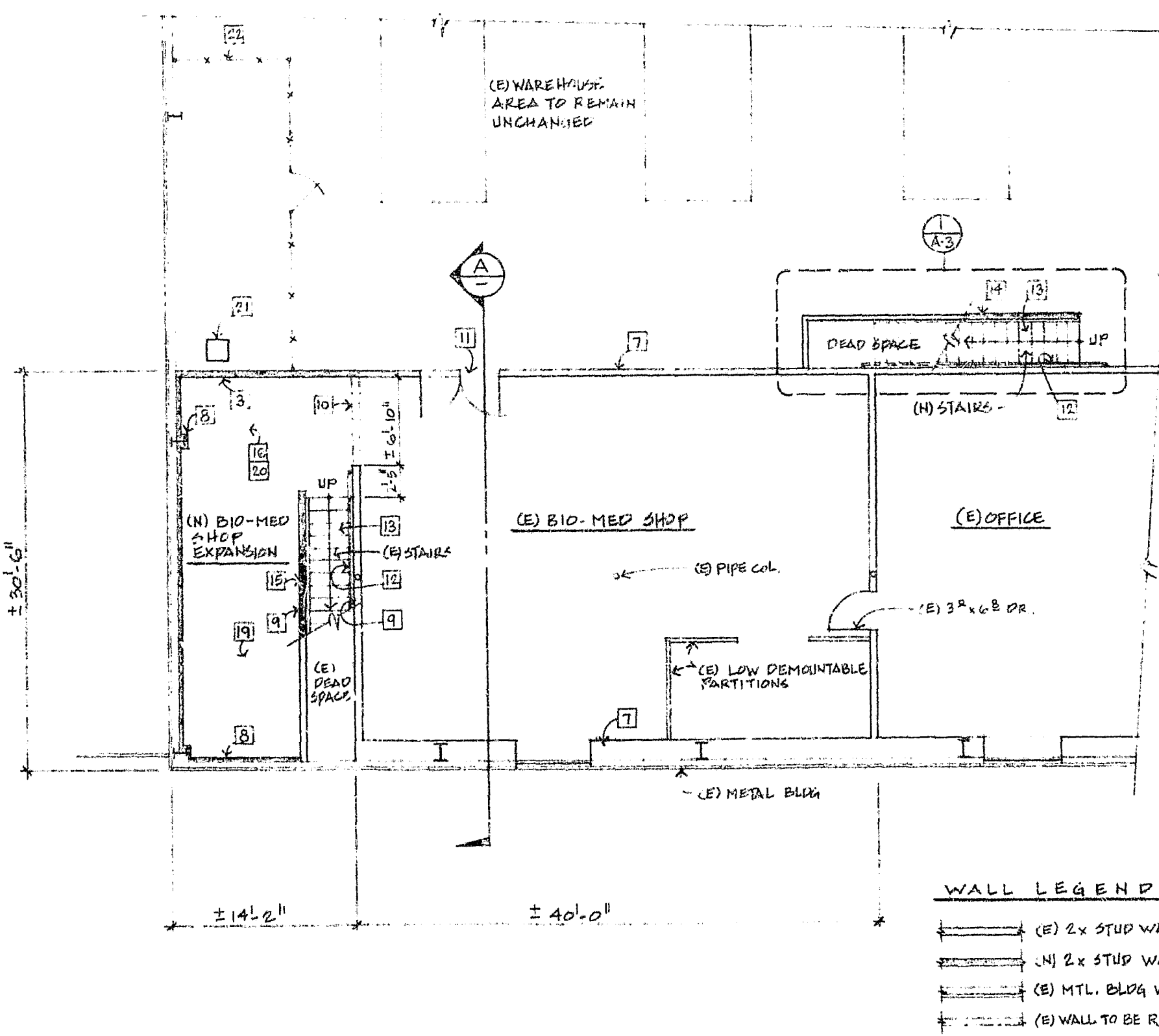
**3 Ceiling Grid Attachment**  
Not to scale



**1 Non-Bearing Partition**  
1 1/2" = 1'-0"



**2 HANDRAIL DETAIL**  
1/2" = 1'



**First Floor Plan**  
1/8" = 1'-0"

**LENVIK & MINOR Architects**  
 315 West Haley St., Santa Barbara, Ca. 93101  
 (805) 963-3357  
 Interior Remodel for:  
**Direct Relief International**  
 27 S. La Patera Lane  
 Goleta, California 93117  
 APN: 073-060-033  
 First and Second Floor Plans  
 Building Section, Details  
 Date: 11/23/94  
 Drawn by: RJB  
 Job Number: 91-2302  
 Checked by: [Signature]  
 Sheet of: 2  
**A-2**

*27 S. La Patera Ln*

# LAND USE PERMIT

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF  
DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit: 110257  
value: 20,000.00

ADDRESS OF JOB 27 La Patena Lane - 50,		PARCEL NO. 73-050-33
PROPOSED USE Storage area above existing office - Interior alt.		ZONE MRP
LESSOR/OWNER RAYFEDN		CENSUS TR.
AC.	LOT SPLIT NO.	
SQ. FT. 1200	TR.	LOT
SEWAGE DISPOSAL <input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL AMW		DATE 11/22/85
REMARKS: Bas. 00 # 3621		

no increase in employment.  
no int. alt. - no base

N 83°11'30" E 489.78

**BUILDING NO. 7**  
00 sq. ft.

loading dock

Parking Lot

outside storage area

March etc  
New construction

S 83°11'30" W 489.73

**BUILDING NO. 6**  
20,000 sq. ft.

Landscaped Area

Parking Lot

Property Line

LA PATERA LANE

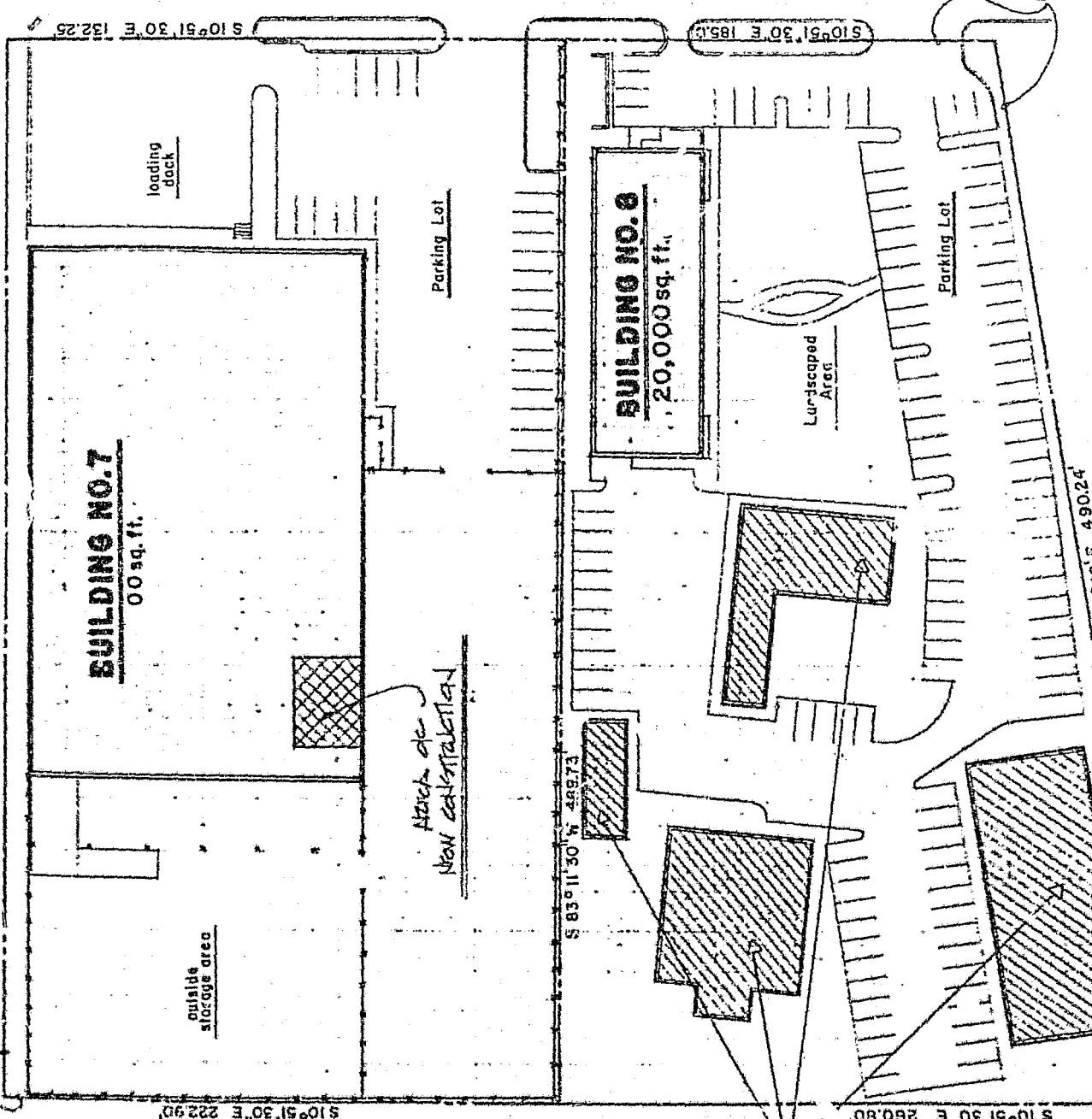
S 10°51'30" E 132.25

S 10°51'30" E 185.10

S 10°51'30" E 222.90

S 10°51'30" E 260.80

N 14°19' E 490.24



# LAND USE PERMIT

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF  
DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit: 113425  
Value:

ADDRESS OF JOB 27 La Palma Lane		PARCEL NO. 73-050-33
PROPOSED USE Storage Trailer		ZONE W.V.P.-P
LESSOR/OWNER Raytheon		CENSUS TR.
AC.	LOT SPLIT NO.	CASE NUMBERS  86-CIP-35(2A)  See attached
SQ. FT.	TR. LOT	
SEWAGE DISPOSAL <input type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL Amw	DATE 5-27-86	
REMARKS: \$25.00 #0412		



# County of Santa Barbara

## RESOURCE MANAGEMENT DEPARTMENT

Dianne Gorman, AICP, Director  
Dev Vrat, Assistant Director

May 13, 1986

Mr. John Francese  
Facilities Services Dept., Raytheon Co.  
6380 Hollister Ave.  
Goleta, CA 93117-3197

Re: Raytheon Storage Trailer, 27 La Patera Lane, Goleta Valley, 86-CP-35(ZA)

Dear Mr. Francese:

On May 12, 1986, the Zoning Administrator took the following action:

1. Approved on the basis that the project is consistent with the provisions of Article III, Section 35-315.8 of the County Code.
2. Approved the attached Conditional Use Permit.

Procedure:

The Ordinance provides that the applicant or any property owner to whom notice of the Zoning Administrator's hearing was required to be given, within ten (10) days after the Zoning Administrator Action, may appeal said action to the Board of Supervisors.

The Ordinance provides that the Board of Supervisors, within twelve (12) days after the Zoning Administrator Action, may appeal said action and set for public hearing.

If this decision is appealed, a filing fee of \$403 must be delivered to the Clerk of the Board.

Public Appeal period expires on May 22, 1986.

Board of Supervisors' appeal period expires on May 27, 1986.

  
Britt A. Johnson, Zoning Administrator

cc: County Assessor  
F. Keinath, Building Dept.  
Supervisor Wallace  
Case File

DAJ:nlr:5804F



May 27, 1986

SANTA BARBARA COUNTY CONDITIONAL USE PERMIT

CASE NO.86-CP-35(ZA)

I. A Conditional Use Permit is Hereby Granted:

TO: Raytheon Company

APN: 73-050-33

PROJECT ADDRESS: 27 La Patera Lane

ZONE: MR-P, Industrial Research Park

AREA/SUPERVISORIAL DISTRICT: Goleta Valley/Third

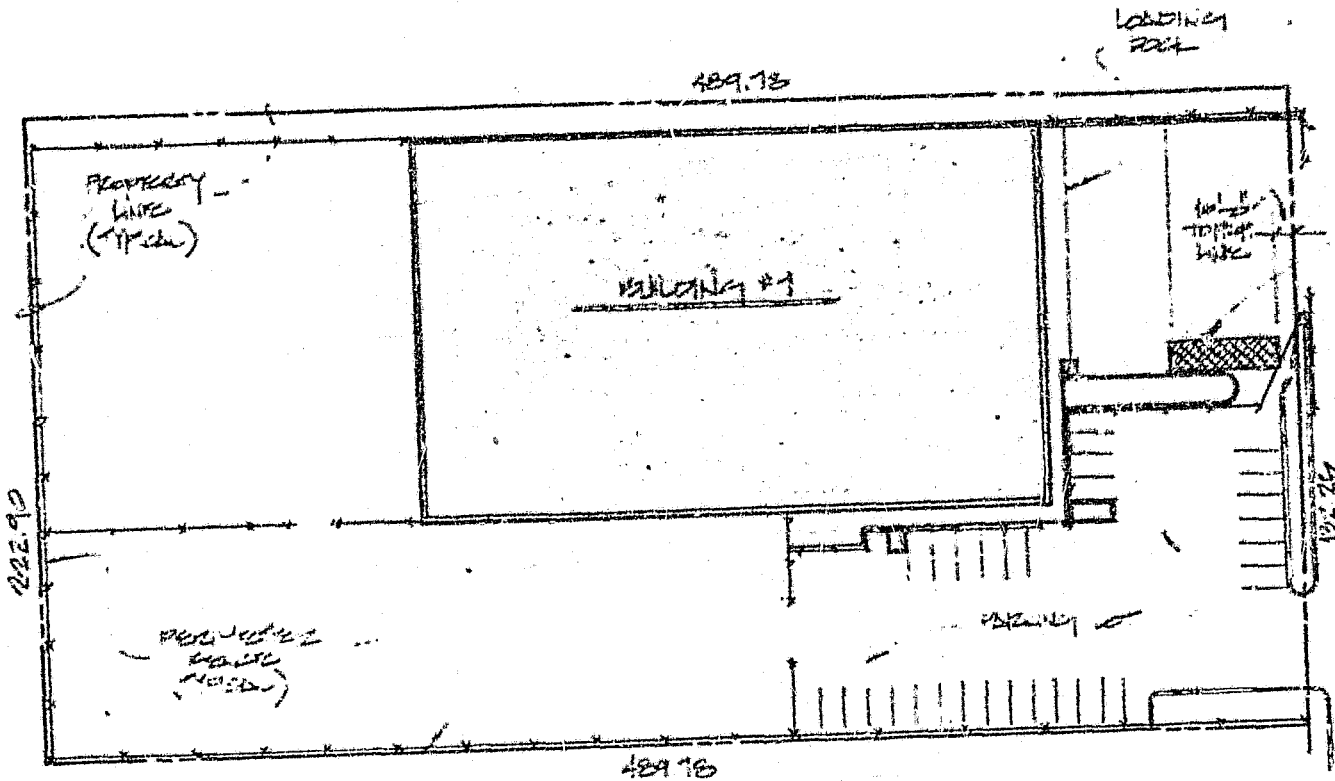
FOR: A storage trailer

II. This permit is subject to compliance with the following condition(s):

1. This permit shall be valid for two years from its effective date of May 27, 1986.
2. The permittee shall comply with the State Mobile Home Act. Prior to the issuance of a Land Use Permit (zoning clearance), permittee shall have made application for a site installation permit from the County Division of Building and Safety. Prior to placing the trailer on the property, the permittee shall obtain a Land Use Permit (zoning clearance) from the Resource Management Department; and all necessary permits from the County Division of Building and Safety.
3. Occupancy shall not be permitted until:
  - a) All necessary permits have been obtained from the County Division of Building and Safety.
  - b) All necessary inspections have been completed and approved.
  - c) Potable water including source and connection to the mobile home has been approved.
  - d) A certificate of occupancy has been issued.
4. The use at all times shall be conducted in compliance with conditions set out in Article III, Sections 35-315.8 of the County Code.
5. Development shall be in substantial conformity with Zoning Administrator Exhibit #1, dated May 12, 1986.

