

Data Arc Index Sheet: Data Imaging

1. Department/Division: Building Division

2. Permit #: 7226

3. Address: 27 Palera Lane

4. APN: 073-050-33

5. Approval Date: 4/1/08

Documents: ✓

Large Format: ✓

INSPECTION REQUEST

830 900

27

LA PATERA

ADDRESS

TODAY'S DATE

CONTACT NAME

PHONE NO.

BUILDING

MECHANICAL

PLUMBING

- Foundation
- Raised Floor Framing
- Floor Sheathing
- Roof Sheathing
- Frame Inspection
- Insulation
- Lath and/or Drywall
- Masonry
- T-Bar Ceiling
- Final Building Insp.

- FAU/Wall Furnace
- A/C System
- Commercial Hood
- Final Mechanical Insp.

ELECTRICAL

- Temporary Power Pole
- Underground Electrical
- Rough Wiring/Conduit
- New Service
- Final Electrical Insp.

- Underfloor Plumbing
- Rough Plumbing
- Water Heater
- Gas Test
- Final Plumbing Insp.

MISCELLANEOUS

- Occupancy
- Rehabilitation
- Swimming Pool/Spa
- Grading

CIRCLE DAY INSPECTION IS REQUESTED FOR

MONDAY

TUESDAY

WEDNESDAY

THURSDAY

FRIDAY

Data Arc Index Sheet: Data Imaging

1. Department/Division: Building Division

2. Permit #: 7226

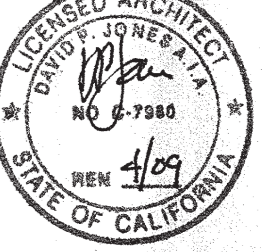
3. Address: 27 Palera Lane

4. APN: 073-050-33

5. Approval Date: 4/1/08

Documents: ✓

Large Format: ✓



Consultant

Electrical

JMFE Electrical Engineering
156 W. Alamar Ave, Suite B
Santa Barbara, CA, 93105
(805) 569-9216

ISSUED

City of Goleta Planning and Environmental Services
Date: 3/4/08 By: JLV

Projects **MUST** be built
as per approved plans.

No alterations or modifications
to this approved set of plans may be
made without Revised Final review
by the Design Review Board
and/or a revised Planning permit.

Date	#	Remarks
1/6/07	1	Underground Fuel Tank

Client

Direct Relief International
27 La Patera Lane
Goleta, CA 93117
(805) 964-4161

New emergency generator for:

Direct Relief International
27 La Patera Lane
Goleta, CA

List of Drawings

- A1 Site Plan
- A2 General Notes, Symbols, Schedules
- A3 Electrical Site Plan

Scope of Work

1. Install emergency generator and below grade fuel tank.
2. Install fencing around generator.
3. No new floor area. No change of use. No parking change.

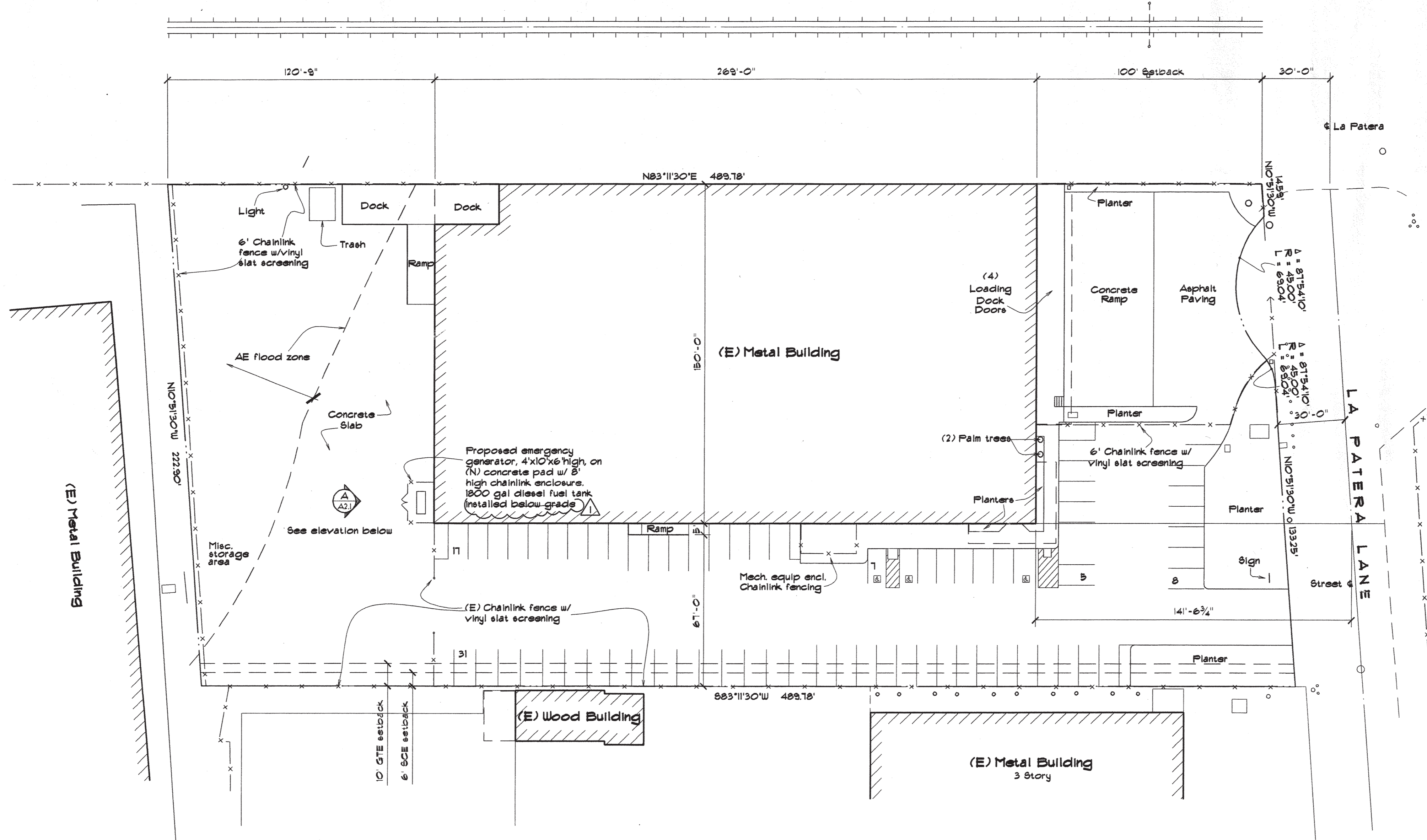
CITY OF GOLETA
BUILDING AND SAFETY DIVISION
APPROVED

DATE 4/1/08 BY JLV

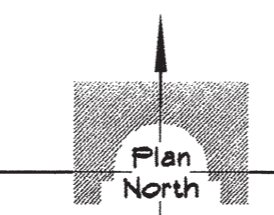
The stamping of this set of plans and specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law. It is unlawful to make any changes or alterations on same without permission from the City of Goleta Building Official.

Project Statistics

APN:	13-050-33
Zoning:	M-RP
General Plan:	Industrial Park
Site Coverage:	
Building	39,900 sf
Paving	5,281 sf
Total	63,009 sf
	108,196 sf of 2.5 acres
Building Area:	
Ground Floor	39,900 sf
Second Floor	1,200 sf
Total	41,100 sf
Construction Type:	YN Sprinklered
Occupancy:	B - Office
	S-1 Storage
Parking Provided	69 (3 accessible)
Required	Office @ 1/500 sf = 1025 x 3 = 31
Total Required	Warehouse @ 1/1000 sf = 30,865 x 1 = 31
	• 31
	• 62

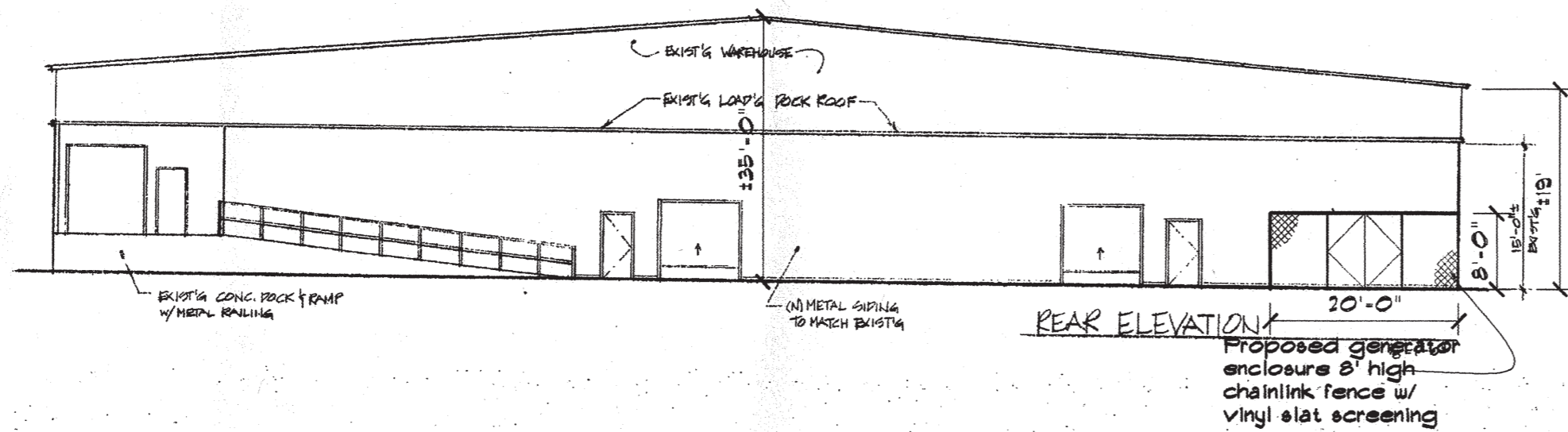


Site Plan
1" = 30'-0"

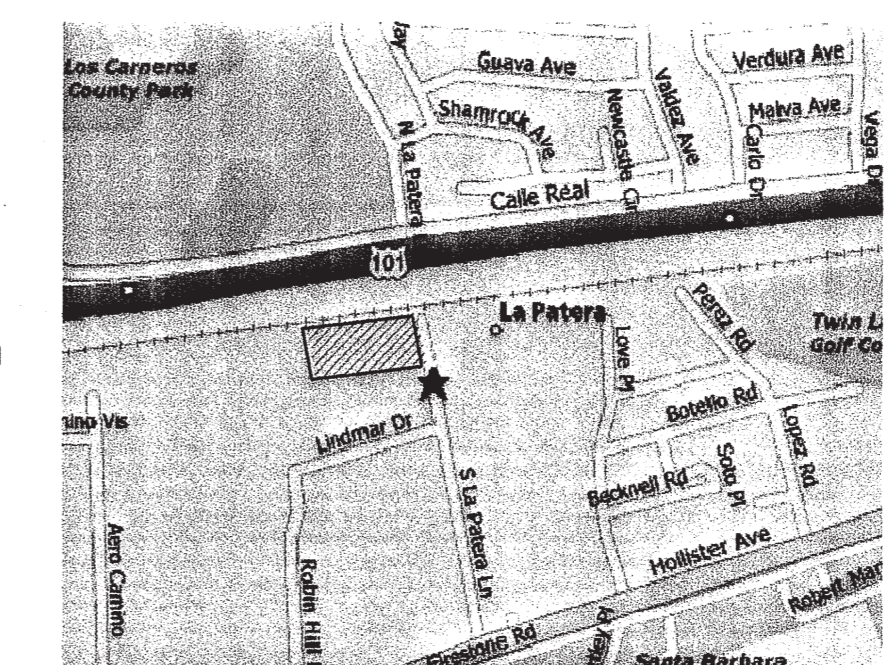


Symbols

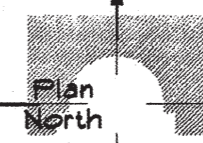
- x - x - x - Chain link fencing
- - - - - Railroad tracks
- - - - - Property line



Rear Elevation
1/16" = 1'-0"