GR 0112 A, B

BAJ:nlr:5804F

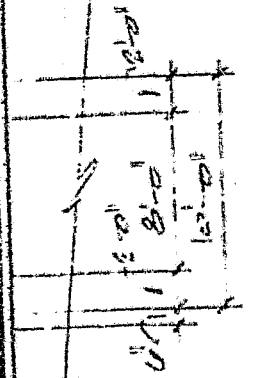


NOTES  
 COST  
 HERE  
 LATE  
 WORK

de la postera



UNIVERSITY OF  
 NORTH CAROLINA



CONCRETE NEW 2'0\"/>
 LINE TO BASE OF 2'0\"/>
 PER R.O. RECORD

NO. 10-0-0

**-WARNING-**

THE ISSUANCE OF THIS LAND USE PERMIT IS SUBJECT TO APPEAL TO THE PLANNING COMMISSION BOARD OF SUPERVISORS BY ANY INTERESTED PERSON ADVERSELY AFFECTED BY THE DECISION FOR A PERIOD OF TEN (10) CALENDAR DAYS FOLLOWING THE ISSUANCE OF THIS PERMIT ANY CONSTRUCTION OR OTHER USE OF THIS PERMIT IS AT THE SOLE RISK AND EXPENSE OF THE APPLICANT IN THE EVENT THAT AN APPEAL OR LAWSUIT ULTIMATELY RESULTS IN DENIAL OR RECONDITION OF THE PROJECT.

RESOURCE MANAGEMENT DEPARTMENT  
COUNTY OF SAN DIEGO

**APPROVED**

*Storage Trailer*

DATE 5-27-86 *Amw*

EXPIRES: \_\_\_\_\_  
SIGNED: \_\_\_\_\_  
of SAN DIEGO COUNTY  
CITY OF \_\_\_\_\_  
ONE YEAR FROM DATE OF  
STRUCTURE PERMITS  
DEPARTMENT OF \_\_\_\_\_

ADDRESS: *27 La Habra land*

APN: *73-050-33*

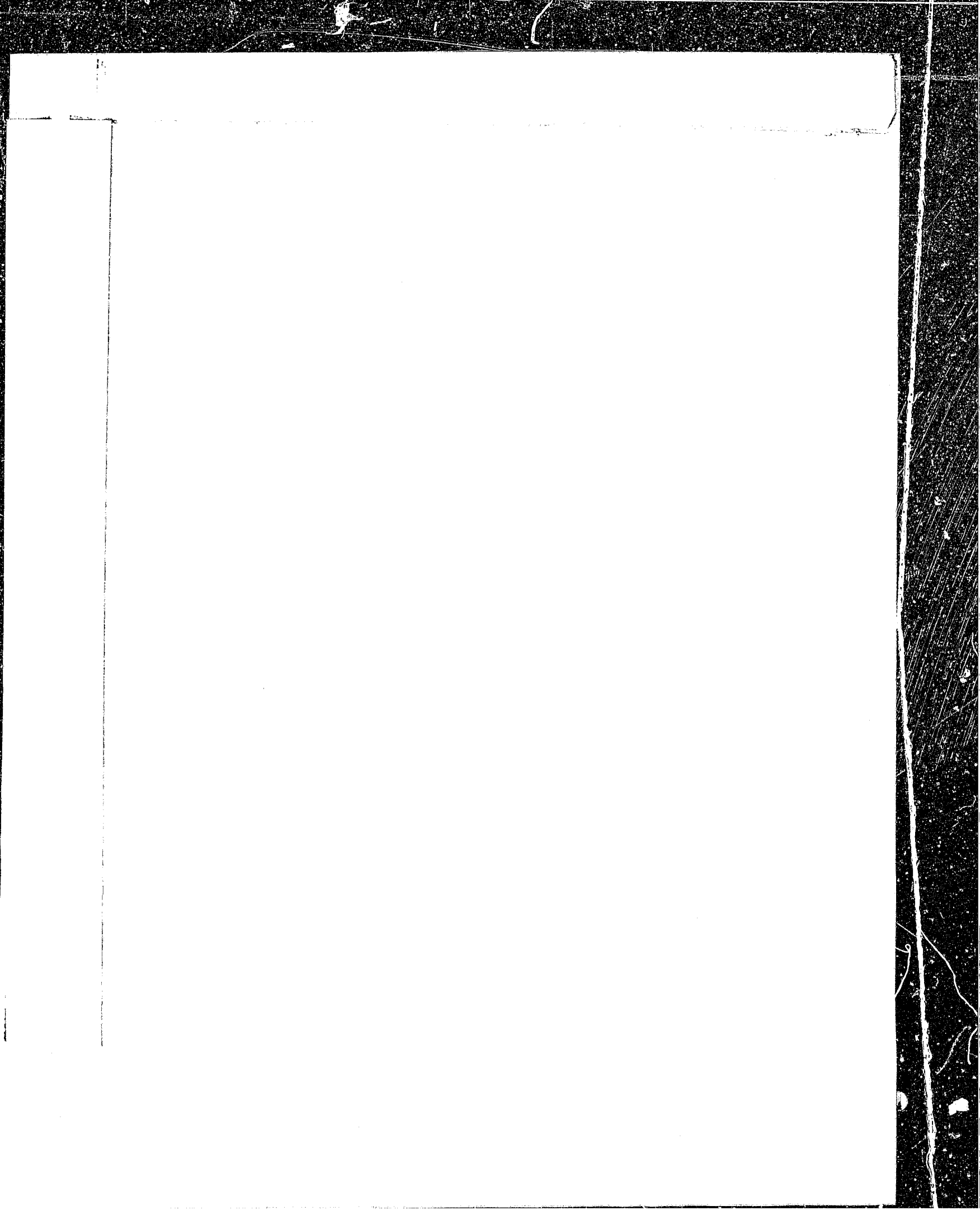
# LAND USE PERMIT

Permit:  
Value:

253455

The permit shall expire within ONE YEAR from the date of issuance (unless otherwise noted) if the use, building, or structure for which the permit was issued has not been established or commenced.

ADDRESS OF JOB 127 S. LA BASTKA W., GLENVIEW, LA 70247		PARCEL NO. 077-0570-0777
LESSOR/OWNER DIRECT RELIEF INTERNATIONAL		ZONE M-RP
PROPOSED USE <del>REMODEL</del> ② INTERIOR REMODEL INCLUDING: EXTEND (E) BIO-MED STAY ON 1ST FLOOR; CONSTRUCT WARD & STAIRS TO (E) MED 2 FLOOR FOR MED EXPANSION & OFFICE; UPDATE (E) RESTROOMS TO CURRENT IBC REQUIREMENTS & UPDATE VENTILATION TO CURRENT IBC REQTS.		SUPERVISORIAL DISTRICT MRE
		SETBACKS ✓
		VARIABLE ✓
		PARKING ✓
		ZONING VIOLATION \$ ✓
		DISCRETIONARY CASE —
REMARKS CONSIDERATE W/ GOLFERT COMP. P117A		AG. PRESERVE # —
		SQUARE FEET REMODELED AREA 1620 SF Total Bldg: 27,000 SF
<p>I agree to check with the Building Division and obtain all required permits for this project. I understand that all uses on this property must comply with this permit; all permits issued by other governmental agencies; and with applicable state and local laws. I understand that if I violate any permit conditions or laws, legal action may be taken.</p>		
<p><u>Don Baker</u> Project Applicant Signature</p>		<p>11/23/98 Date</p>
<p>ZONING APPROVAL <u>[Signature]</u></p>		<p>DATE 11/23/98</p>
<p>FEE: \$125 1044</p>		<p>RECEIPT NUMBER</p>



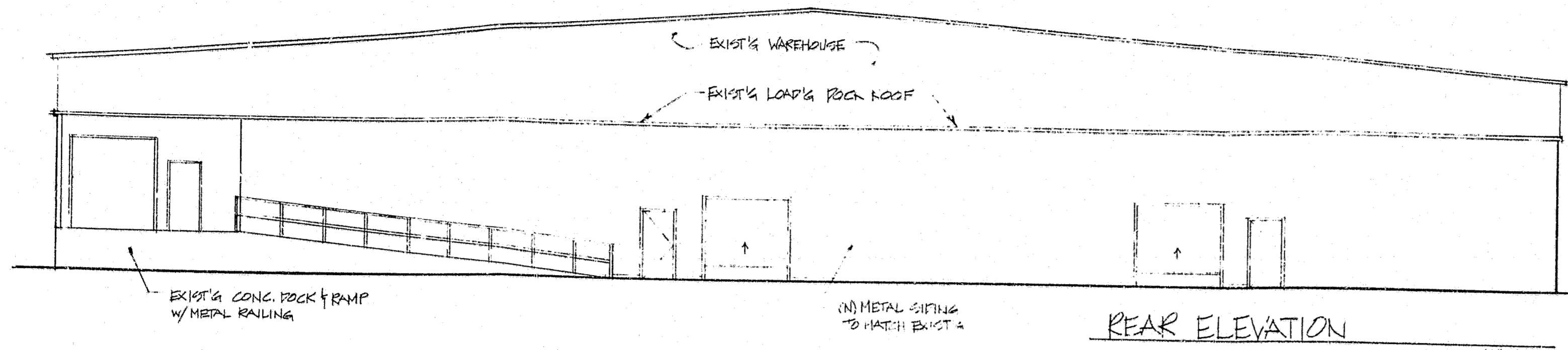
27

S.

LA PATERA

LANE

3



**TYPICAL NOTES**

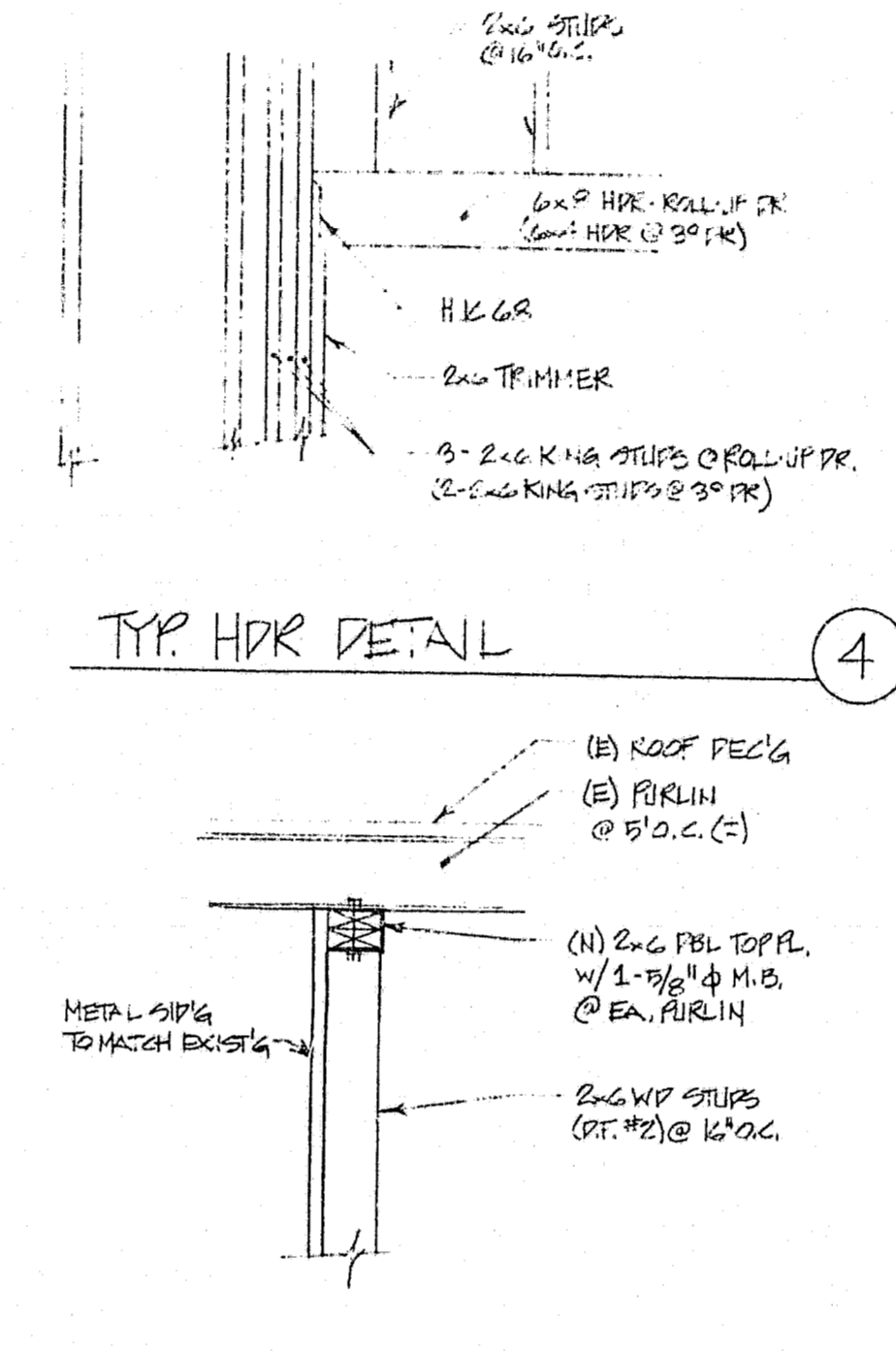
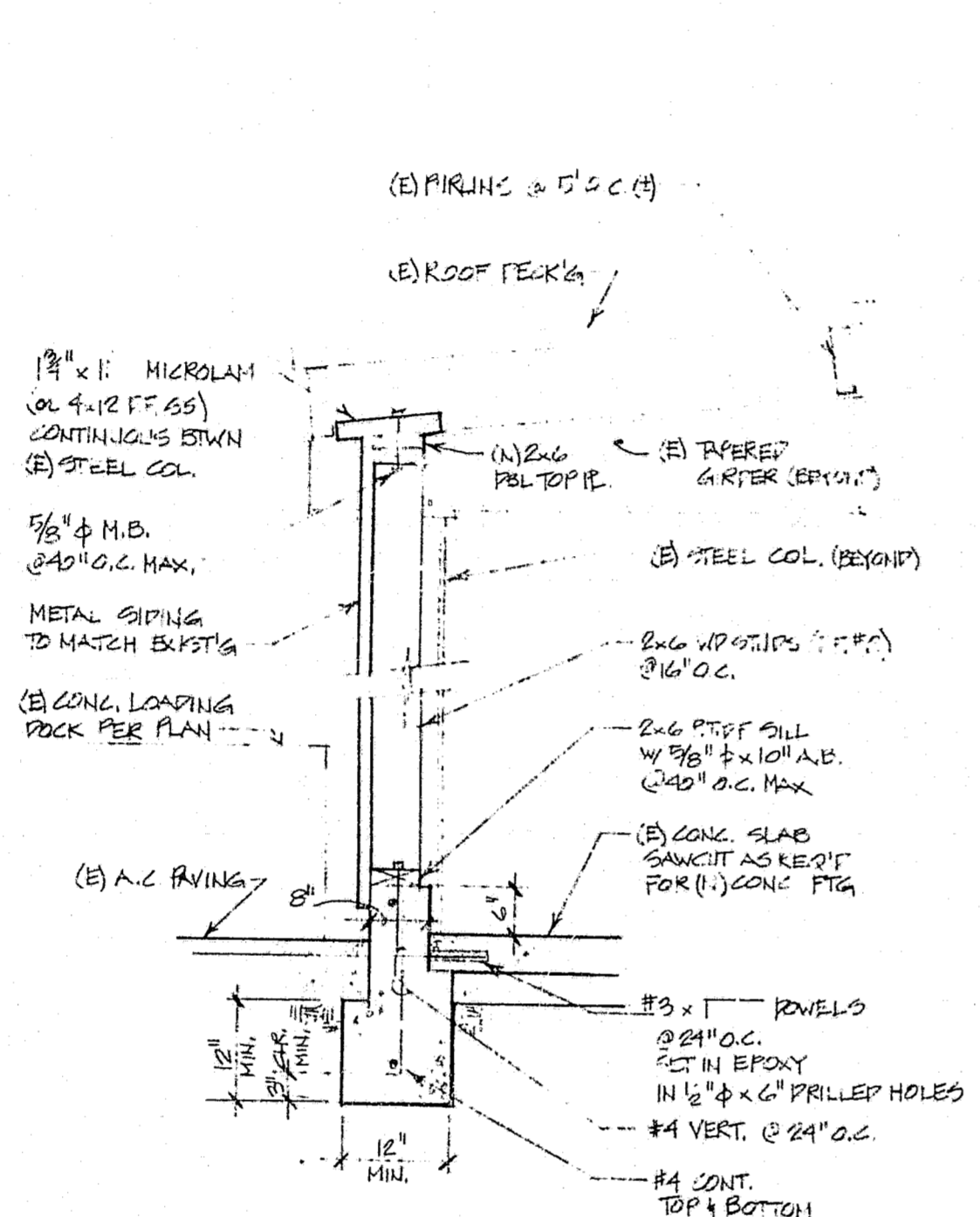
**FOUNDATION** - design based on a soils bearing pressure of 1000 psf. Remove all loose earth, water and debris from the foundation bed prior to pouring footings.

**REINFORCING STEEL** - intermediate grade, ASTM A 615, Grade 40. Lap splices a minimum of 30 bar diameters and securely wire-tie together. Stagger splices of adjacent bars wherever possible.

**CONCRETE** - machine or transit mixed with a maximum of 7 1/2 gallons of water per sack and to reach a minimum strength of 2000 psi in 28 days. Cement shall be Type II low alkali, ASTM C-150. Aggregate to be a maximum of 1 1/2", ASTM C-33. Maximum slump to be 5".

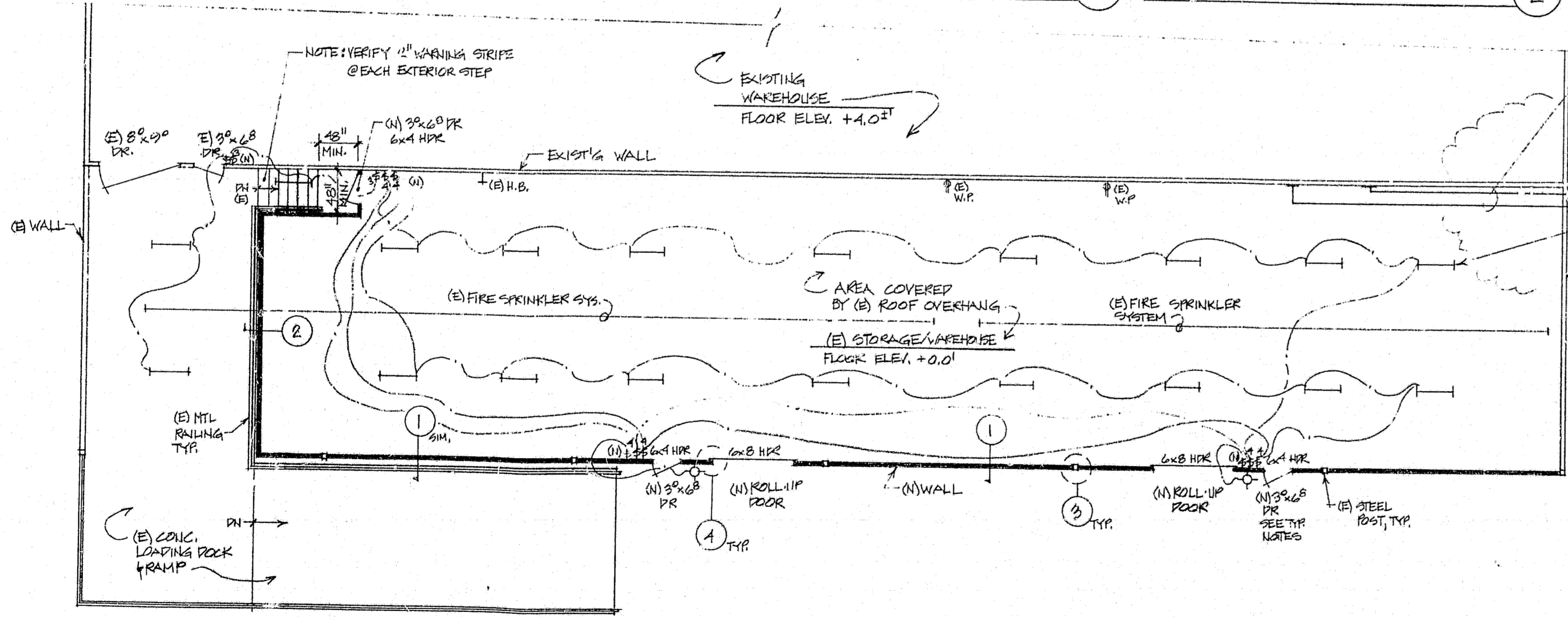
**STRUCTURAL STEEL** - per A.S.T.M. A-36 and fabricated per A.I.S.C. specifications. All bolts to conform to A.S.T.M. A-307 and to have washers on both ends where not in metal contact. Shop prime all structural steel. Re-prime all exposed metal surfaces in the field after installation.

**DOORS** - ON NEW 3'x6' DOORS INSTALL ADA LEVER HARDWARE AS REQ'D. DOORS MUST HAVE 10" KICK PLATE. IF KEY LOCKING HARDWARE IS USED, THERE MUST BE A RED, FLUORESCENT, PUSHABLE SIGN ON OR ADJACENT TO DOOR IN MINIMUM 1" HIGH LETTERS ON CONTRASTING BACKGROUND. SPRING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. WHEN UNLOCKED DOOR MUST BE FREE TO SWING WITHOUT OPERATION OF ANY LATCHING DEVICE.



TYP. WALL DET'L

- ① (M) TOP PL. @ (E) PURLIN
- ② MICROLAM SPLICE
- ③



PARTIAL FLOOR PLAN

1/8"=1'-0"

**GENERAL NOTES**

All work is to be done in accordance with all applicable local and state codes and ordinances and with the best standard specifications of materials and applications. Codes used for preparation of these plans are: 1994 UBC, UPC, UMC, and NEC.

The General Contractor shall verify all dimensions, elevations and existing conditions prior to starting any work. Notify the Architect immediately of any discrepancies so that she may take steps to solve any problems.

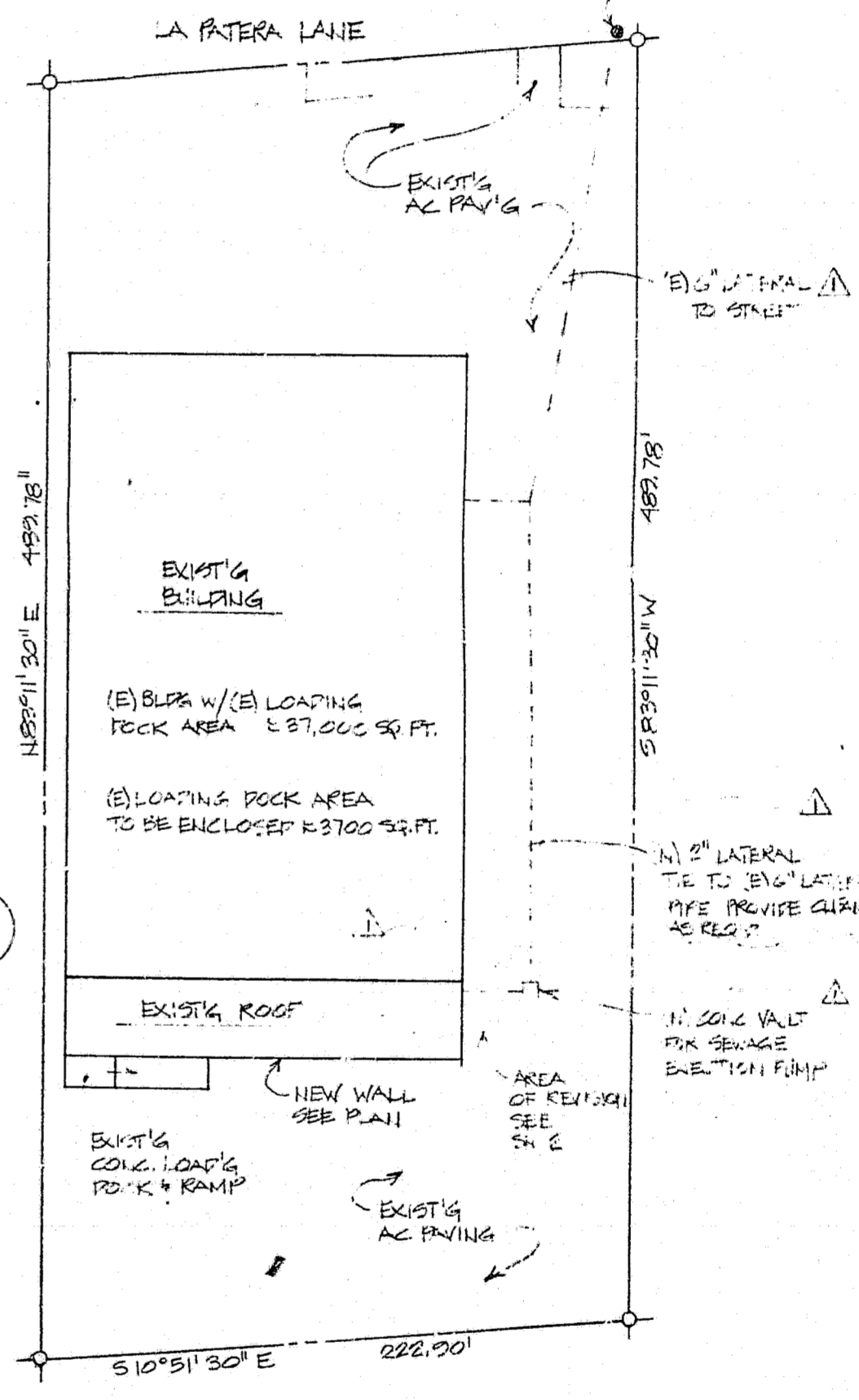
The General Contractor shall furnish all labor, material, equipment, tools, supplies, transportation and services required to complete all of the work in accordance with these drawings unless noted otherwise.

All contractors to be licensed and insured.

The General Contractor is responsible for installing all required temporary bracing and shoring to insure the safety of the work and workers until the project is completed. The contractor shall insure that all applicable safety laws are strictly enforced and shall protect all work and materials from any damage.

All sub-contractors, workers, suppliers, etc., shall remove all waste, debris, excess materials, tools and equipment from the job site that they have created or used on a timely basis or be subject to the Owner doing the same and backcharging them for such removal.