Vicinity Map
Not to scale

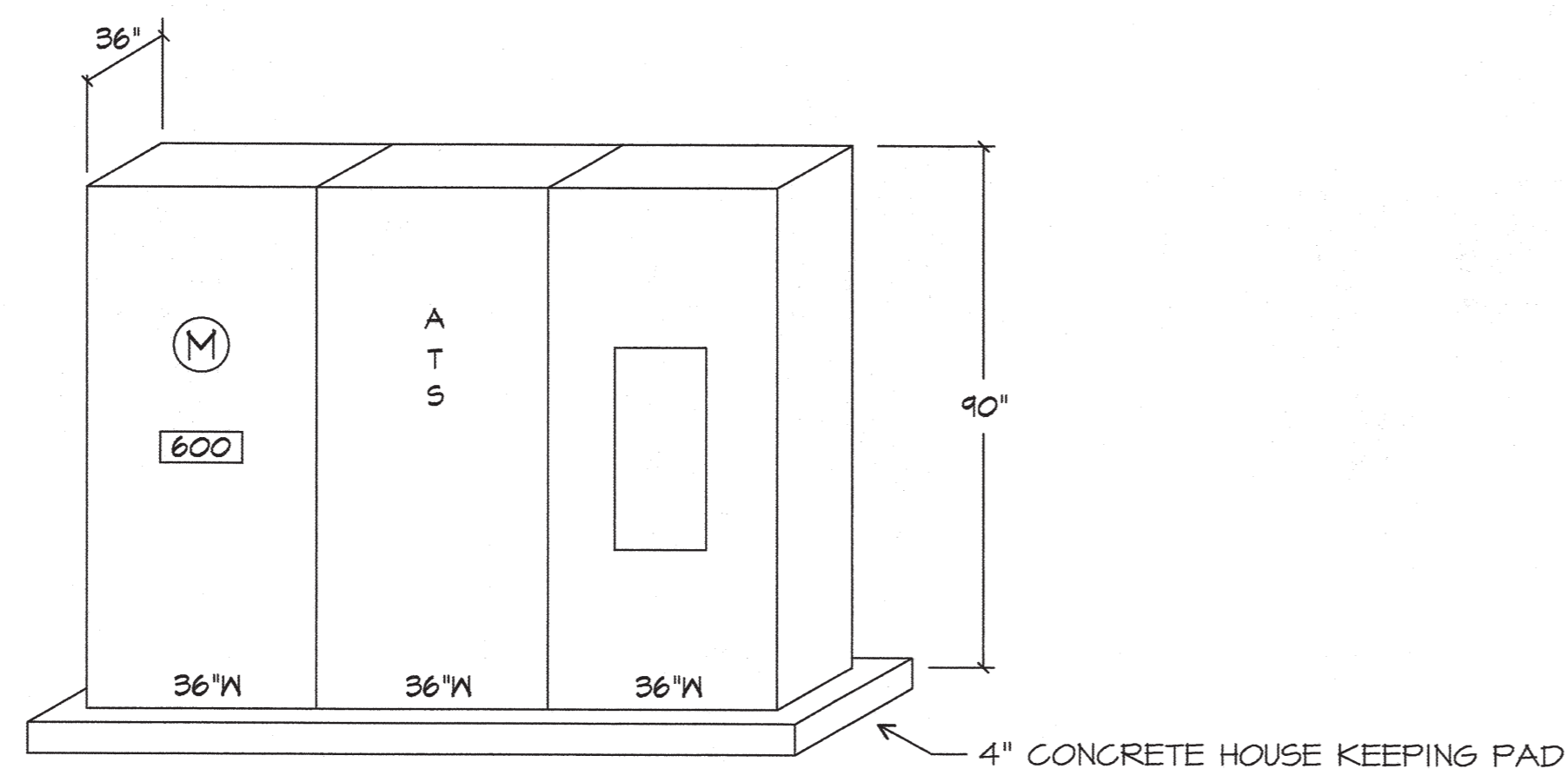


CITY COPY

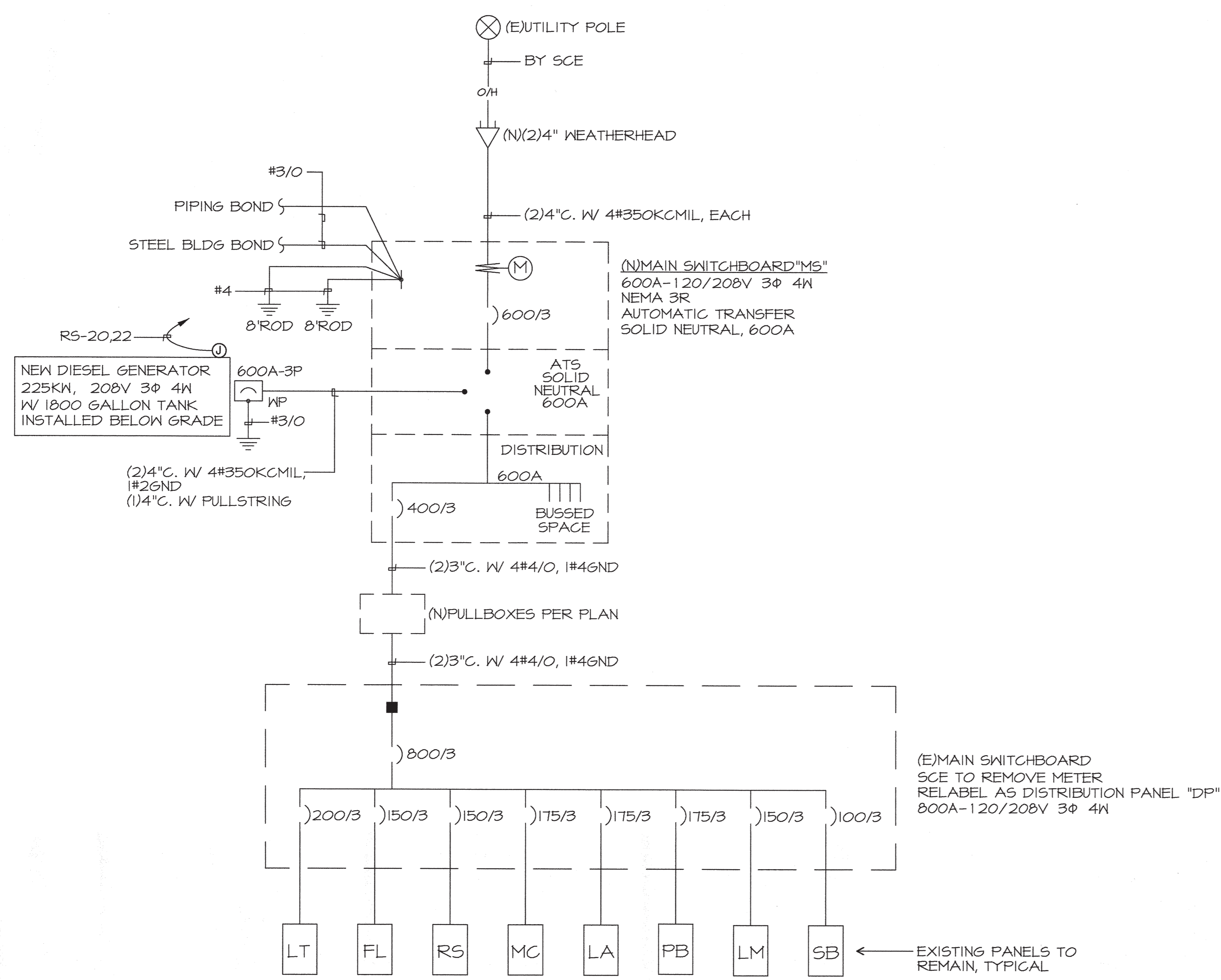
Site Plan

Date	Job Number
Drawn By	OT14
Checked by	DPJ
Sheet	of Sheets

A1



SERVICE ELEVATION (B)



SINGLE LINE DIAGRAM (A)
SCALE: NONE

GENERAL NOTES

- VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- FURNISH DISCONNECT SWITCHES AT REMOTE MOTORS.
- ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSSING FOR FUTURE BREAKER OR SWITCH.
- CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
- GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
- ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
- THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ALL CONDUCTORS SHALL BE IN CONDUIT.
- ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.
- COORDINATE WITH SERVING ELECTRICAL UTILITY COMPANY AND MAKE PROVISIONS FOR ELECTRICAL SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND UTILITY COMPANY CHARGES IN BID.
- COORDINATE WITH SERVING TELEPHONE UTILITY COMPANY AND MAKE PROVISIONS FOR TELEPHONE SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- COORDINATE WITH SERVING CABLE TELEVISION COMPANY AND MAKE PROVISIONS FOR CABLE TELEVISION ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY CONTRACTOR.

LOAD CALCULATION

(E) SCE HIGH DEMAND = 74.5KW
 x 1.50 = 112KW
 + FUTURE LOADS = 25KW
 TOTAL = 136.7KW
 @ 208V 3φ = 380AMPS

SCOPE OF WORK

- NEW 600AMP SERVICE, AT NEW EXTERIOR LOCATIONS.
- INSTAL NEW 225KW DIESEL GENERATOR W/ 1800 GALLON TANK.
- BACKFEED EXISTING DISTRIBUTION PANEL.