ZONING EXEMPT  
DEC 12 1997  
PLANNING & DEVELOPMENT



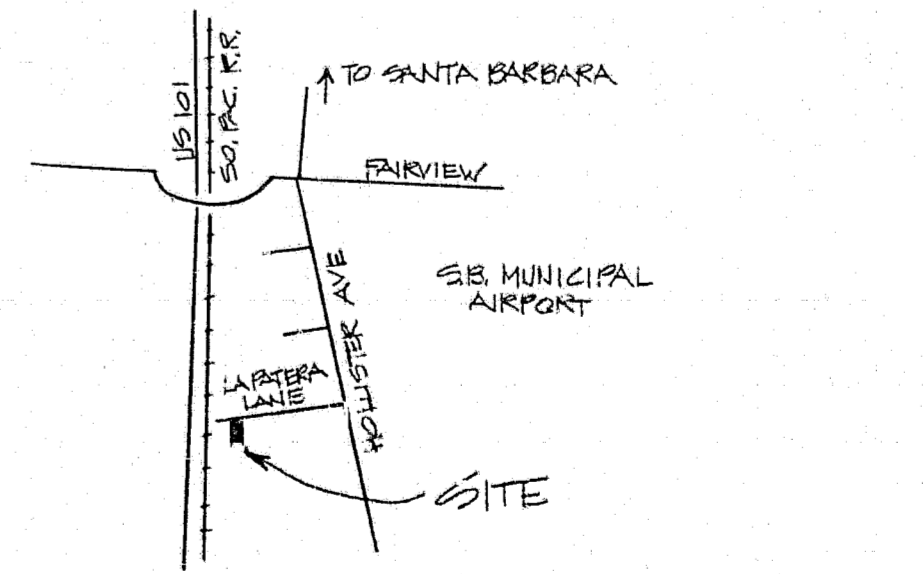
SITE PLAN

PARCEL: 2.5 ACRE  
ZONE: M, RP  
APN: 73-050-033  
1"=50'-0"

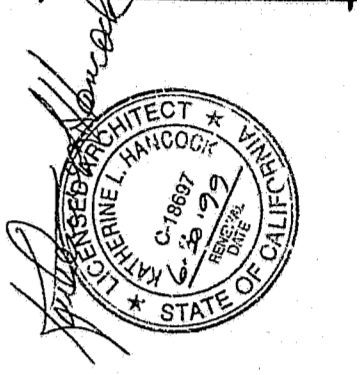
**PROJECT DATA**

APN: 73-050-033  
ZONE: M, RP  
LOT: 2.5 ACRE  
EXIST'G BLDG W/ (E) LOADING ROCK AREA: 37,000 SQ. FT.  
EXIST'G LOADING ROCK AREA TO BE ENCLOSED: 3700 SQ. FT.  
OCCUPANCY: S-1, WAREHOUSE  
CONSTRUCTION: TYPE I, N  
OCCUPANT LOAD: 5700/5000 = 7  
EXIT REQ'D: 1  
SPRINKLERS: EXISTING  
NOTE: THIS ENCLOSURE IS UNCONDITIONAL SPACE & DOES NOT REQUIRE ENERGY CALCULATIONS.

VICINITY MAP



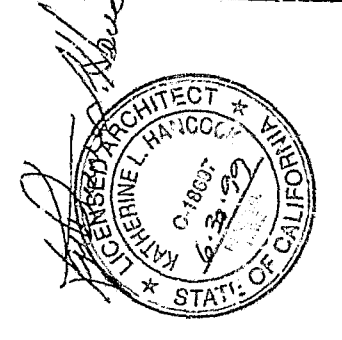
KATHY HANCOCK  
ARCHITECT  
P.O. BOX 20248  
SANTA BARBARA, CA 93120  
805-687-4605



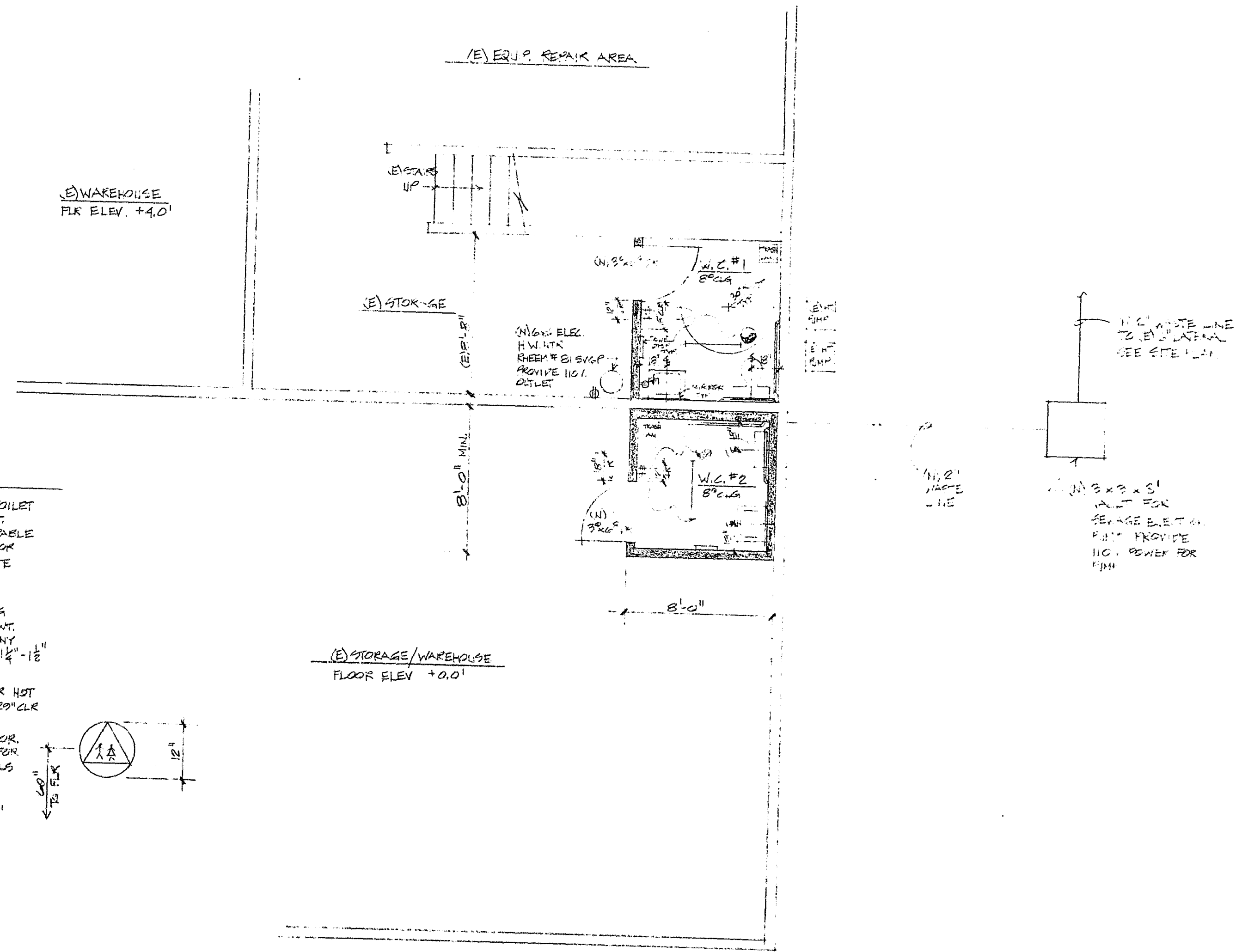
TENANT IMPROVEMENT PER:  
DIRECT RELIEF INTERNATIONAL  
87 S. LA PATERA LANE  
SANTA BARBARA, CA 93117-3951

CLIENT RFI: FEB 97  
10.8.96  
27 SLa Patera Lane  
15M ( 1 ) 350M ( 2 )  
NO SCALE

KATHY HANCOCK  
 ARCHITECT  
 PO BOX 20248  
 SANTA BARBARA, CA 93120  
 805.681.4609

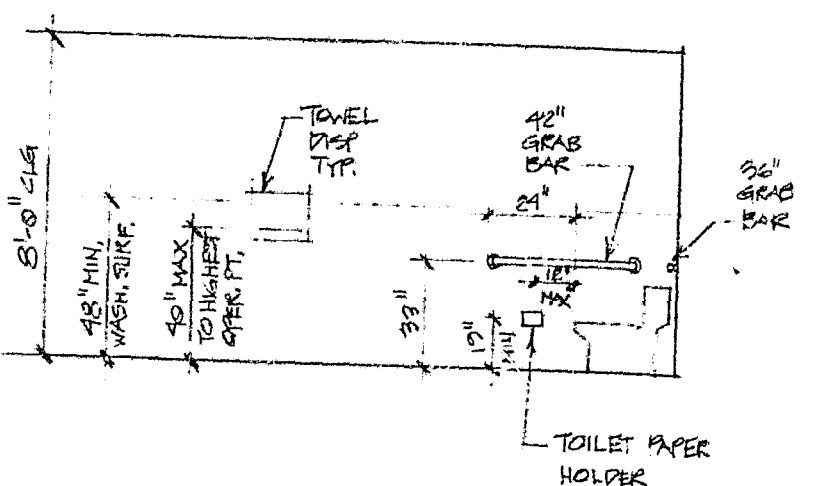


TECHNIT IMPROVEMENT FOR:  
 DIRECT RELIEF INTERNATIONAL  
 87 S. LA PASTORA LANE  
 SANTA BARBARA, CA 93117-9251



**FLOOR PLAN NOTES**

- TOILET - AMERICAN STANDARD # 2216.143 TOILET (3'-0" W/ FLUSH) W/ OILSONITE # 025 TOILET SEAT. FLUSH CONTROL 41" MAX. ADA FLR. TO BE OPERABLE WITH ONE HAND (NOT REQUIRING GRIPPING, FINGERS OR TWISTING OF WRIST). 5'6" MAX. REQP. TO OPERATE CONTROLS.
  - 48" LG. GRAB BAR TO ONE SIDE OF TOILET. 36" LG. GRAB BAR BEHIND TOILET. BAR HEIGHTING TO WITHSTAND 250# EA. SIDE. 300# TOTAL WT. INHIPPABLE BAR SHALL NOT ROTATE OR HAVE ANY SHARP OR ABRASIVE SURFACES. DIA. TO BE 1 1/2" - 1 3/4" W/ 1/8" CLR. SPACE FROM WALL.
  - ADA APPROVED LAVATORY. INSULATE OR COVER HOT WATER & DRAIN PIPES UNDERNEATH. PROVIDE 20" CLR. SPACE UNDER SINK LIP.
  - INSTALL ADA ACCEPTABLE HARDWARE ON DOOR. DOOR TO HAVE 10" KICKPLATE. PROVIDE SIGN FOR UNDESK RESTROOM DOOR CHARACTER SYMBOLS TO CONTRAST W/ BACKGROUND.
  - FLR - VINYL W/ COVERED DACE. WALLS - SMOOTH, WASHABLE SURFACE TO 48" MIN.
- NEW WALL - 2x4 W/ STUDS @ 16" O.C.  
 EXIST'G WALL - 2x4 W/ STUDS @ 16" O.C. AS REQ'D FOR PLUMBING WALLS
- SWITCH
  - EXHAUST FAN - VENT THRU ROOF
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TYP. HT. FROM FLOOR

PARTIAL FLR PLAN



27

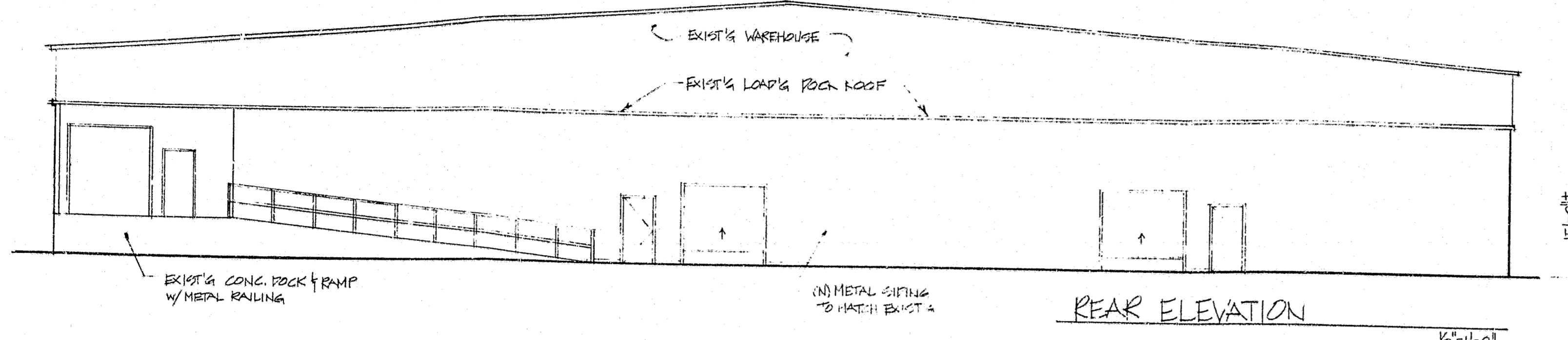
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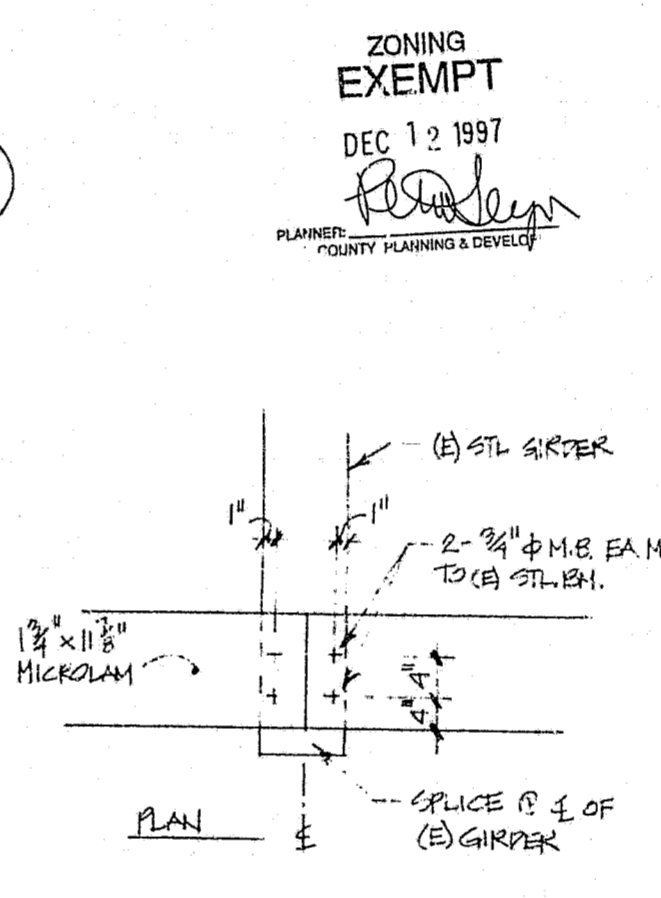
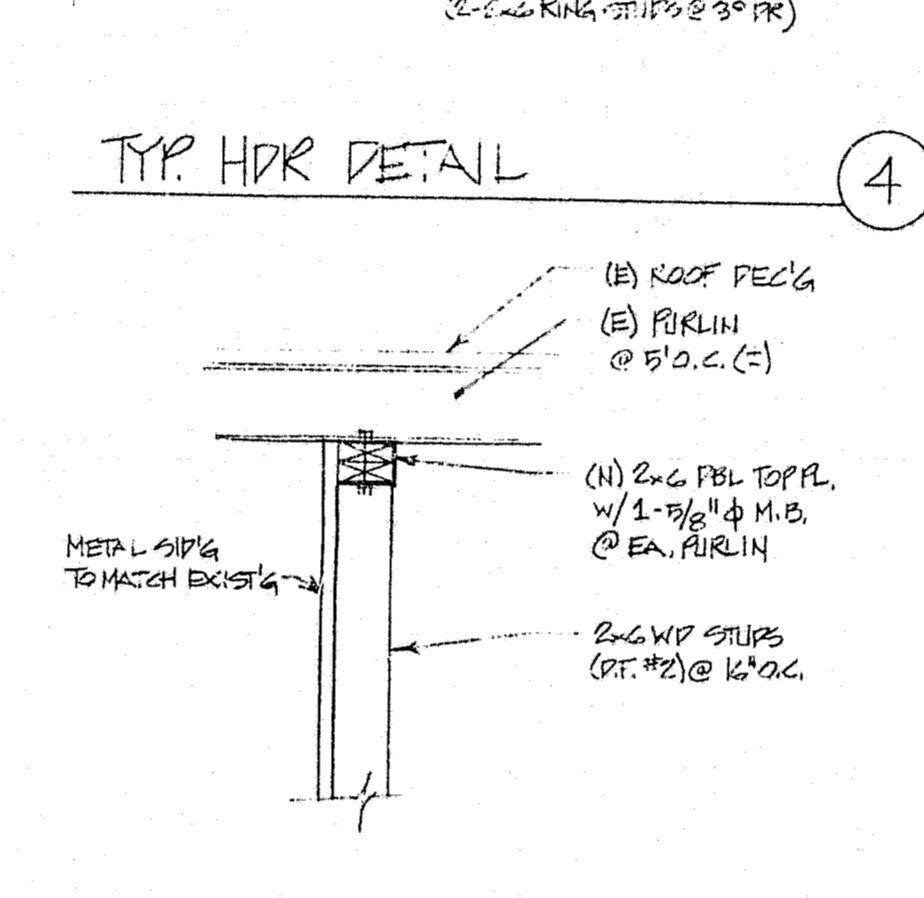
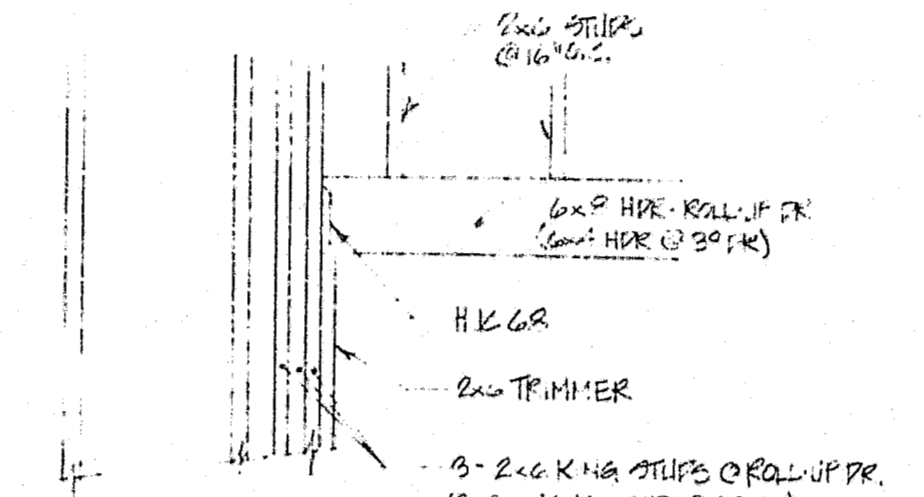
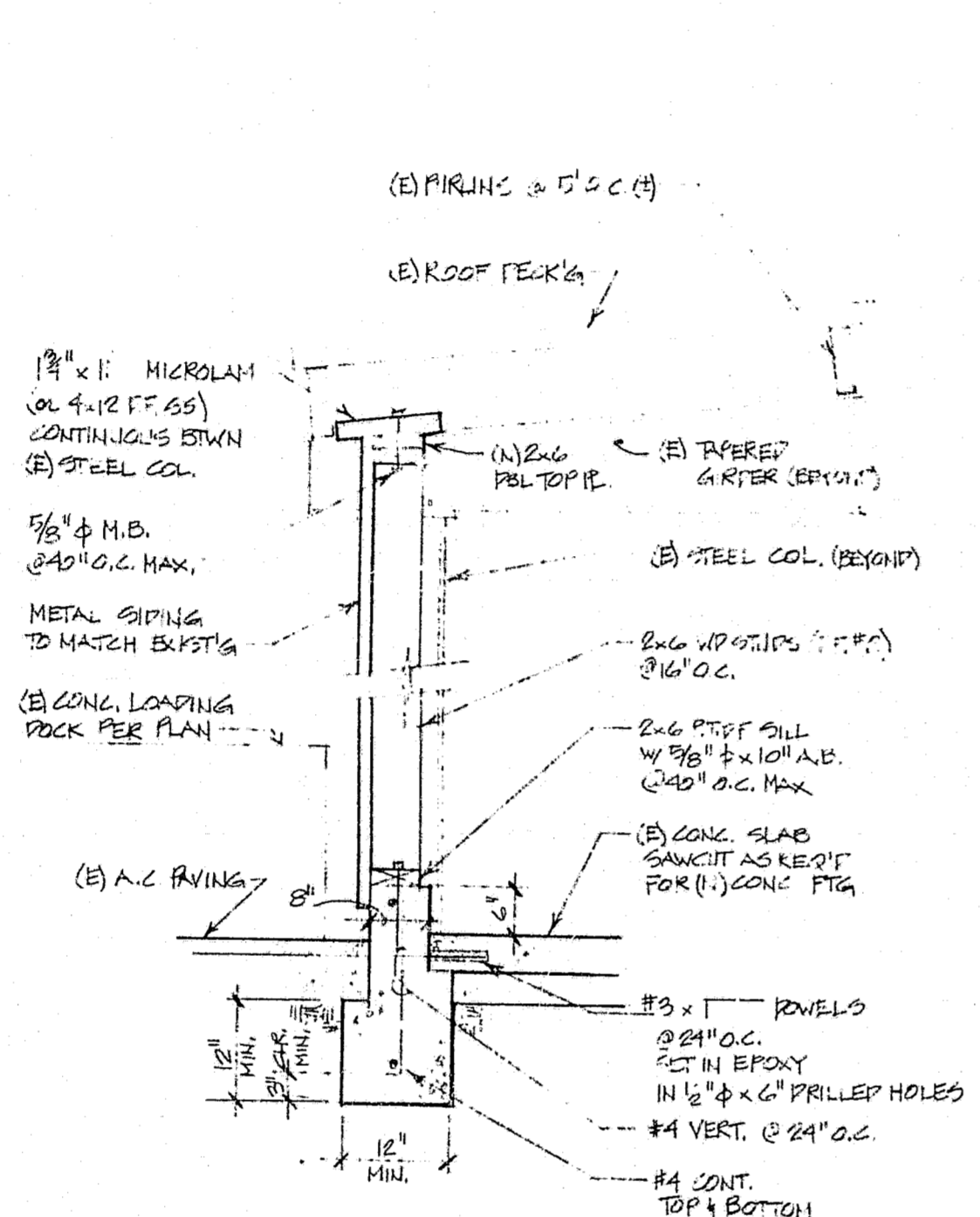
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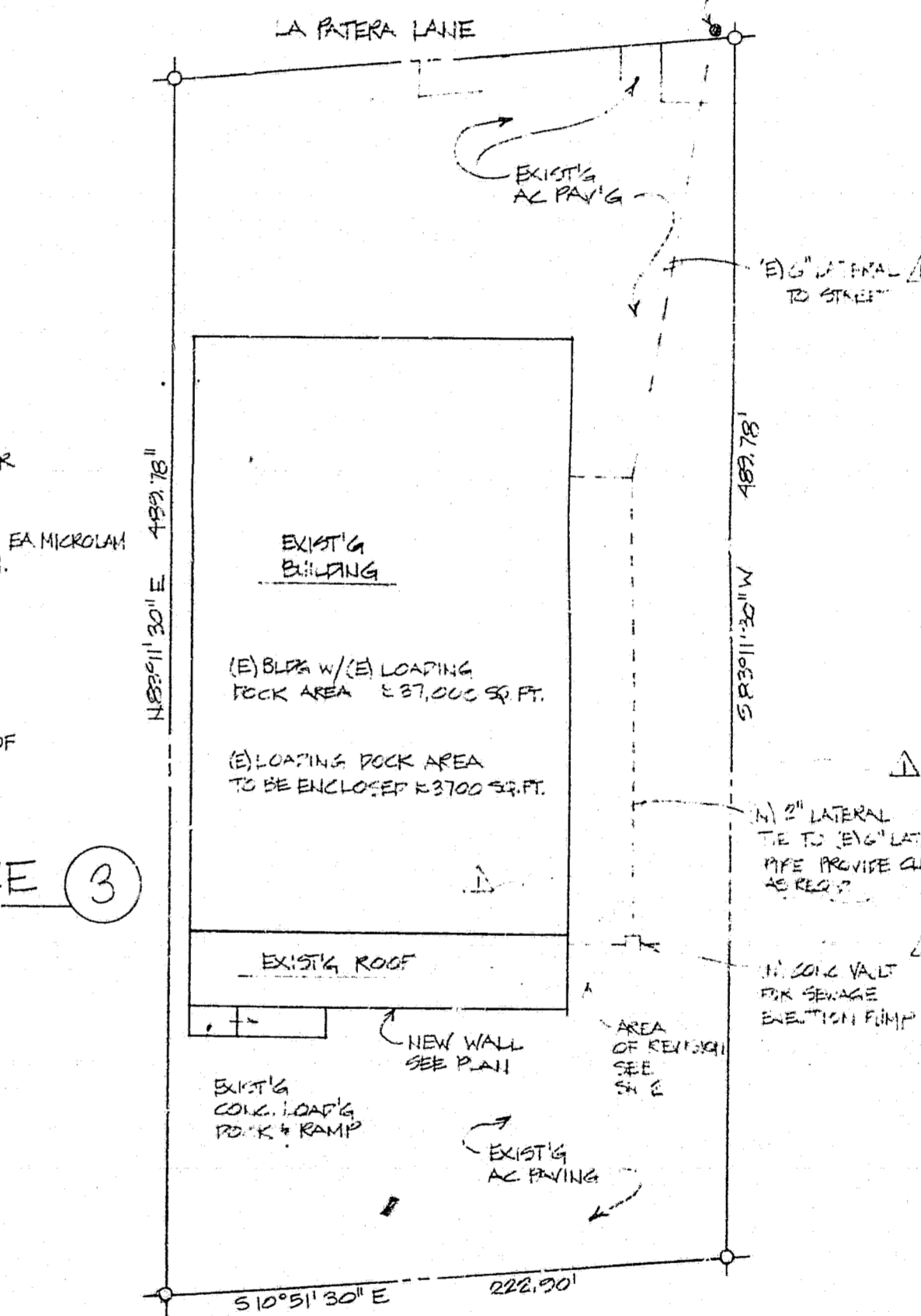
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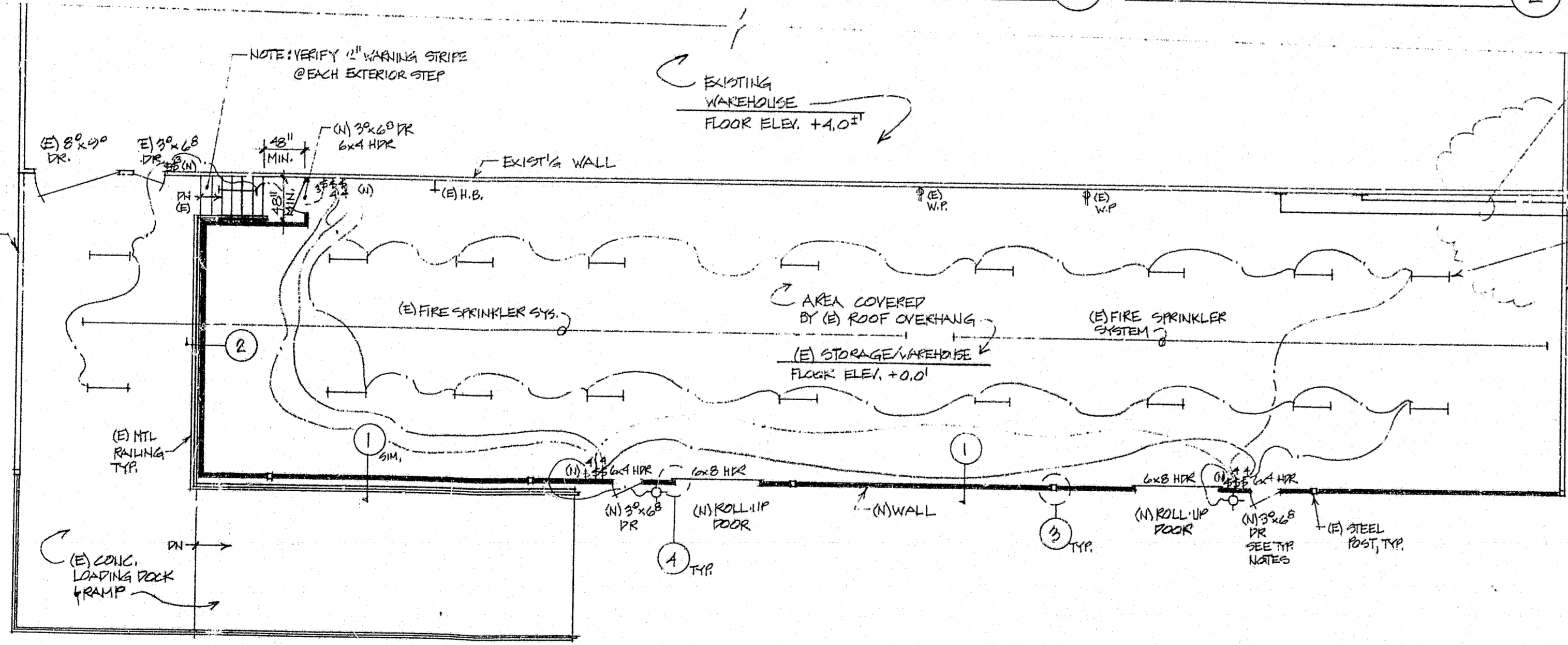