SYMBOLS

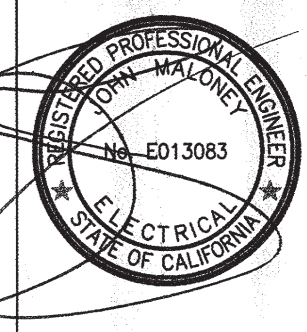
- CONDUIT EXISTING
- CONDUIT CONCEALED IN WALL OR CEILING
- CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
- CONDUIT STUBBED OUT AND CAPPED
- CONDUIT TURNED UP
- CONDUIT TURNED DOWN
- HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1" C., NO MARKS = 2#12
- HOME RUN LETTER INDICATES PANEL NUMBER(S) INDICATES CIRCUIT(S)
- SAWCUT
- GROUND CONNECTION
- DISTRIBUTION SWITCHBOARD OR PANEL
- PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH SIGNAL TERMINAL CABINET, SURFACE & FLUSH
- FLUORESCENT FIXTURE
- OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT. SURFACE FIXTURE ON FLUSH OUTLET.
- RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
- EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
- LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB
- LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
- MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
- SPECIAL RECEPTACLE - SEE PLAN
- METER
- FLUSH FLOOR RECEPTACLE
- RECEPTACLE, DUPLEX, 120V, NEMA 5-15R +18" UNO.
- DUPLEX RECEPTACLE MTP. ABOVE BACKSLASH
- DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
- GFI
- GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- CEILING RECEPTACLE
- RECEPTACLE, DUPLEX, 20A, 120V, NEMA 5-20R +18" UNO.
- JUNCTION BOX 4" SQUARE, 1-1/2" DEEP UNO.
- THERMOSTAT F.B.O. +48"
- MOTOR, NO. INDICATES HORSEPOWER
- CLOCK OUTLET +7-6" UNO.
- DISCONNECT SWITCH, NON-FUSED
- DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
- COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
- MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
- DIMMER W/INTEGRAL "ON-OFF" SW.
- PUSHBUTTON
- SPEAKER
- PHOTOCELL
- SMOKE DETECTOR
- TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERPLATE & GROUNDMETED OPENING +18" UNO.
- CABLE TV OUTLET +18" UNO.
- MOTION SENSOR
- EXISTING SWITCH
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- THREE WAY SWITCH
- SWITCH W/PILOT LT.
- MANUAL MOTOR STARTER
- FACP
- FIRE ALARM CONTROL PANEL
- GFI
- GROUND FAULT CIRCUIT INTERRUPTING
- LST
- LABOR SAVING TANDEM
- MLO
- MAIN LUGS ONLY
- W/
- CONDUIT ONLY
- WEATHERPROOF
- W.P.
- WEATHERPROOF
- F.B.O.
- FURNISHED BY OTHERS, INSTALL & CONNECT UNLESS NOTED OTHERWISE
- U.N.O.
- UNLESS NOTED OTHERWISE
- N.E.C.
- NATIONAL ELECTRICAL CODE
- N.I.C.
- NOT IN CONTRACT
- (E)
- EXISTING
- (N)
- NEW
- (R)
- REMOVE
- (RL)
- RELOCATE
- S/M
- SURFACE MOUNT
- U/G
- UNDERGROUND
- CWP
- COLD WATER PIPE
- AFF
- ABOVE FINISHED FLOOR
- HACR
- HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER
- N.L.
- NIGHT LIGHT

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.

APPROVED
 SIGNATURE: [Signature]
 MAR 31 2008
 THE APPROVAL OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE HELD TO BE AN APPROVAL OF THE VIOLATION OF ANY FEDERAL, STATE, COUNTY OR CITY LAWS OR ORDINANCES WILLDAN

REVISIONS	BY

JMPE
 ELECTRICAL ENGINEERING
 LIGHTING DESIGN
 CA REGISTRATION NO. E13083
 07066
 186 W. ALAMAR AVE.
 SUITE 3
 SANTA BARBARA CA 93101
 (805) 569-5616
 FAX (805) 569-5405
 email: jma@jmpe.net



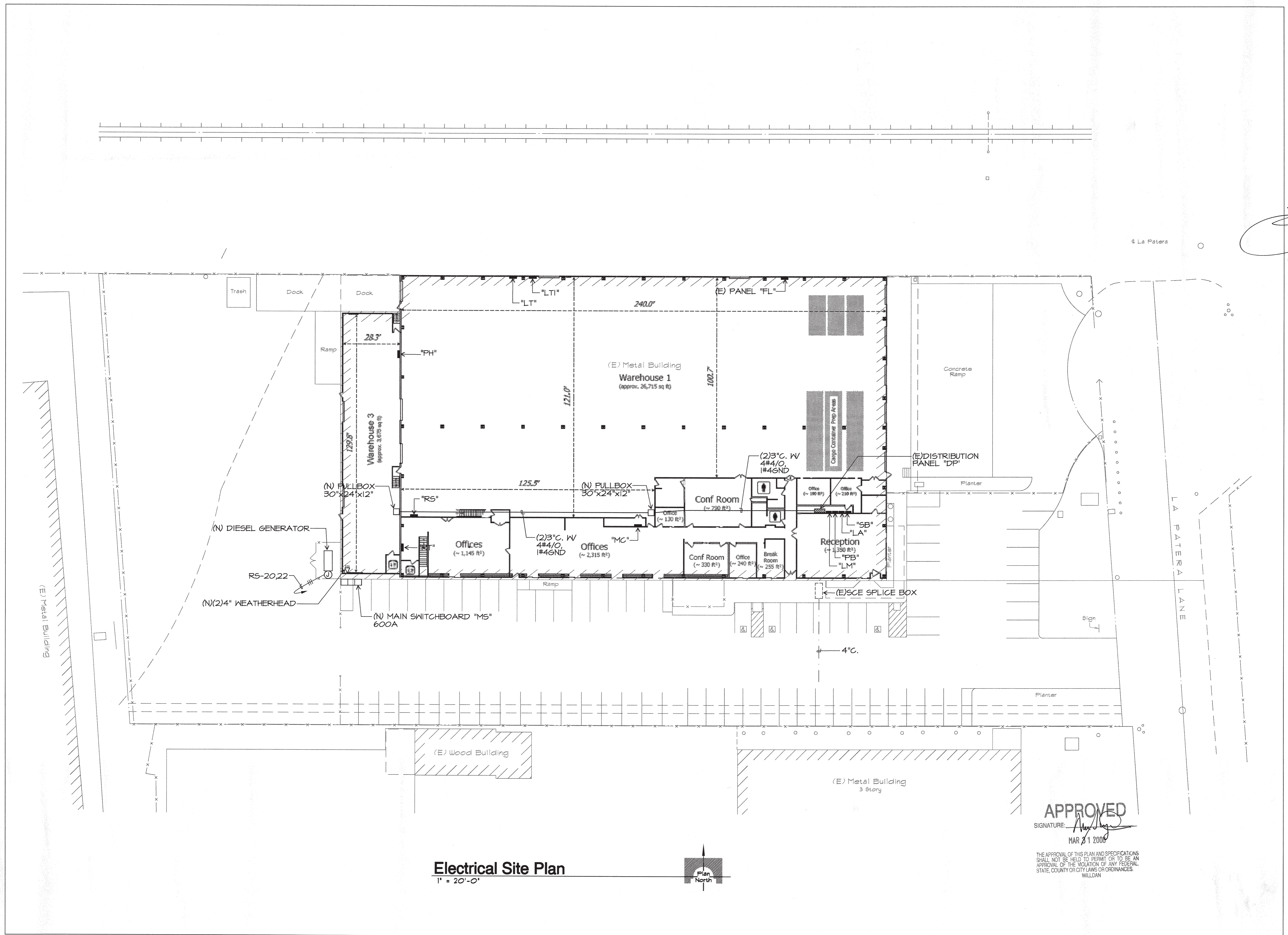
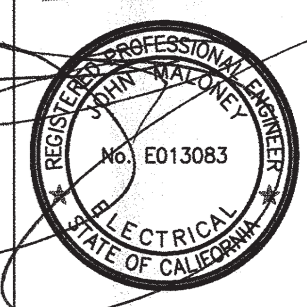
DIRECT RELIEF INTERNATIONAL
 27 S. LA PATERA RD.
 GOLETA, CA 93117