ZONING EXEMPT  
DEC 12 1997  
PLANNING & DEVELOPMENT

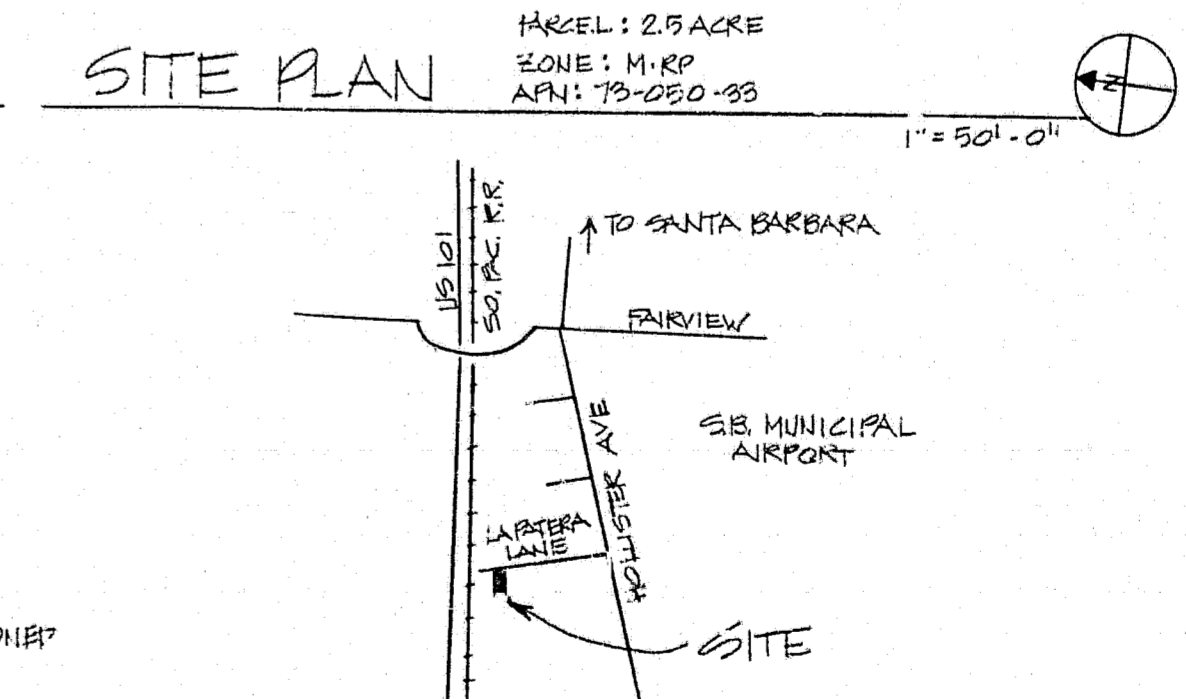


CLIENT RELIEF INTERNATIONAL  
87 S. LA PATERA LANE  
SANTA BARBARA, CA 93117-3951

TEENANT IMPROVEMENT PER:



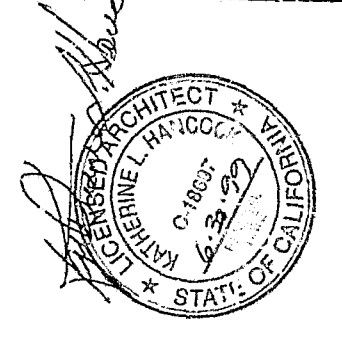
PROJECT DATA  
APN: 79-109-0-33  
ZONE: M-RP  
LOT: 2.5 ACRE  
EXIST'G BLDG W/ (E) LOADING DOCK AREA: 27,000 SQ. FT.  
EXIST'G LOADING DOCK AREA TO BE ENCLOSED: 2700 SQ. FT.  
OCCUPANCY: S-1 / WAREHOUSE  
CONSTRUCTION: TYPE I-N  
OCCUPANT LOAD: 5700/3000 = 7  
EXIT REQ'D: 1  
SPRINKLERS: EXISTING  
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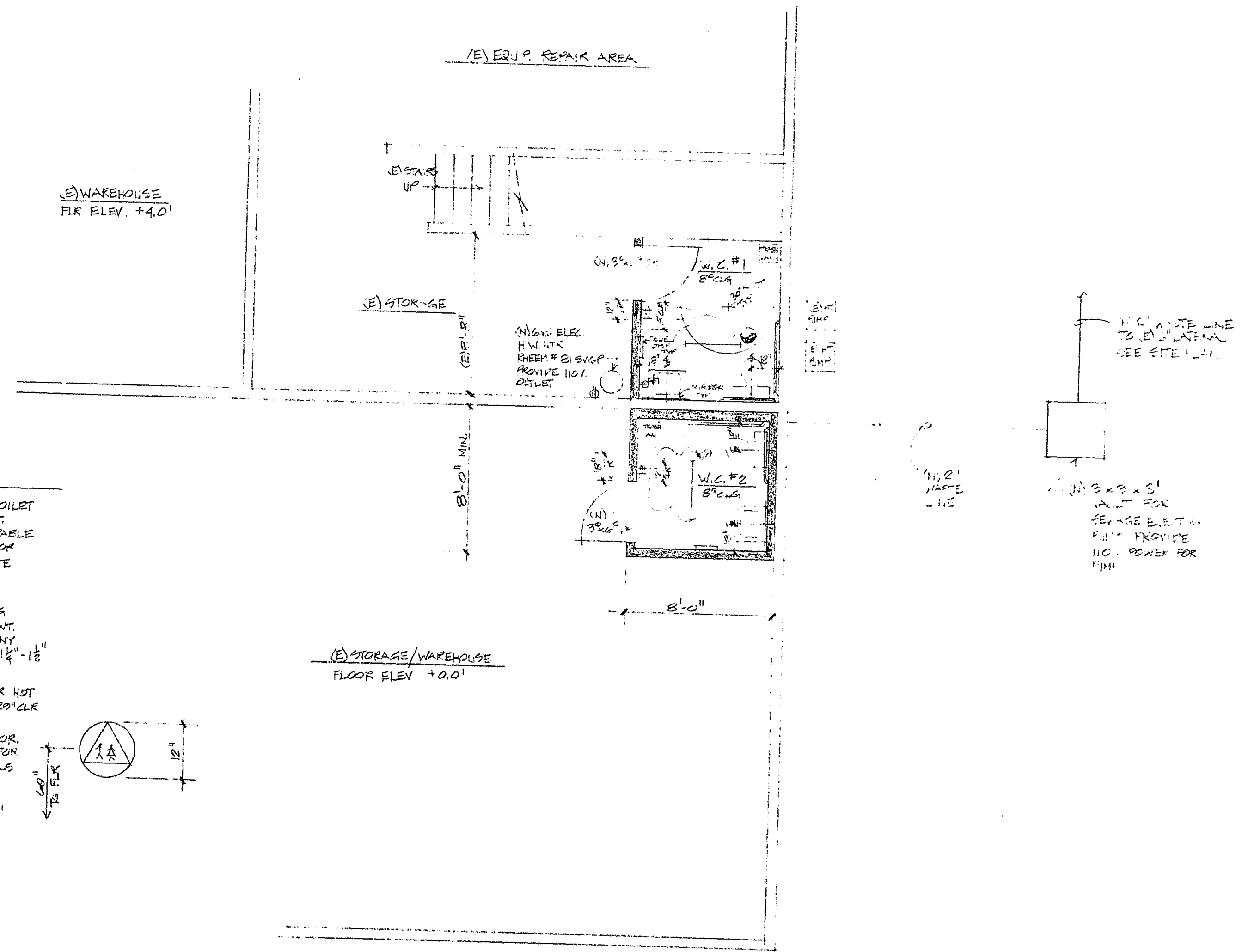
CLIENT REL. REL. 10.8.96

27 S. La Paterra Lane  
1594 (1) 3500 (2)

KATHY HANCOCK  
 ARCHITECT  
 PO BOX 20248  
 SANTA BARBARA, CA 93120  
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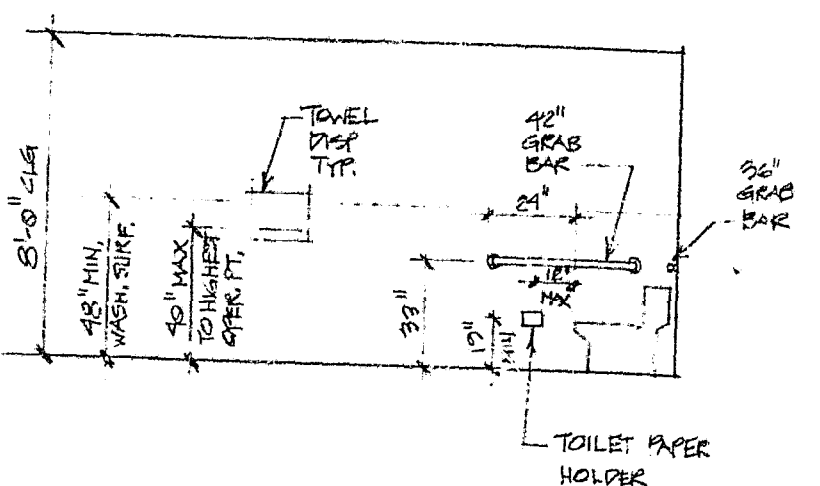


TECHNIT IMPROVEMENT FOR:  
 DIRECT RELIEF INTERNATIONAL  
 87 S. LA PASTERA LANE  
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**FLOOR PLAN NOTES**

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  2. 48" LG. GRAB BAR TO ONE SIDE OF TOILET. 36" LG. GRAB BAR BEHIND TOILET. BAR HEIGHTING TO WITHSTAND 250# EA. SIDE. 300# TOTAL WT. INMIDDLE BAR SHALL NOT ROTATE OR HAVE ANY SHARP OR ABRASIVE SURFACES. DIA. TO BE 1 1/2" - 1 3/4" W/ 1/8" CLR. SPACE FROM WALL.
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- SWITCH
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TYP. HT. FROM FLOOR

PARTIAL FLR PLAN

Data Arc Index Sheet: Document Imaging

BD#50

1. Department/Division: **Building Division - Permits**

2. Permit #: 253455

3. Address: 27 S La Paloma Lane

4 APN: 073-050-033

5. Issuance Date: 11-23-94

6. Final Date: 03-03-95

Documents:  \_\_\_\_\_

Large Format: \_\_\_\_\_



DEPARTMENT OF PLANNING AND DEVELOPMENT  
DIVISION OF BUILDING AND SAFETY  
COUNTY OF SANTA BARBARA

SANTA-BARBARA 568-3030 SANTA YNEZ VALLEY 686-5020 LOMPOC/SANTA MARIA 934-6230

PERMIT NO.

253455

VALIDATION

DATE APPLIED 11-23-94	PROJECT ADDRESS 27 South La Ventura Lane	ASSESSOR'S PARCEL NO. 073-050-033-3
APPLICANT: <input type="checkbox"/> OWNER <input checked="" type="checkbox"/> CONTRACTOR <input type="checkbox"/> AUTHORIZED AGENT <input type="checkbox"/> LESSEE		
OWNER'S NAME Direct Relief International	ADDRESS Same	
CITY	STATE	ZIP CODE
		PHONE # 964-4767
CONTRACTOR'S NAME LYON CONST		ADDRESS (Barbara-Contact Person)
CITY Santa Barbara	STATE CA	ZIP CODE 93107
		STATE LIC. NO. 55111
		PHONE # 682 3343
ARCHITECT/DESIGNER OR ENG. Jenik & Minor Architects		ADDRESS 315 West Hale Street
CITY SB	STATE CA	ZIP CODE 93101
		STATE LIC. NO. C5906
		PHONE # 963-3357
TYPE OF WORK:	<input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION <input type="checkbox"/> ADDITION <input type="checkbox"/> GRADING <input type="checkbox"/> BRUSHING <input type="checkbox"/> RETAINING WALL <input type="checkbox"/> MOVE <input type="checkbox"/> DEMOLITION <input type="checkbox"/> REPAIR <input type="checkbox"/> HAULING <input type="checkbox"/> EROSION CONTROL Interior Alterations	

HIGH FIRE AREA <input type="checkbox"/>	FIRE SPRINKLER REQUIRED YES <input type="checkbox"/> NO <input type="checkbox"/>	TYPE OF CONSTRUCTION Commercial	OCCUP. GROUP B2	NO. OF BEDROOMS 1A	NO. OF STORIES 2	NO. OF UNITS	TOTAL BUILDING AREA: 1020
							TOTAL VALUATION: \$ 90,500.00
							BOND: \$ #
ELECTRICAL	PLUMBING	MECHANICAL	GRADING				
TEMP. SERVICE Exist	1 TRAPS	1620 CIRC. SYST.	CUBIC YARDS EARTH				
FIXTURES	1 WATER HEATER	HEATING APPL.	FILL				
2x1/3 MOTORS	1 WATER PIPING	APPL. VENTS	EXCAVATION				
TRANSFORM. 100A sub panel	1 GAS OUTLETS	2 COOLING APPL.	GRADING				
	1 SEWER BOMN.	INCID. GAS					
	SEPTIC SYSTEM	EXHAUST FANS					

INSPECTION REQUEST LINE: 568-3110

REMARKS: Extend (E) Bio-Med Shop on 1st Floor; Construct walls & stairs to (E) Mezzanine for Bio-Med Expansion & Office; Update (E) restrooms to current H/C requirements and update parking to current H/C requirements.

MAXIMUM NINE (9) OCCUPANTS TOTAL ALLOWED ON 2ND FLOOR AT ANY TIME. OCCUPANCY LIMIT SIGNS MUST BE POSTED.

AREA	VALUATION
Sq. ft.	Building
Sq. ft.	Garage
Sq. ft.	Porch

INSPECTION RECORD

INSPECTIONS	DATE	INIT.	INSPECTIONS	DATE	INIT.	INSPECTIONS	DATE	INIT.
TEMP. ELECTRICAL			FIRE ALARM WIRING			POOLS/SPA/SETBACK		
FTG/STL/SETBACK			ROUGH ELECTRIC	1-26-95	P3	POOL/STL/BOND		
GROUND ELECT.			ROUGH MECHANICAL			PREPLASTER		
UG UTILITIES			ROUGH PLUMBING			FENCE		
ELEV. CERTIF.			FIRE SPRKLR. PIPE			DO NOT GUNITE UNTIL ABOVE IS SIGNED		
DO NOT POUR FOOTINGS UNTIL ABOVE IS SIGNED			T-BAR CEILING	2-23-95	P3	POOL FINAL		
DO NOT POUR FOOTINGS UNTIL ABOVE IS SIGNED			MASONRY FIREPLCE			FINAL INSPECTIONS		
UNDER FLOOR ELEC			STEEL TIES			SITE DRNAGE/GRDING		
PLUMBING, MECH.			FRAME	1-26-95	P3	ELECTRICAL		
SLAB/MESH STEEL			DO NOT INSULATE UNTIL ABOVE IS SIGNED			PLUMBING		
FLOOR JOISTS			INSULATION			MECHANICAL		
FIRE SUPPR. WTR.			ENVELOPE T-24			APPLIANCES T-24		
DO NOT POUR SLAB UNTIL ABOVE IS SIGNED			DO NOT COVER WALLS UNTIL ABOVE IS SIGNED			GAS TEST		
FLOOR NAIL			INT. SHEETROCK	2-3-95	P3	FIRE DEPT.		
SHEAR NAIL			EXT. LATH			ENV. HEALTH		
ROOF NAIL			DO NOT ROOF UNTIL PRECEDING IS SIGNED			SAN. DISTRICT ROADS		
DO NOT ROOF UNTIL PRECEDING IS SIGNED			DO NOT STUCCO UNTIL ABOVE IS SIGNED			BUILDING	2-3-95	P3

# GRADING INSPECTION RECORD

24 Hours Notice required for Inspections

INSPECTIONS	DATE	INIT.	INSPECTIONS	DATE	INIT.	INSPECTIONS	DATE	INIT
INITIAL INSPECTION			COMPACTION			DRAIN DEVICE		
EXCAVATION/TOE			ROUGH GRADE			EROSION CONTROL		
FILL			RET. WALL/FTG			SPECIAL COND.		

UTILITY CLEARANCES	AUTHORIZED BY	DATE	UTILITY NOTIFIED BY	DATE
ELECTRIC	TEMP			
	FINAL			
GAS	TEMP			
	FINAL			

## REMARKS OR INSPECTIONS

Lined area for recording remarks or inspection details.



DEPARTMENT OF PLANNING AND DEVELOPMENT  
DIVISION OF BUILDING AND SAFETY  
COUNTY OF SANTA BARBARA

SANTA BARBARA 568-3030 SANTA YNEZ VALLEY 686-5020 LOMPOC/SANTA MARIA 934-6230

PERMIT NO.

253455

VALIDATION

DATE APPLIED 11-23-94	PROJECT ADDRESS 27 South La Patera Lane Goleta	ASSESSOR'S PARCEL NO. 073-050-033-3
--------------------------	--	--

APPLICANT:  OWNER  CONTRACTOR  AUTHORIZED AGENT  LESSEE

OWNER'S NAME Direct Relief International	ADDRESS Same
---	-----------------

CITY	STATE	ZIP CODE	PHONE # 964-4767
------	-------	----------	---------------------

CONTRACTOR'S NAME C. LYON CONST	ADDRESS (Barbara-Contact Person)
------------------------------------	-------------------------------------

CITY Santa Barbara	STATE CA	ZIP CODE 93109	STATE LIC. NO. 55 11 11	PHONE # 682 3343
-----------------------	-------------	-------------------	----------------------------	---------------------

ARCHITECT/DESIGNER OR ENG. Lenvik & Minor Architects	ADDRESS 315 West Haley Street
---	----------------------------------

CITY SB	STATE CA	ZIP CODE 93101	STATE LIC. NO. C5986	PHONE # 963-3357
------------	-------------	-------------------	-------------------------	---------------------

TYPE OF WORK:  NEW  ALTERATION  ADDITION  GRADING  BRUSHING  RETAINING WALL  
 MOVE  DEMOLITION  REPAIR  HAULING  EROSION CONTROL  
 Interior Alterations

HIGH FIRE AREA <input type="checkbox"/>	FIRE SPRINKLER REQUIRED YES <input type="checkbox"/> NO <input type="checkbox"/>	TYPE OF CONSTRUCTION Commercial	OCCUP. GROUP B2	NO. OF BEDROOMS NA	NO. OF STORIES 2	NO. OF UNITS
---	---	------------------------------------	--------------------	-----------------------	---------------------	--------------

TOTAL BUILDING AREA: 1620  
TOTAL VALUATION: \$90,500.00  
BOND: \$ #

<b>ELECTRICAL</b>	<b>PLUMBING</b>	<b>MECHANICAL</b>	<b>GRADING</b>
TEMP. SERVICE	1 TRAPS	1620 CIRC. SYST.	CUBIC YARDS EARTH
Exist SERVICE	WATER HEATER	HEATING APPL.	FILL
FIXTURES	1 WATER PIPING	APPL. VENTS	EXCAVATION
2x1/3 MOTORS	GAS OUTLETS	2 COOLING APPL.	GRADING
TRANSFORM.	1 Drainline	INCID. GAS	
100A SubPanel	SEPTIC SYSTEM	EXHAUST FANS	

**APC**

AREA	VALUATION
Sq. ft.	Building
Sq. ft.	Garage
Sq. ft.	Porch

**INSPECTION REQUEST LINE: 568-3118**

**REMARKS:** Extend (E) Bio-Med Shop on 1st Floor; Construct walls & stairs to (E) Mezzanine for Bio-Med Expansion & Office; Update (E) restrooms to current H/C requirements and update parking to current H/C requirements.

MAXIMUM NINE (9) OCCUPANTS TOTAL ALLOWED ON 2ND FLOOR AT ANY TIME. OCCUPANCY LIMIT SIGNS MUST BE POSTED.

**NOTICE (Please check appropriate box in each paragraph)**

THIS PERMIT BECOMES NULL AND VOID if work or construction authorized is not commenced within 1 year from date of issuance, or work is suspended or abandoned for a period of 180 days any time after work is commenced.

I certify that I am licensed under the State Contractor's License Law and my contractor's license is in full force and effect; or  
 I certify that I am exempt from Business and Professions Code  under #7031.5 ;  #7044 - Owner/Builder;  #7048 - Price of labor and material less than \$200; or  Other \_\_\_\_\_

**AND**

I certify that I have on file with the County of Santa Barbara - Building & Safety, a certificate of workers' compensation insurance: Insurer N/A, Policy # \_\_\_\_\_, Expiration date \_\_\_\_\_, or a Certificate of Consent to self-insure by the Director of Industrial Relations; or  
 I certify that I am exempt under Labor Code #3800 because:  the permit is for work of \$100 or less, or  that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California.  
 Must comply with H.S.C. Sec. 25505, 25533, 25534 and A.P.C.D. permit requirements for asbestos.

**AND**

I certify that I have read this application and declare under penalty of perjury that the information contained herein is true, correct and complete. I agree to comply with all county ordinances and state laws relating to building development construction, and hereby authorize representatives of this county to enter with the owner's full knowledge and consent.

Executed at County of Santa Barbara on JAN 4 1995 Cy Lyon  
DATE OWNER OR CONTRACTOR

# SANTA BARBARA COUNTY FIRE PROTECTION CERTIFICATE APPLICATION

COMPLETE AND RETURN to the Building Department. This form must be signed by the applicant and accompanied by the required fees and three copies of a site/grading plan indicating WATER FOR FIRE PROTECTION and PROJECT ACCESS. Application needs to be completed and Certificate approved prior to issuance of building permit. The Fire Department will review the certificate and forward it with conditions to the Building Department and mail one copy to the property owner.

94-01351

1. Building Permit # 253455 A.P.N. 073 - 050 - 033 Date 11-23-94
2. Building Site Address 27 LA PATERA City \_\_\_\_\_
3. OWNER'S COPY TO BE MAILED VIA CERTIFIED MAIL TO:

Name DIRECT RELIEF FOUNDATION Phone (805) 969-4969  
 Address 27 S. LA PATERA LANE City SOLETA  
 State CA. Zip 93117

PLANNING AND DEVELOPMENT  
 COUNTY OF SANTA BARBARA  
 04:03 PM  
 FIRE PROTECTION CERTIFICATE  
 \$443.00  
 253455

ADDITIONAL COPIES TO BE MAILED TO:

Applicant LENUIK & MINOR ARCHITECTS Phone (805) 963-3357  
 Address 315 W. HALEY ST. City SANTA BARBARA  
 State CA. Zip 93101

LENUIK & MINOR  
 \*\*\*\*\*  
 11-23-1994

Copy to \_\_\_\_\_ Phone( ) \_\_\_\_\_  
 Address \_\_\_\_\_ City \_\_\_\_\_  
 State \_\_\_\_\_ Zip \_\_\_\_\_

4. Proposed use OFFICE, WAREHOUSE STORAGE Occupancy Classification B-2, B-9
5. Proposed total square footage (Include non-habitable space) 0
- Existing square footage (Include non-habitable space) 36,000 SF.
- Does existing building have a fire sprinkler system? Yes No
- Proposed square footage of addition (Include non-habitable space) \_\_\_\_\_
- Proposed number of stories \_\_\_\_\_
6. Hazardous materials or flammable liquids on premises? Yes No  
 If yes, describe fully: \_\_\_\_\_
7. Describe project water source for fire protection (water district, private water company, etc.)  
 Include name and address of purveyor: SOLETA WATER DIST.
8. Is project located in the High Fire Hazard Area? Yes No

I HEREBY CERTIFY THAT THE ABOVE IS TRUE AND CORRECT, THAT THE PROJECT DESCRIBED ABOVE SHALL COMPLY WITH ALL APPLICABLE DEVELOPMENT STANDARDS AND CODES OF THE FIRE DEPARTMENT HAVING JURISDICTION. I ALSO UNDERSTAND THAT A FIRE MITIGATION FEE MAY BE REQUIRED TO BE PAID PRIOR TO ISSUANCE OF BUILDING PERMIT.

DON BERBER  
 Applicant name (Print)

Don Berber  
 Applicant signature

=====

**FIRE DEPARTMENT USE ONLY**

APPROVED WITH ATTACHED CONDITIONS  APPROVED  RESUBMIT WITH NOTED CORRECTIONS

Date 12-1-94 Signed William R. Calan Title INSP  
 officer

Comments 21145 FPL/PT





# COUNTY OF SANTA BARBARA FIRE DEPARTMENT

4410 CATHEDRAL OAKS ROAD  
SANTA BARBARA, CALIFORNIA 93110-1042  
Telephone (805) 681-5500

December 1, 1994

**RECEIVED**

DEC 08 1994

Lenvik & Minor Architects  
315 West Haley Street  
Santa Barbara, CA 93101

S.B. COUNTY  
BUILDING DIVISION

Dear Applicant:

SUBJECT: APN 073-050-033; Permit #253455; SITE: 27 La Patera

The above project is located within the jurisdiction of the Santa Barbara County Fire Department, and to comply with the established standards, we submit the following:

**PLEASE READ THIS CONDITION LETTER CAREFULLY. THIS LETTER CONTAINS CONDITIONS ON THE FOLLOWING SUBJECTS:**

- ( ) FEES
- ( ) ALARM SYSTEM
- ( ) HAZARDOUS MATERIALS DISCLOSURE
- ( ) ROAD OR DRIVEWAY ACCESS \_\_\_\_\_ FEET WIDE
- FIRE SPRINKLER SYSTEM  COMMERCIAL  RESIDENTIAL
- ( ) STORED WATER FIRE PROTECTION SYSTEM \_\_\_\_\_ GALLONS
- ( ) \_\_\_\_\_ FIRE HYDRANT(S) \_\_\_\_\_ GPM \_\_\_\_\_ FEET APART
- ( ) MISC. \_\_\_\_\_

**AUTOMATIC FIRE SPRINKLER SYSTEMS**, are required in all structures outside of the Urban Limit Line, and in all structures which exceed 5000 gross square feet. (Includes non-habitable space.) Structures which are undergoing tenant improvements and are already fitted with automatic fire sprinkler systems need to have such modifications approved by this department. Such systems are required in any case in certain occupancies (such as paint booths). Fire sprinkler plans are required to have sprinkler plans checked and approved by this department, prior to beginning any work on the system. Any system must be in compliance with Santa Barbara County Fire Department Standard #4 or #5 (attached).

**BUILDING NUMBERS** (Minimum 3" high on contrasting background for residential; 6" high on a contrasting background for commercial) shall be installed and shall be visible from the access road when traveling in either direction. If the driveway is over 150 feet in length or the building is obstructed from view at the access road, numbers shall be posted at any driveway and road intersections as is necessary.

These conditions apply to the project as currently described. Future changes, including but not limited to further division, change of occupancy, intensification of use, or increase in hazard classification, may require additional mitigation to comply with applicable development standards in effect at the time of change. The application for a new building permit will require further review and the imposition of current development standards.

**NONCOMPLIANCE WITH CONDITIONS PLACED ON THIS PROJECT COULD RESULT IN THE ISSUANCE OF A STOP WORK ORDER BY THE FIRE DEPARTMENT, WHICH MAY REQUIRE ADDITIONAL FEES.**

If you have any questions or need clarification of any of the conditions contained in this letter, please contact this office.