GENERAL NOTES, SYMBOLS
 SCHEDULES & DETAILS

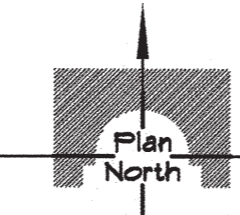
DATE	03-06-07
SCALE	NONE
DRAWN	MG
JOB	07066
SHEET	E-1
OF	SHEETS

REVISIONS	BY

JMPE
 ELECTRICAL ENGINEERING
 LIGHTING DESIGN
 CA REGISTRATION NO. ELS008
 07066
 156 W. ALAMAR AVE.
 SUITE 3
 SANTA BARBARA, CA 93106
 (805) 569-2618
 FAX (805) 569-2405
 email: jmpe@jmpe.net



Electrical Site Plan
 1" = 20'-0"



APPROVED
 SIGNATURE: *[Signature]*
 MAR 31 2006

THE APPROVAL OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY FEDERAL, STATE, COUNTY OR CITY LAWS OR ORDINANCES. WILLIAM

DIRECT RELIEF INTERNATIONAL
 27 S. LA PATERA RD.
 GOLETA, CA 93117

ELECTRICAL SITE PLAN

DATE	03-06-07
SCALE	NONE
DRAWN	MG
JOB	07066
SHEET	E-2
OF	SHEETS



**NOTICE OF FINAL APPROVAL
Intent to Issue a Land Use Permit**

Planning and Environmental Services
130 Cienerra Drive, Suite B, Goleta, CA 93117
Phone: (805) 961-7500 Fax: (805) 968-2635
www.cityofgoleta.org

Case No: 07-070-LUP Planner: Laura VK Initials: LV
Project Address: 27 S. La Patera Lane Project Name: DRI Back-up Generator
A.P.N.: 073-050-033 General Plan Designation: Business Park
Zone District: Industrial Research Park (M-RP)

Planning and Environmental Services grants final approval and intends to issue this Land Use Permit for the development described below, based upon the required findings and subject to the attached terms and conditions.

FINAL APPROVAL DATE: February 20, 2008
POSTING DATE/APPEAL PERIOD BEGINS: February 21, 2008
APPEAL PERIOD ENDS: March 3, 2008

DATE OF PERMIT ISSUANCE (if no appeal is filed): March 4, 2008

NOTE: This final approval may be appealed to the Planning Commission by the applicant, owner, or any interested person adversely affected by such decision. The appeal must be filed in writing with an appeal application and any required fee within ten (10) calendar days following the Posting Date identified above with Planning and Environmental Services located at 130 Cienerra Drive, Suite B, Goleta, CA 93117 (Section 35-327). If you have questions regarding this project please contact the planner at (805) 961-7546.

PROJECT DESCRIPTION SUMMARY:
The property includes a 39,800-square foot commercial building on a 2.5-acre lot in the M-RP zone district. The applicant proposes the addition of a 40-square-foot concrete pad on the southwest corner of the existing warehouse building, which will support a back-up generator powered by a 1,800 gallon, underground, diesel fuel tank. A 6-foot chain link fence will surround the generator, and an existing chain link fencing with steel screening will screen the generator from adjacent properties. The project was filed by agent David Jones on behalf of Direct Relief International, property owner. Related cases: 07-070-SCD

ASSOCIATED CASE NUMBERS: N/A

TERMS OF PERMIT ISSUANCE:

- Posting Notice:** A weather-proofed copy of this Notice/Permit, with Attachments, shall be posted by the Applicant in three (3) conspicuous places along the perimeter of the subject property. At least one notice shall be visible from the nearest street. Each copy of this notice shall be posted on the identified Posting Date and shall remain posted for a minimum of ten (10) consecutive calendar days (Section 35-328.3).
- Work Prohibited Prior to Permit Issuance:** No work, development, or use intended to be authorized pursuant to this approval shall commence prior to issuance of the Land Use Permit and/or any other required permit (e.g., building permit).

WARNING! THIS IS NOT A BUILDING/GRADING PERMIT.

- Date of Permit Issuance:** This Permit shall be deemed effective and issued on the Date of Permit Issuance as identified above, provided:
 - All terms and conditions including the requirement to post notice must be met and this Notice/Permit has been signed.
 - The Affidavit of Posting was returned to the Planning and Environmental Services after the Notice/Permit has been posted. Failure to submit the Affidavit by such date shall render the approval null and void, and
 - No appeal has been filed.
- Conditions of approval:** This permit is issued subject to compliance with the attached Conditions of Approval. Failure to comply with the conditions of this permit may result in a civil fine pursuant to the City Code and/or permit revocation.

NOTE: This Notice of Final Approval/Intent to Issue a Land Use Permit serves as the Approve and the Land Use Permit once the permit is deemed effective and issued. Issuance of a permit for this project does not allow construction or use outside of the project description, or terms or conditions; nor shall it be construed to be an approval of a violation of any provision of any City policy, ordinance or other governmental regulation.

OWNER/APPLICANT ACKNOWLEDGMENT: Undersigned permittee acknowledges receipt of this approval and agrees to abide by all terms and conditions thereof.

JUDY PRITCH Judy Pritch 2/20/08
Print Name Signature Date
Planning and Environmental Services Issued by
L. VK 2/14/08
Planner Date

**Attachment A
CONDITIONS OF APPROVAL
Land Use Permit 07-070-LUP**

- This permit is granted for the plans stamped 'APPROVED' on file with the Planning and Environmental Services Department ("the plans") and dated February 20, 2008. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a modification to the plans is approved.
- This permit is granted for the property described in the application on file with the Planning and Environmental Services Department, and may not be transferred from one property to another.
- This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of an appropriate permit and the construction of substantial improvements, or the beginning of the proposed use.
- Developer agrees, as a condition of this approval, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process.
- If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant may be subject to a civil fine pursuant to the City Code and/or permit revocation.
- Developer shall provide for dust control at all times during site preparation and project construction.
- Site preparation and construction activity shall be limited to the hours between 8:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on State observed holidays. Maintenance of construction equipment shall be limited to the same hours. Construction activities that do not generate noise, such as interior painting, are not subject to these restrictions.
- All exterior lighting shall be hooded and not directed towards any property zoned residential.
- A copy of this permit including Conditions of Approval must be reproduced on a full size sheet and included with all plan sets submitted to Building and Safety.

- End of Conditions -

REVISIONS	BY

JMPE
ELECTRICAL ENGINEERING
LIGHTING DESIGN
CA REGISTRATION NO. E13063
07066

155 W. ALAMAR AVE.
SUITE 100
SANTA BARBARA, CA 93101
(805) 968-4218
FAX: (805) 968-4266
EMAIL: matorney@jmpe.com

REGISTERED PROFESSIONAL ENGINEER
ELECTRICAL
STATE OF CALIFORNIA
No. E013083

CONDITIONS OF APPROVAL
DIRECT RELIEF INTERNATIONAL
27 S. LA PATERA RD.
GOLETA, CA 93117

DATE: 04-02-08
SCALE: NONE
DRAWN: MG
JOB: 07066
SHEET: COA
OF SHEETS

27 S. LA PATERA LANE

1 of 2

S. P. RAILROAD

NOTE:
OF NEW SPUR TRACK
SEE S.P.R.R. CO. DRAWING
NO. B-4716

5. 83° 11' 30" W. 888.72'

WAREHOUSE
FIN. FLR. ELEV. 35.5 (-3.667 @ TOP OF TRACK)

NOTE:
GAS LINE TO BE REMOVED
BY THE GAS CO.

SEE SHEET 3 FOR
ENLARGED PLAN

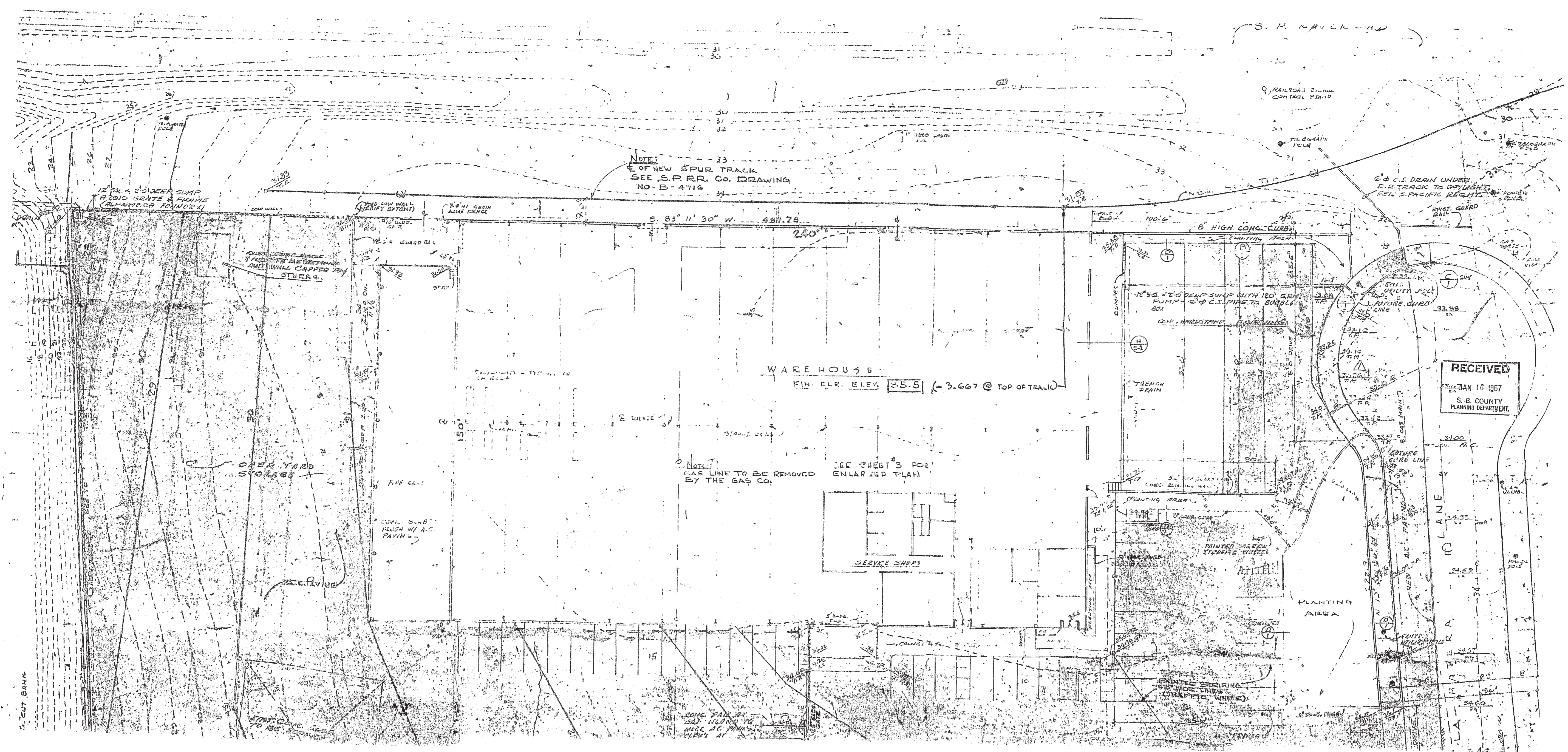
27
S. J. Paterson
W

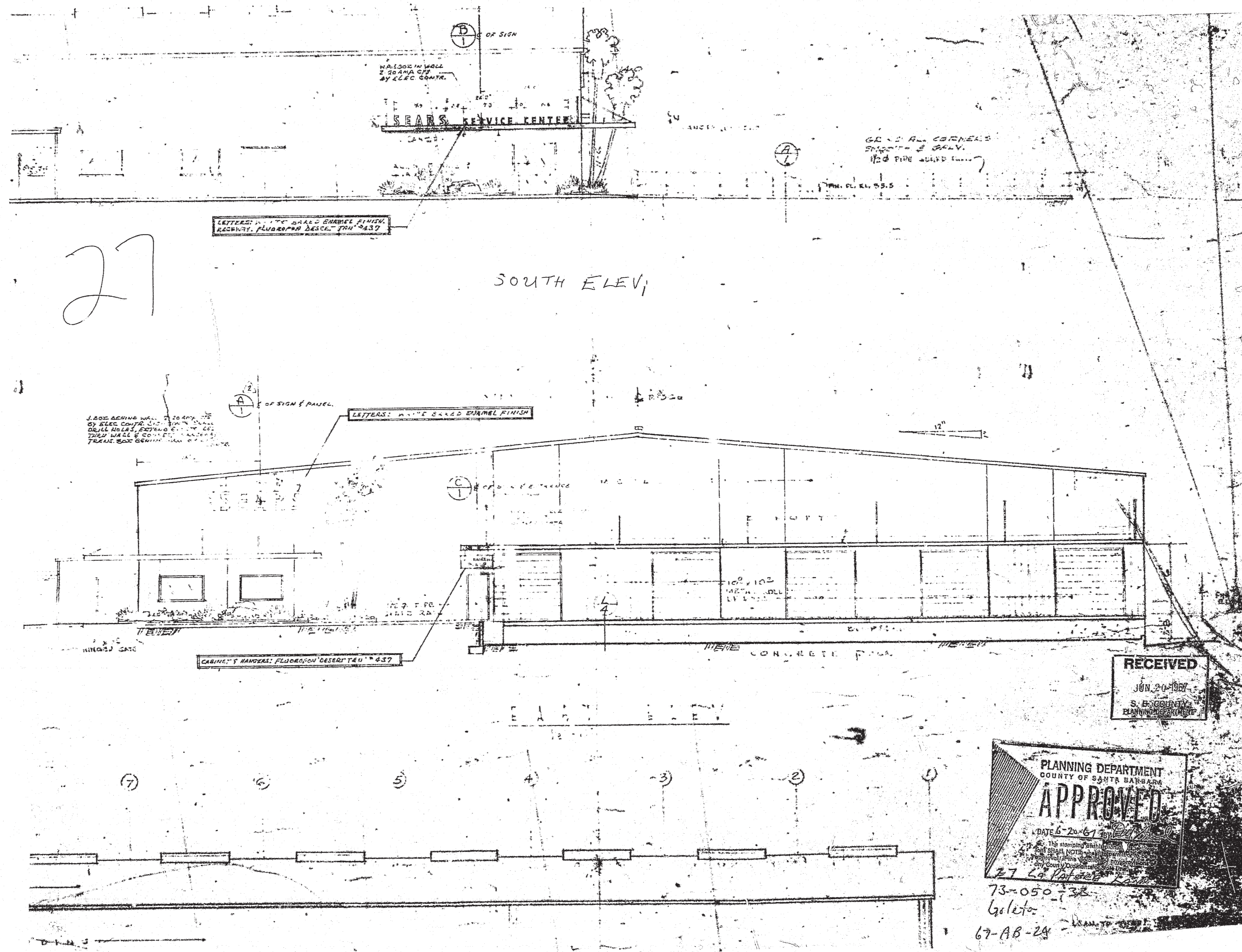
RECEIVED
JAN 16 1967
S. B. COUNTY
PLANNING DEPARTMENT

PLOT & GRADING PLAN



REVISIONS	DATE	BY	SEARS WAREHOUSE
1	11-11-66	C. L. L...	SANTA BARBARA COUNTY CALIF
SEARS, ROEBUCK AND CO. PACIFIC COAST CONST. & STORE PLANNING DEPT. LOS ANGELES, CALIFORNIA			
DRAWN BY C. L. L...		JOB NO.	
DATE 11-11-66		SHEET NO. 1 OF 4	





27

SOUTH ELEV.

EAST ELEV.

RECEIVED
JUN 20 1967
S. B. COUNTY
PLANNING DEPARTMENT

PLANNING DEPARTMENT
COUNTY OF SANTA BARBARA
APPROVED
DATE 6-20-67
73-050-22
Galeto
67-AB-24

ESS
ACTION

27 La Patera Lane
Golata

DESCRIPTION

ZONE

USE

Sears S.B. Retail Warehouse

PERMIT NO.

DATE

NAME

38255

2-8-67

Sears Warehouse

39283

6-20-67

✓ ✓ SIGN

40747

12-11-67

- - -

VARIANCES

EXCEPTIONS

CONDITIONAL PERMITS

VIOLATIONS

REMARKS

HM
10

November 22, 1966

M. H. R. Callahan
Public Works
Building Department
Court House
Santa Barbara, California

Dear Mr. Callahan:

Re: Santa Barbara Retail Warehouse
27 La Patera Lane

We are proceeding posthaste with the preparation for construction of our warehouse in Santa Barbara. Bids are out and due back by the end of November. Attached is a copy of our letter to Mr. R. McClelland of the Southern Pacific Company, dated November 9, 1966, requesting permission to landscape the right-of-way along the north side of our spur track. Also attached is a copy of S.P.'s letter dated November 9, 1966 which acknowledged receipt of our request and our plot plan. S.P. will progress our request for landscaping a portion of the right-of-way through their company to secure management approval. S.P. advised that the matter may also be reviewed by the Public Utilities Commission for the State of California.

During the numerous sessions with the Architectural Review Board for the County of Santa Barbara, I pointed out that we would comply with their requests providing the necessary approvals of the Southern Pacific Company and the Public Utilities Commission can be obtained. We are proceeding to obtain these approvals and are hopeful that they will be granted. However, should they be disapproved, may we please have your assurance that our occupancy will not be denied on this basis alone.

Thank you for your kind attention in this matter.

Yours very truly,

SEARS, ROEBUCK AND CO.

W. C. Owens
Staff Assistant
Property Department