In the interest of life and fire safety,



William R. Cadam, Inspector  
Fire Prevention Division

WC:mn

c: APN

Building Department/ S.B.

Chron

Fire Station 12

Owner - Direct Relief Foundation

27 La Patera

Goleta, CA 93117

Attachments: #4

**COUNTY OF SANTA BARBARA  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF BUILDING AND SAFETY**



ORIGINAL PERMIT NO. 253455 REVISION NO. 01

**F**

DATE: 1-20-95  
 PROJECT ADDRESS: 27 S. LA PATERA  
 Contact Person: BARRY E. COITON Phone No. 897-2133  
2025 LA COMBARA S.B. 93105  
 Address City Zip Code

**CLEARLY INDICATE ALL PROPOSED REVISIONS BY DETAIL AND SHEET NUMBER.  
UNLESS SPECIFICALLY NOTED HEREIN, NO OTHER REVISIONS ARE APPROVED.**

REVERSAL OF EXIST OF NEW  
STAIRWELL

**FOR OFFICE USE ONLY**

Comments: CHANGE DIRECTION OF 2ND FLOOR STAIRWAY

APPROVAL:	Building	Electrical	Plumbing	Mechanical	Grading
	_____	_____	_____	_____	_____
	_____	_____	_____	_____	_____
	_____	_____	_____	_____	_____
	_____	_____	_____	_____	_____

PLANNING & DEVELOPMENT  
 COUNTY OF SANTA BARBARA  
 01-23-1995 09:13 AM  
 1960 BUILDING DEPT  
 \$426.50  
 253455-01  
 \* \* \* \* \*  
 04-31230 01-23-1995

INSP. TYPE	INSP. APPROVAL	DATE
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PAID TO THE ORDER OF  
 COUNTY TREASURER  
 PLANNING AND DEVELOPMENT  
 01-23-95 426.50

VALIDATION  
PJ. H. 2.50  
COITON

Checked-by: Claus Dalmaroff

VALUATION: \$ ~~426.50~~

**COUNTY OF SANTA BARBARA  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF BUILDING AND SAFETY**



ORIGINAL PERMIT NO. 253455 REVISION NO. 01

DATE: 1-20-95  
 PROJECT ADDRESS: 27 S. LA PATERA  
 Contact Person: BARRY E. COLTRIN Phone No. 807-2133  
2075 LA COMBARA S.B. 93105  
 Address City Zip Code

**CLEARLY INDICATE ALL PROPOSED REVISIONS BY DETAIL AND SHEET NUMBER.  
 UNLESS SPECIFICALLY NOTED HEREIN, NO OTHER REVISIONS ARE APPROVED.**

REVERSAL OF EXIST OF NEW  
STAIRWELL

**FOR OFFICE USE ONLY**

Comments: CHANGE DIRECTION OF 2ND FLOOR STAIRWAY

<b>APPROVAL:</b>	<b>Building</b>	<b>Electrical</b>	<b>Plumbing</b>	<b>Mechanical</b>
	_____	_____	_____	_____
	_____	_____	_____	_____
	_____	_____	_____	_____
	_____	_____	_____	_____

PLANNING & DEVELOPMENT  
 COUNTY OF SANTA BARBARA  
 01-23-1995 09:13 AM  
 1960 BUILDING DEPT  
 \$42.50  
 253455-01  
 \*\*\*\*\*  
 04-31230 01-23-1995

INSP. TYPE	INSP. APPROVAL	DATE
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

VALIDATION  
P.D. 42.50  
an

Checked by: Claus Dalmaroff

VALUATION: \$ 42.50

Data Imaging/Project Tracking

Data Arc Index Sheet: Data Imaging

1. Department/Division: Building Division

2. Permit #:

110257

3. Address:

27

S. La Patena Lane

4 APN

073-050-033

5. Approval Date:

12-04-85

Documents:

✓

Large Format

✓

---

STRUCTURAL CALCULATIONS

---

RAYTHEON :

STORAGE MEZZANINE - BLDG. #7

JOB NO. 85152

HOWARD AND VAN SANDE  
STRUCTURAL CONSULTANTS

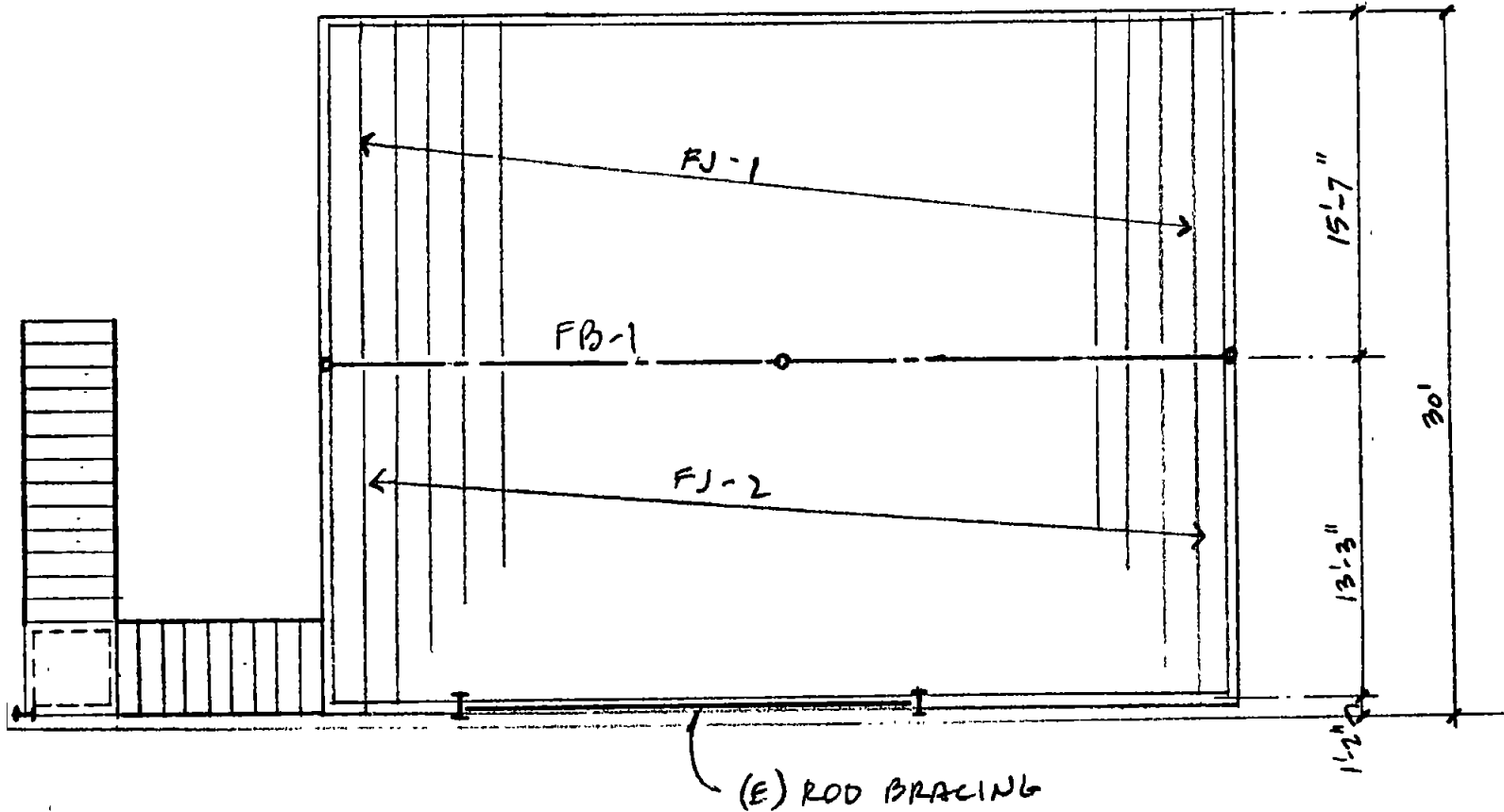
101 EAST VICTORIA.

SANTA BARBARA, CA. 93101

(805) 963-9151



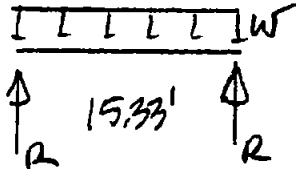
FLOOR FRAMING PLAN.



FLOOR LOADS :

3/4" PLY SHT'G.	2.3	psf
2x14 @ 16" O.C.	4.2	
2x4 FLAT BULK'G	.4	
MECH. & ELEC.	1.1	
ACOUSTICAL TILE CLG.	3.0	
	<u>D.L. = 11.0</u>	psf
LIGHT STORAGE	L.L. = 125.0	
	<u>TL = 136.0</u>	psf.

FLOOR JOISTS - (FJ-1)



$$W_{TL} = 136 \text{ psf} (1.33) = 181 \text{ \#/ft}$$

$$R = 1390 \text{ \#}$$

$$M = 63.8 \text{ \#ft}$$

$$S_{req} = \frac{63.8}{1.75} = 36.5 \text{ in}^3 < 43.9 \text{ \#} \text{ ok}$$

TRY 2x14 @ 16 (I = 291 in<sup>4</sup>)

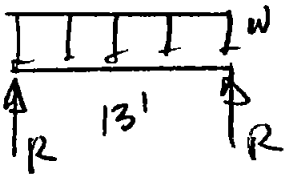
$$\Delta_{TL} = .43" = 1/428 \text{ ok}$$

$$f_v = 90 \text{ psi.} < 95 \text{ ok}$$

USE 2x14's @ 16" O.C.  
(D.F. #1)

Simpson W214 ✓

FLOOR JOISTS (FJ-2)



$$W = 181 \text{ \#/ft}$$

$$R = 1177 \text{ \#}$$

$$M = 45.9 \text{ \#ft}$$

$$S_{req} = 45.9 / 1.75 = 26.2 < 31.6 \text{ \#} \text{ ok}$$

TRY 2x12 @ 16" O.C. (I = 178)

$$\Delta_{TL} = .36" = 1/430 \text{ ok}$$

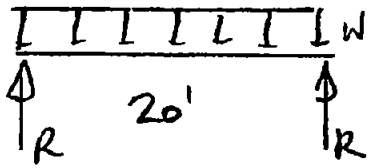
$$f_v = 89 \text{ psi.} \text{ ok}$$

USE 2x14's @ 16" O.C.  
(D.F. #1)

Simpson W214 ✓



FLOOR BEAM (FB-1)



$$W_n = 136 \text{ psf} (28.9' / 2) + 45 = 2100 \text{ \#}$$

$$R = 21,000 \text{ \#}$$

$$M = 1260 \text{ k\#}$$

$$S_{try} = 1260 / 24 = 52.5 \text{ in}^3 < 58.1 \text{ ok.}$$

TRY W 12 x 45 I = 356

$$\Delta_n = .74'' = L / 322 \text{ ok.}$$

$$\Delta_u = .68'' = L / 353 \text{ ok.}$$

USE W 14 x 38 ✓

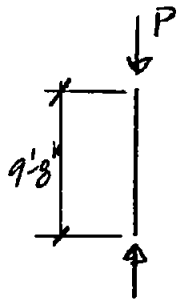
14 1/8" x 6 3/4"

$$t_w = .31''$$

$$k = 1.06''$$

$$R_{max} = .75 F_y t (N+k) = .75 (36) (.31) (2 + 1.06) = 25.6 \text{ k} > 21 \text{ k ok.}$$

COLUMN DESIGN



$$P = 2(21,000) = 42,000\# < 50^k$$

USE PIPE 4"  $\phi$  STD.  
w/ BASE PL 1" x 9" x 9"

FOOTING AT CENTER COLUMN

$$P = 42^k$$

$$A_{req} = \frac{42}{1 \text{ ksf.}} = 42 \text{ S.F.} \Rightarrow 6.5 \text{ ft sq.}$$

USE FTG 6'-6" SQ.  
x 10" THK w/  
(8) #5 EA. WAY.

FOOTING AT END COLUMNS.

$$P = 21^k$$

$$A_{req} = \frac{21}{1} = 21 \text{ S.F.} \Rightarrow 4.58 \Rightarrow 5 \text{ ft sq.}$$

USE FTG. 5'-0" SQ  
x 10" thk w/  
(5) #5 EA WAY.

LOAD TO BRG WALLS

$$W_{TL}: \text{FLOOR} = 136 \text{ psf} (15.5/2) = 1054$$

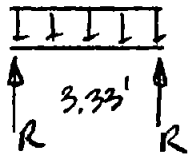
$$\text{WALL} = 7 \text{ psf} (10.5') = 74$$

$$1128\#/ft < 1167 \text{ psf.}$$

SAWCUT (E) CONCL. SLAB &  
EXCAVATE FTG 14" WIDE x  
2'-0" MIN. DEEP.

STAIR DESIGN - TREAD

CASE I



$$W = 125 \#/ft$$

$$R = 208 \#$$

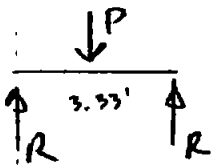
$$M = 2.08 \text{ k-ft}$$

$$S_{req} = \frac{2.08}{1.5} = 1.39 \text{ in}^3 < 4.22$$

$$\Delta_n = .06" = 4/657 \text{ ok.}$$

$$f_r = \frac{1.5(208)}{16.9} = 18.5 \text{ psi. ok.}$$

CASE II



$$P = 300 \#$$

$$R = 150 \#$$

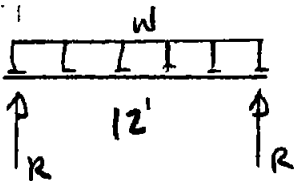
$$M = 3.0 \text{ k-ft}$$

$$S_{req} = \frac{3}{1.5} = 2.0 < 4.22$$

$$\Delta_n = .07" = 4/571 \text{ ok.}$$

USE 2x12 TREAD  
W/ SIMPSON TA 10 ✓

STRINGER



$$W = 125(1.7') + 17.5 = 230 \#/ft$$

$$M = 50 \text{ k-ft}$$

$$S_{req} = \frac{50}{1.5} = 33 \text{ in}^3 < 74 \text{ in}^3$$

$$f_r = 44 \text{ psi. ok}$$

$$\Delta_n = .14" = 4/1002$$

USE 4x12 STRINGER ✓