cc/ra
att.
cc/P. D. Scott

*address
envelope*

November 26, 1966

Mr. R. C. Owens
Staff Assistant
Property Dept.
Sears, Roebuck & Co.
2650 E. Olympic Blvd.
Los Angeles, Calif., 90054

Re: R. C. Owens letter
11-22-66 Occupancy.

Dear Mr. Owens:

Your letter addressed to H. R. Callahan, Bldg. Dept. was referred to me by Mr. Robt. Ritchie of that Department. There is an H. R. Callahan in the Road Dept. and I have forwarded your letter to him on the slim possibility that you meant him to receive it.

The Building Dept. has asked me to answer your letter since they do not have your plans.

The question of occupancy seems a little bit premature but may be due to our way of processing permits.

At this point you need a zoning clearance which is dependent upon your ability to comply with the conditions imposed by the Planning Commission when you were granted a variance and the Architectural Board of Review, all of which you are familiar with.

Should you be unable to obtain the Southern Pacific Company's approval, you would need to appeal to the Architectural Board of Review which set that particular condition or to the County Board of Supervisors.

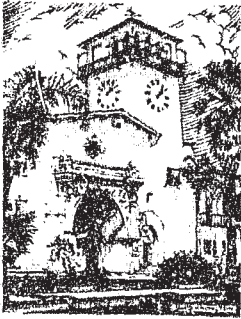
Please feel free to contact us further in this matter at any time.

Very truly yours,

ROBT. A. SCOTT
Zoning Administrator

RAS:mp

add enclosure



COUNTY OF SANTA BARBARA
CALIFORNIA

DEPARTMENT OF PLANNING

ENGINEERING BUILDING
123 E. ANAPAMU ST.
SANTA BARBARA
CALIFORNIA

May 10, 1967

RICHARD S. WHITEHEAD
DIRECTOR
PHONE 966-1811
EXT. 230

C
O
P
Y

Robert A. Courtice
Chief Mechanic
Construction Department
Pacific Coast Administrative Office
Scott, Koebach and Co.
2690 East Olympic Blvd.
Los Angeles, Calif. 90094

Re: Scott-Koebach & Co.
Fence design & color scheme
Case SB7-40-24 Enclosed
27 1st Floor Bldg., Solita

Dear Mr. Courtice:

The Planning Commission at its meeting of October 26, 1966 and the Board of Supervisors at its meeting of Nov. 7, 1966 did approve as I recall of Case SB7-40-24 a screen fence six feet in height in the location where you propose. This fence may be chain-link, interwoven with opaque plastic strips or other suitable screening materials approved by the Planning Director.

Mr. Courtice, the Planning Director has approved the fence screening as set out in the Board of Supervisors letter of Nov. 7, 1966 and as per your submission to this Department of April 26, 1967.

Please accept my apologies for the inconvenience this may have caused you as I certainly should have done this action by the Board without your very diplomatic prompting.

I assume now that you have a sign company which will be responsible for the signs and that the fence is a part of the existing building permit.

Very truly,

ROBERT A. SCOTT
PLANNING ADMINISTRATOR

RSW:spj

DATE 12-11-67 "

LAND USE RIDER

ZONE M-1-B CENSUS TR. G029 E. D. 42-12N

PERMIT: 40747

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT VALUE: 800
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

LESSOR/OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

PLOTTED: ✓

MAILING ADDRESS: _____ CONTRACTOR: Modern Neon Sign Co.

PARCEL NO. 73-050-33 LOT SPLIT: _____ PHONE: _____

M.P.A. Goleta PROPOSED USE: Sign

VARIANCE _____ C.U.P. _____

ARCHITECTURAL APPROVAL 67-AB-65 DATE: 12-8-67

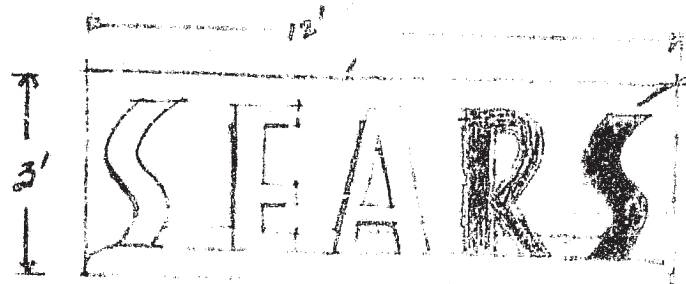
ZONING APPROVAL R. Scott DATE: 12-8-67

A	LUR Envelope _____	M	Coverage _____	I	Nuisance Abate-
L	Map Book _____	U		N	ment _____
L	L/S Folder _____	L	R LUR _____	D.	
		T	4 _____	S	Area _____
	Tract Conditions _____		Develop. Plan _____	I	
	Zone _____	O		G	Height _____
R	Yards Front _____	M	Zone Restrictions _____	N	
E		M		S	Sign area/
S	Single _____ Double _____	R	Design _____	Wall area _____	
I		E		Yards _____	
D	Yards Side _____	C	Coverage _____	Use _____	
E		I		Subdivision _____	
N	" Rear _____	A	Landscaping _____	C.U.P. _____	
T	" Corner _____				
I					
A	Use _____				
L					
	Parking _____				
	Driveways _____				
	Height _____				
	Area _____				
	Distance _____				
	Design Control _____				

Edg
1200

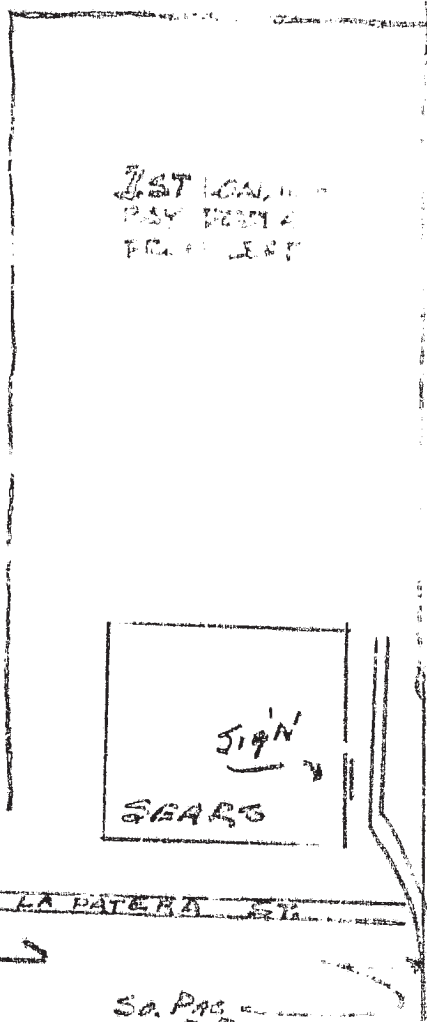
Edg
Fence

Make ground of
sign to match
the wall color
best you



INSTALL BY SINKING SIGN IN
CENTER OF SPANISHED
WALL

13007 PLOT



TOP CORNER

13007 PLOT

at a latitude line
73-050-33

SEARS WALLPAPER &
GENERAL WALLS

13007 PLOT SIGN CO.
20 E. HOLLER ST.
SANTA BARBARA, CALIF.

NO →

SO. PAC.
R.R.

DATE 2-8-67

LAND USE RIDER

ZONE M-1-B CENSUS TR. GO-29 E.D. 42-12N

PERMIT: 38255

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 339,300

PLOTTED:

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: _____ CONTRACTOR: _____

PARCEL NO. 73-050-33 LOT SPLIT: _____ PHONE: _____

N.P.A. Goleta PROPOSED USE: Warehouse

VARIANCE 66-U-111 e.u.p.

ARCHITECTURAL APPROVAL _____ DATE: _____

ZONING APPROVAL 8000 DATE: 2-6-67

A LUR Envelope _____

L Map Book _____

L/S Folder _____

Tract Conditions _____

Zone _____

R Yards Front _____

E " Side _____

S " Rear _____

I " Corner _____

N Use _____

T Parking _____

A Driveways _____

L Height _____

Area _____

Distance _____

Design Control _____

M R Coverage _____

U 4 LUSR _____

L T. _____

C Develop. Plan _____

O Zone Restrictions _____

M Design _____

R Coverage _____

C Landscaping _____

L _____

I Nuisance Abate-
N ment _____

D. _____

S Area - _____

I Height _____

N Sign area/
Wall area _____

S Yards _____

Use _____

Subdivision _____

C.U.P. _____

DATE 6-20-67

LAND USE RIDER

ZONE M-1-B GENSUS TR. GO-29 E.D. 42-12N

PERMIT: 39283

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT
DIVISION OF BUILDING & SAFETY, COUNTY OF SANTA BARBARA

VALUE: 800

PLOTTED:

OWNER: Sears Roebuck ADDRESS OF JOB: 27 S. La Patera Lane

MAILING ADDRESS: _____ CONTRACTOR: Heath & Co.

PARCEL NO. 73-050-33 LOT SPLIT: _____ PHONE: 213-223-4141

M.P.A. Goleta PROPOSED USE: 1-10 sq.ft.wall sign
1-36 sq.ft.wall sign
1-28 sq.ft.roof sign

VARIANCE _____ G.U.P. _____

ARCHITECTURAL APPROVAL 67-AB-24 DATE: _____

ZONING APPROVAL Duf... DATE: 6-20-67

LUR Envelope _____

Map Book _____

L/S Folder _____

Tract Conditions _____

Zone _____

Yards Front _____

" Side _____

" Rear _____

" Corner _____

Use _____

Parking _____

Driveways _____

Height _____

Area _____

Distance _____

Design Control _____

Coverage _____

M R _____

U 4 LUSR _____

L _____

T. _____

C Develop. Plan _____

O Zone Restrictions _____

M _____

P Design _____

R _____

C Coverage _____

I Landscaping _____

A _____

L _____

I Nuisance Abate-

N ment _____

D. _____

S Area - 36# - 29# 107

I _____

G Height _____

N _____

S Sign area/

Wall area OK

Yards _____

Use _____

Subdivision _____

C.U. _____

LAND USE RIDER

REQUIREMENTS TO BE MADE A PART OF APPLICATION & PERMIT OF DIVISION OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

Permit:

Value:

ADDRESS OF JOB 27 S LA PATERA LN.		PARCEL NO. 73-050-B3
PROPOSED USE SERVICE AND STORAGE OF BUSES		ZONE M-1-B.
		CENSUS TR.
LESSOR/OWNER SEARS.		CASE NUMBERS
AC.	LOT SPLIT NO.	
SQ. FT.	TR. LOT	
SEWAGE DISPOSAL <input checked="" type="checkbox"/> PUBLIC <input type="checkbox"/> SEPTIC SYSTEM		
WATER SUPPLY <input type="checkbox"/> PUBLIC <input type="checkbox"/> PRIVATE		
ZONING APPROVAL <i>for Drankoff</i>		DATE 6/17/82.
REMARKS: RUSSELL TRANSPORTATION IS LEASING A PORTION OF THE SITE FROM SEARS.		